

CITY OF NAPERVILLE

Response to Request for Proposal



THE **ALDEN**
NETWORK 

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4200 W. Peterson Ave
Chicago, IL 60646

December 12, 2021

Alden Realty Services, Inc. and the Alden Foundation are seeking to purchase land owned by the City of Naperville for the purpose developing affordable senior housing and affordable housing for non-school aged individuals with intellectual and developmental disabilities.

The City of Naperville has fostered a desirable community with a multitude of benefits and promising opportunities for growth and expansion. However, as evidenced in the Housing Needs Assessment, The City of Naperville has additional development needs based on their vision to best serve the residents in their ever-growing community. The subsequent response to the Request For Proposal will reflect Alden Realty Services' and the Alden Foundation's qualifications to develop housing for the above demographics. Based on our proven track records as established leaders in the industry, we are confident that our organizations will be key team members in the city of Naperville's efforts to diversify their housing stock:

Alden Realty Services and the Alden Foundation

presently serve the senior and IDD population: With a combined total of 46 years experience in developing and managing 14 affordable senior housing facilities, 2 market rate independent living communities and 6 IDD facilities across the Chicago metropolitan area, Alden Realty Services and the Alden Foundation are proven experts in creating quality living establishments. Through the use of state-of-the-art accessible equipment, technology, native landscaping, and architectural design, Alden continually reflects their commitment to providing those they serve with an improved quality of life in a place that feels like home.

The larger Alden Network already has a presence within the Naperville community - this includes a 203 licensed-bed rehabilitation and skilled nursing facility. Through the years and again this year, Alden Network Rehabilitation and Long-term Care facilities are included in the U.S. News and World Report Top 100 facilities in the nation, which further indicates the organization's commitment to provide quality care and accommodations for those we serve.

Experienced leader in the industry: Because Alden Realty Services and the Alden Foundation realize the significance of maximizing independence and healthy aging in place, both organizations have become accustomed to supporting residents by providing programs, services, and education that is conducive to their essential needs and lifestyle.

We welcome the opportunity to learn more about the City of Naperville's vision to expand housing opportunities and how Alden Realty Services and the Alden Foundation can partner with the City to combat challenges associated with this goal. We thank you for the opportunity to present our qualifications and team capabilities.

Sincerely,

A handwritten signature in black ink, appearing to read "Randi", is centered on the page. The signature is written in a cursive, flowing style.



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SECTION 1:

**PROFESSIONAL AND
TECHNICAL COMPETENCE**

PROJECT TEAM

Two development entities will develop the site: the Alden Foundation (AF), for the affordable senior housing; and Alden Realty Services, Inc. (ARS) for the IDD housing component. Jointly, the two are referred to in this RFP Response as "Alden." The development team – architect and general contractor – will be the same for both components: Alden Bennett Construction Company, Inc. will be the general contractor and ADG Design will be the architect and interior design firm. Combined, the companies have more than 75 years of experience in developing senior housing and health care facilities. The operation team for the affordable senior housing will be Alden Realty Services and Individual Advocacy Group (IAG) will operate the IDD housing component. Legal counsel for ARS and AF will be Applegate and Thorne-Thomsen. Additionally, we have included letters of financial interest and support from the financiers of this proposed development.

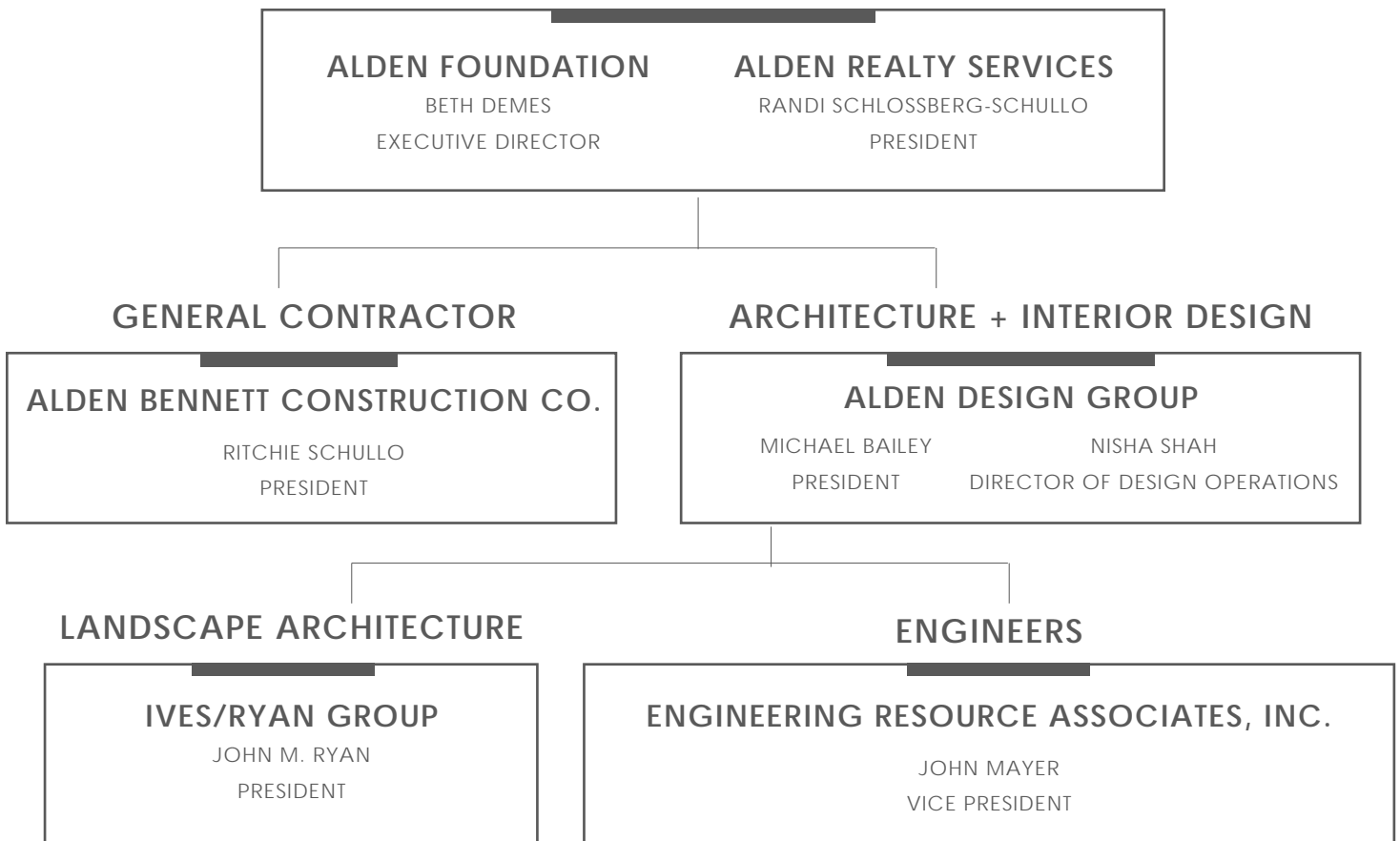
The entities that will be authorized to enter into the Owner's Acknowledgment and Acceptance Agreement are Alden Realty Services and the Alden Foundation.

ORGANIZATIONAL CHART

We have assembled a core team of experienced professionals who have extensive knowledge in property development. Each member included provides a level of expertise indicative of their years of service and experience as leaders in the affordable residential housing sector. Our core team will execute and manage development of the Naperville Affordable Residential property and will be supported by Alden Network staff as needed. Each leader of our core team will ensure ongoing service to construction, design, and property management from execution through functioning operation.

DEVELOPMENT TEAM MEMBERS

DEVELOPMENT

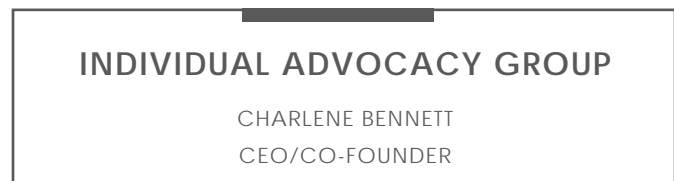


OPERATIONAL TEAM MEMBERS

SENIOR AFFORDABLE LIVING PROPERTY MANAGEMENT



INTELLECTUAL AND DEVELOPMENTAL DISABILITIES OPERATIONS



DEVELOPMENT TEAM MEMBERS



BETH DEMES
CO-DEVELOPMENT LEAD,
ALDEN FOUNDATION

Ms. Demes has more than 30 years of experience in financing, developing and managing affordable housing. Ms.

Demes directs the development process for affordable housing projects of the Alden Foundation, including new site selection, and oversees the asset management for operational projects. Among her previous positions, Ms. Demes directed the asset management operation of a national tax credit investment company and has consulted and advised clients on structuring the financing for and managing affordable housing developments. Her experience also includes commercial real estate lending and economic development.



NISHA SHAH
DESIGNER

Ms. Shah graduated from The Illinois Institute of Art at Chicago in 2007 with a Bachelor of Fine Arts in Interior Design. She has over

14 years of commercial, residential, senior living and healthcare design experience and oversees all aspects of project design and administration, from initial concept development through installation and project completion.



RANDI SCHLOSSBERG-SCHULLO

CO-DEVELOPMENT LEAD,
ALDEN REALTY SERVICES

Ms. Schullo is the president of Alden Realty Services, Inc.

She has more than 35 years of experience in real estate development and management. She is also a licensed real estate broker and has obtained her senior real estate specialist designation (SRES). She oversees property operations and the development process within the Alden Network, including site acquisition, design, zoning, financing, construction, marketing and lease-up of new projects.

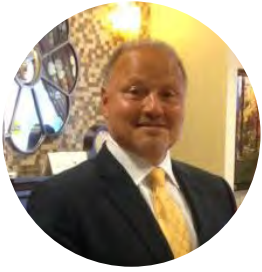


MICHAEL BAILEY
ARCHITECT

Mr. Bailey graduated from the University of Illinois at Chicago in 1997 with a Bachelor of Architecture

in Design. He is licensed in the State of Illinois and a member of NCARB (National Council of Architectural Registration Boards) and also holds membership in ALA (Association of Licensed Architects). He has over 24 years of experience, both new construction and remodeling/renovation, in single family residential, multi-family residential, commercial and institutional with a specialty in senior housing for the elderly and skilled nursing facilities.

DEVELOPMENT TEAM MEMBERS (CONT'D)



RITCHIE D. SCHULLO
GENERAL CONTRACTOR

Mr. Schullo is the President of Alden Bennett Construction Co. He has more than 30 years of experience and a demonstrated a strong history of working in the construction industry.

Skilled in the development of commercial buildings, health care, and residential units, Mr. Schullo consistently guides his team to complete projects on time and within budget. Mr. Schullo oversees everything from day to day operations to field work.



JOHN MAYER
LEAD ENGINEER

Mr. Mayer has more than 33 years of experience working in the engineering field, with areas of expertise ranging from recreational trails, watershed management, transportation, street lighting, stormwater and infrastructure. Mr. Mayer is a Principal/Project Manager at ERA and has been a part of the company for over 22 years. As part of his role, he has successfully led projects specializing in providing comprehensive services throughout the planning, design and construction phases of engineering and environmental assignments.



JOHN M. RYAN
LANDSCAPE ARCHITECT

John Ryan, a founding member of IRG in 1973, has served as Corporate President since 1984. He administers the firm's landscape architecture department and offers 51 years of professional experience in landscape architecture, park and recreation design, municipal consulting and site planning on projects in 10 states and overseas. His projects have been recognized for design excellence with numerous awards including receipt of the National Landscape Award at The White House on 2 occasions.

OPERATIONAL TEAM MEMBERS



JEANNE BAKER
PROPERTY MANAGEMENT

Ms. Baker has more than 30 years of experience as a licensed realtor and 25 years of experience in managing and marketing

senior communities involving Low Income Housing Tax Credits. At Alden, Ms. Baker conducts marketing and leasing for all the Alden Foundation developments and oversees the property managers for the Foundation's affordable independent living communities. She also conducts marketing, leasing and sales for select senior projects developed by other Alden entities.



CHARLENE BENNETT
IDD OPERATOR

Dr. Bennett is a Professor of Education,

who, along with co-founder Dr. David Brooks, developed and implemented the first statewide system for people with IDD that met federal regulatory requirements for Medicaid in Illinois. Soon after in 1995, Dr. Bennett and Dr. Brooks founded Individual Advocacy Group. Since then, Dr. Bennett and IAG have provided a full array of quality, customized, outcome-focused supports for people with developmental, intellectual, emotional, behavioral, or neurological disabilities. Additionally, IAG enables individuals to define and pursue their life goals and interests; develop skills to reach those goals; grow increasing personal responsibility; engage their community; and lead active, enjoyable, independent lives.

FINANCIAL CAPACITY

The Alden Network facilities have a proud tradition of serving customers and our communities since 1971. All of us at Alden are fully committed to continuing our long-standing tradition of remarkable care and customer service. For the last 60 years, Alden and its affiliates have been developing health care facilities and housing that serve thousands of people each and every day. Being a vertically integrated network of companies, Alden Realty Services Inc., Alden Bennett Construction Co., and Alden Design Group, ensure that our developments are built to the highest standards with efficient and economical designs. On the following page we have included a summary of Alden that shows the size and strength of our portfolio. We believe that this track record indicates the long-standing ability to raise capital and see projects to completion. Along with this, appendix A to this response has financial letters of support and interest from BMO Harris Bank, Enterprise Community Partners, Inc., and Fifth-Third Bank.



SUMMARY OF ALDEN

INDEPENDENT LIVING

Alden Gardens of Bloomingdale (SLF)

285 E. Army Trail Rd.
Bloomingdale, IL 60108

Alden Horizon at Waterford

2000 Randi Dr.
Aurora, IL 60504

Barrington Horizon

1418 S. Barrington Rd.
Barrington, IL 60010

Bloomington Horizon

160 W. Lake St.
Bloomingdale, IL 60108

Drexel Horizon

3443 S. 55th Ave
Cicero, IL 60804

Fox River Horizon

785 Fletcher Dr.
Elgin, IL 60123

Fox River Horizon II

765 Fletcher Dr.
Elgin, IL 60123

Huntley Horizon

12150 Regency Parkway
Huntley, IL 60142

Mount Prospect Horizon

1703 E. Kensington Rd.
Mt. Prospect, IL 60056

New Lenox Horizon

1101 S. Cedar Rd.
New Lenox, IL 60451

Oak Forest Horizon

14904 S. Cicero Ave.
Oak Forest, IL 60452

Shorewood Horizon

820 W. Black Rd.
Shorewood, IL 60404

Warrenville Horizon

28W620 Batavia Rd.
Warrenville, IL 60555

Woodridge Horizon

8099 Janes Ave.
Woodridge, IL

The Lakes at Waterford

1821 Audra Circle
Aurora, IL 60504

The Superior at Waterford

1821 Audra Circle
Aurora, IL 60504

1,055
SENIOR APARTMENTS

DEVELOPMENTALLY DISABLED FACILITIES

Alden of Old Town East

108 S. First St.
Bloomingdale, IL 60108

Alden of Old Town West

118 S. Bloomingdale Rd.
Bloomingdale, IL 60108

Alden Springs

207 E. Army Trail Rd.
Bloomingdale, IL 60108

Alden Trails

273 E. Army Trail Rd.
Bloomingdale, IL 60108

Alden Village

267 E. Lake St.
Bloomingdale, IL 60108

Alden Village North

7464 N. Sheridan Rd.
Chicago, IL 60626

340
BEDS FOR THE
DEVELOPMENTALLY
DISABLED

ALDEN NETWORK

Alden Courts of Waterford

1991 Randi Dr.
Aurora, IL 60504

Alden Gardens of Waterford

1955 Randi Dr.
Aurora, IL 60504

Alden of Waterford

2021 Randi Dr.
Aurora, IL 60504

Alden Estates of Barrington

1420 S. Barrington Rd.
Barrington, IL 60010

Alden Valley Ridge

275 E. Army Trail Rd.
Bloomington, IL 60108

Alden Estates of Northmoor

5831 N. Northwest Highway
Chicago, IL 60631

Alden Lakeland

820 W. Lawrence Ave
Chicago, IL 60640

Alden Lincoln Park

504 W. Wellington Ave.
Chicago, IL 60657

Alden Town Manor

6120 W. Ogden Ave
Cicero, IL 60804

Alden Meadow Park

709 Meadow Park Dr.
Clinton, WI 53525

Alden Courts/Gardens of Des Plaines

1227 E. Golf Rd.
Des Plaines, IL 60016

Alden Des Plaines

1221 E. Golf Rd.
Des Plaines, IL 60016

Alden Estates of Evanston

2520 Gross Point Rd.
Evanston, IL 60201

Alden Poplar Creek

1545 Barrington Rd.
Rockford, IL 61107

Alden Courts of Huntley

12140A Regency Parkway
Huntley, IL 60142

Alden Estates of Huntley

12140B Regency Parkway
Huntley, IL 60142

Alden Estates of Jefferson

1130 Collins Rd.
Jefferson, WI 53549

Alden Long Grove

Box 2308 Old Hicks Rd.
Long Grove, IL 60047

Alden Terrace of McHenry

803 Royal Dr.
McHenry, IL 60050

Alden Estates of Naperville

1525 Oxford Lane
Naperville, IL 60565

Alden Estates of Orland Park

16450 S. 79th Ave.
Orland Park, IL 60467

Alden Debes

550 S. Mulford Rd.
Rockford, IL 61108

Alden Park Strathmoor

5668 Strathmoor Dr.
Rockford, IL 61107

Alden Courts of Shorewood

700 W. Black Rd.
Shorewood, IL 60404

Alden Estates of Shorewood

710 W. Black Rd.
Shorewood, IL 60404

Alden Estates of Skokie

4626 Old Orchard Rd.
Skokie, IL 60076

Alden North Shore

5050 W. Touhy Ave
Skokie, IL 60077

Wentworth Rehabilitation and Health Care Center

201 W. 69th St.
Chicago, IL 60621

Princeton Rehabilitation and Health Care Center

255 W 69th St.
Chicago, IL 60621

Heather Health Care Center

15600 Honore Ave
Harvey, IL 60426

4,753

HEALTH CARE BEDS

PROJECT EXPERIENCE AND CAPACITY

ALDEN FOUNDATION

The mission of the Alden Foundation is to foster and expand affordable housing opportunities for low and very low-income seniors, both active and frail, by distinctively designing and developing communities that residents proudly call home. In addition, the Alden Foundation offers programs and services to maximize independence and promote healthy aging in place for said seniors.

Since 1996, the 501(c)(3) non-profit organization has been developing and operating affordable housing for seniors on fixed incomes. The Alden Foundation has successfully developed and presently owns and operates more than 1,000 units of affordable, mixed income senior housing in 14 developments, including 13 affordable independent senior housing, one supportive living community and owns one 33-unit market rate senior town home development. All of these communities are located in the Chicago metropolitan area.

These affordable developments are owned through wholly owned, for-profit subsidiaries of the foundation, which act as general partners in the ownership's limited partnerships. The Alden Foundation's

affordable senior housing developments were financed using Low Income Housing Tax Credits (LIHTC) and layers of other financing, including conventional loans and public and private affordable housing loan and grant programs. The foundation is committed to long term affordability, so it does not convert its developments to market rate once the initial compliance period for the LIHTC has ended.

The Alden Foundation's senior communities maintain occupancies of 98% or higher and all have healthy waiting lists. The majority of residents are single women, followed by an even split of single men and couples.

The organization prides itself on the excellent design of its buildings, which incorporates elements and amenities that foster social interaction and create comfort for senior residents. Supportive services provided through community partners and creative programming are facilitated by on-site staff which helps to keep the residents active, independent, and young in spirit.

ALDEN REALTY SERVICES

Founded in 1990, Alden Realty Services (ARS) has since established a proven track record of operating as a development, brokerage, and property management firm under the Alden Network. ARS has been a key member of the development team of 33 skilled nursing facilities and 4 independent care facilities for the intellectually and developmentally disabled community. Each Developmentally Disabled home holds 16 beds, provides 24/7 care, and was strategically designed to meet the physical, emotional, social, and health needs of those who require continuous care in an independent environment. The four-home community includes outdoor patios, spacious living and socialization areas that create a comfortable home-like environment.

Additionally, ARS manages and develops an array of different property types. Most notably, ARS has experience in managing senior affordable housing units. Also within its management portfolio are market rate housing and corporate office spaces. ARS prides itself on taking the needs and requirements of prospective tenants to live comfortably and joyously.

The synergy between the Alden Foundation Board of Directors and Alden Network's fully integrated specialized health care, property management, design, and construction teams ensures a successful development from concept to completion to operation.

WOODRIDGE HORIZON





Woodridge Horizon Senior Living Community is located at 8099 Janes Avenue in Woodridge, Illinois. This beautifully designed building is a 93-unit affordable independent living community that offers seniors age 62 and older a mix of spacious one- and two-bedroom apartments. Additionally, Woodridge Horizon provides a multitude of common area amenities, including a community room, fitness center, theater room, game room and library with computers and Internet access. The site has 93 surface parking spaces.

Rents at this community range from \$370 to \$1000 per month and 19 of the apartments have DuPage Housing Authority rental subsidies. The development serves seniors at 30%, 50%, and 60% of the Chicago area median income, as well as seniors with no income limitations. When the building opened in 2016, all 93 units had been leased and were occupied within a record three months. The development maintains a waiting list of close to 300 seniors today.

This Enterprise Green Communities and Energy Star-certified, \$21 million development was built on a 3.4-acre vacant site, which would have not been possible without Village of Woodridge's vision and support. The village acquired and cleared the property and then issued a Request for Proposals from developers for the site, from which the Alden Foundation was selected. The mayor and village board understood the need for affordable senior housing, so the village wrote down the cost of the land. This made the project

financially feasible and enabled the Alden Foundation to secure Illinois Donation Tax Credits.

The Alden Foundation and its architect, Alden Design Group, presented building design concepts and site plan options to the village. To allow for more green space on the site, the village decided to go with a four-story structure (instead of the planned three-story structure). Construction commenced in May 2015 and was completed on schedule and within budget at the end of August 2016.

Project Partners: ADG Design; architects and design (Michael Bailey/Nisha Shah) Alden Bennett Construction Company, general contractor; (Ritchie Schullo) Alden Realty Services, Inc., property management company (Randi Schlossberg Schullo/Jeanne Baker); Ives/Ryan, landscape architect; ERA, engineers.

Funding Sources: Low Income Housing Tax Credit equity from the National Equity Fund; DuPage County HOME Loan, Illinois Affordable Housing ("State Donation Tax Credit") Equity, BMO Harris Construction and Bridge Loan, Bellwether Enterprise Permanent Loan; and grants from the Illinois Department of Commerce and Economic Development and the Federal Home Loan Bank of Chicago.

Project References: Mayor Gina Cunningham, Village of Woodridge: 630-852-7000, villageboard@vil.woodridge.il.us; 5 Plaza Dr. Woodridge, IL 60517

WARRENVILLE HORIZON





Warrenville Horizon Senior Living Community is located at 28W620 Batavia Road in Warrenville Illinois. This beautifully designed building is a 71-unit affordable independent living community that offers seniors age 62 and older a mix of spacious one- and two-bedroom apartments. Warrenville Horizon provides a multitude of common area amenities, including a community room, fitness center, theater room, game room and library with computers and Internet access. Additionally, the development has 71 surface parking spaces.

Rents at this community range from \$400 to \$1190 per month depending on the income level of the tenant and the number of bedrooms (1 or 2) in the apartment. The development serves seniors at 30%, 50%, and 60% of the Chicago area median income, as well as seniors with no income limitations.

Construction commenced in June of 2020 and was completed in September 2021 both on schedule and within budget. Two months later, in November 2021, the development is almost fully leased.

The 3.85-acre, \$21 million development site was comprised of four separate parcels, two vacant and two with owner-occupied single-family homes. Near the City of Warrenville municipal buildings and designated city center, this site was targeted for redevelopment by the City of Warrenville. Through a series of meetings and public hearings, the Alden Foundation was able to settle on a design that pleased the city. Although complicated, the Alden

Foundation was successful in assembling and purchasing all four parcels, including the homes. Located along a branch of the DuPage River, part of the property included 100-year flood plain. The Alden Foundation donated the flood plain property to the DuPage Forest Preserve District as part of the transaction, helping them to continue a stretch of reclaimed river front forest preserve property that they owned.

The sustainable and energy efficient design followed standards from the Illinois Housing Development Authority green design checklist and includes an array of solar panels on the roof.

Project Partners: ADG Design, architects and design (Michael Bailey/Nisha Shah); Alden Bennett Construction Company, general contractor (Ritchie Schullo); Alden Realty Services, Inc., property management company (Randi Schlossberg-Schullo/ Jeanne Baker); Ives/Ryan, landscape architect; ERA, engineers.

Funding Sources: Low Income Housing Tax Credit equity from Enterprise Community Investments; DuPage County HOME Loan; Bank of America Construction and Bridge Loan; Illinois Housing Development Authority permanent loan; Affordable Housing Energy Grant from ComEd.

Project References: Mayor David Brummel, Village of Warrenville: 630-393-2131, dgrivetti@warrenville.il.us; 3S258 Manning Ave. Warrenville, IL 60555

ALDEN SPRINGS





Alden Springs Intermediate Care for the Developmentally Disabled is located at 207 East Army Trail Road in Bloomingdale, Illinois. This building is a 16-person facility serving individuals with intellectual and developmental disabilities. Alden Springs offers spacious two-bedroom rooms to individuals 18 years or older as well as multiple common areas, including a living room, dining room, backyard with a grill and patio furniture, computers with internet access, and in room cable access.

The construction for this development started in December of 2005 and was completed on schedule and within budget in August 2006. The construction cost for Alden Springs was approximately \$1.3M and was financed through conventional loan financing with Fifth-Third Bank. Upon completion of construction in August, all 16 beds in Alden Springs quickly leased up to 100% occupancy. Today, Springs maintains 100% occupancy with minimal turnover.

The beautifully designed intermediate care facility was built on a 0.51 acre vacant site. Alden developed a one-story building equipped with licensed professionals and staff such as a Licensed Nursing Home Administrator, Facility Case Manager, Behavioral Specialist, Registered Nurses, Licensed Practical Nurses, Activity Director, and Certified Nursing Aides and Direct Support Professionals to assist with

activities of daily living (ADLs). Additionally, the building was designed for residents to receive additional support including but not limited to; physical therapists, speech therapists, occupational therapists, primary care physicians, podiatry, dental, optometry, and audiology. Alden Springs is 100% accessible and is furnished with the necessary equipment for those that require devices for physical assistance – i.e. shower gurneys and shower chairs, several types of Hoyer lifts, adjustable dining tables, wheelchair accessible vehicles for community outings or doctor appointments.

Project Partners: ADG Design, architects and design (Michael Bailey/Nisha Shah); Alden Bennett Construction Company, general contractor (Ritchie Schullo); Alden Realty Services, Inc., developer; (Randi-Schlossberg Schullo).

Funding Sources: Conventional loan financing with Fifth-Third Bank.

Project References:

Peter Scaleria, Village of Bloomingdale Administrator; scalerp@vil.bloomington.il.us; 630-671-5611; 201 S. Bloomingdale Rd. Bloomingdale, IL 60108.

Mayor Franco Coladipietro, Village of Bloomingdale; franco@vil.bloomington.il.us; 630-671-5600; 201 S. Bloomingdale Rd. Bloomingdale, IL 60108



SECTION 2:
**DEVELOPMENT
CONCEPT DESIGN
AND APPROACH**

DEVELOPMENT CONCEPT STATEMENT

The 6.0-acre site southeast of 103rd Street and Route 59 presents a unique opportunity to develop an affordable community for seniors age 62 and older, as well as adults with intellectual and/or developmental disabilities. Conveniently near many services, including medical, religious and shopping, the location also enjoys a natural setting that Alden will enhance in its site design.

The site will be subdivided and owned separately for an affordable independent senior living community and IDD housing, accommodating up to 8 adults with intellectual or developmental disabilities. Despite the subdivision and separate ownership, the site design will integrate the two uses with respect to the architecture and open space, creating a cohesive and attractive community. With the goal of an inclusive community in mind, construction for the senior affordable living units and IDD units will be developed to be identical in appearance. Externally, the landscape design throughout the site will incorporate native plantings and rain gardens. Also designed into the site plan are walking paths and quiet mediation areas. Impervious hardscape will be minimized to the extent possible and other BMPs will be incorporated into the civil engineering so that stormwater can be filtered and managed to prevent any impact on neighboring developments. Each type of

development is more fully and separately described below, but both developments will incorporate sustainable green design and energy conservation.

Alden is committed to delivering a high-quality design and product, adhering to Naperville's Design Guidelines.

Alden will be seeking a rezoning and planned development special use. The proposed site plan contemplates an access road through the property to the east to allow direct access from Route 59.

As for the architectural design of the building, Alden has a concept rendering included at the end of this section in the RFP Response; however, as is Alden's common practice, the final design will be done in close collaboration with the City of Naperville. Alden will also seek input from the community through a community meeting and public hearing process.

Alden plans to incorporate detention and retention ponds and will be requesting additional land of approximately 0.7 acreage for this use. These detention and retention ponds can be shared with future neighboring developments, as well as serving as a buffer between them.

**AFFORDABLE SENIOR HOUSING PROPOSAL:
NAPERVILLE HORIZON SENIOR LIVING
COMMUNITY:**

Alden Foundation is proposing to develop Naperville Horizon Senior Living Community on the subject site, which will be a 62-unit apartment building (including one unit for an on-site building caretaker) and two 1-story villas, totaling 70 units of affordable senior housing sitting on the western portion of the 6.0-acre site. The portion of the property for the affordable senior housing will be subdivided and separately owned. This is necessary for the affordable housing financing programs that will be used to pay for the development.

The proposed senior living community will be one three-story building with brick masonry and cement board siding, and two sets of single-story villas. The three-story building will be roughly 67,000 square feet and each of the villa sets will be 4,000 square feet. All three buildings will be affordable senior rental and there is no significant difference in the size of the villa units or the units in the apartment building. The entire community will be certified under the Enterprise Green Communities All Electric program, which also includes Energy Star certification. The site will have 70 surface parking spaces. Based on its experience with its 13 affordable independent senior living communities, Alden is requesting a variance from the village's standard parking requirement. Alden Foundation believes that 1:1 parking

ratio is sufficient since at most 75-80% of the senior residents have cars and most of the apartments are single-person occupancy.

Naperville Horizon will offer 55 one-bedroom and 15 two-bedroom apartments (including one two-bedroom for the maintenance manager.) Apartment amenities include emergency call buttons; cabling for high-speed Internet access; and modern kitchens with Energy Star Energy Star dishwashers, Energy Star refrigerators and cooking range. Eleven units will be fully accessible for mobility impairment under the Illinois Accessibility Code; three will accommodate sight or hearing-impaired seniors; three will be adaptable under the IAC; and all units will follow universal design standards. There will be card-operated laundry facilities on each of the floors. Residents will enjoy lots of common area amenities, such as a community room with kitchen (for parties, not for daily meal service); an outdoor patio; a theater/media room with comfortable seating; an exercise room with fitness equipment; a game room with a billiards table; a computer lab with Internet access; and a quiet library with a fireplace.

Naperville Horizon will be an independent living community, which means that there are no assisted services or meal services provided by the building. Because socialization is critical to healthy aging in place, the building will offer a number

of organized activities and events for the residents, including movie nights; special dinners and holiday parties; field trips; seminars on a range of topics, including health care and finance; blood pressure screening; bingo; and lots of other activities. There will be two employees at Naperville Horizon: one full-time property manager who will be on premises Monday through Friday from 8:30 a.m. to 5:30 p.m.; and a part-time maintenance manager who will live in the building.

The independent living community will be restricted to seniors age 62 and older and will be a mixed income community with apartments affordable to seniors whose incomes are below 30%, 50% and 60% of the Chicago area median income. A small number of units (roughly three or four) will be unrestricted, market rate units. Presently, the \$39,180 is the income limit for a 60% one-person household, \$32,650 for a 50% one-person household and \$19,590 for a 30% one-person household. Rents for one-bedroom apartments will range from \$445 to \$1100, and two-bedroom apartments will range from \$1200 to \$1300. Residents will be responsible for paying for their heat and other apartment electric.

The Alden Foundation plans to secure the following sources of affordable housing funding for the development of Naperville Horizon Senior Living Community: Low Income Housing Tax Credits from the Illinois Housing Development Authority (IHDA), the sale of which will provide the majority

of the funding for the development; an IHDA HOME loan; a DuPage County HOME loan; and a ComEd energy grant.

ALDEN INTELLECTUAL AND DEVELOPMENTAL DISABILITIES (IDD) HOUSING PROPOSAL:

Alden Realty is proposing to develop an IDD villa-style housing on the subject site, which will be a 2-unit building, accommodating up to 8 non-school age individuals with intellectual or developmental disabilities on the eastern portion of the 6.0 acre site. The IDD housing will be subdivided and separately owned to allow funding through Alden Realty Services Inc. and conventional loan financing.

The proposed IDD housing will be a one-story brick masonry villa. The building will be roughly 3,000 square feet. In similar fashion to Naperville Horizon Senior Living Community, the IDD Villa will be developed to the standards of the Energy Star certification. As no IDD resident owns or operates a vehicle, we believe that 4 parking spaces for the site will be sufficient.

The proposed IDD housing will offer 2 apartments, housing 4 people each with a kitchen, living room, and in-unit laundry. Apartment amenities include emergency call buttons, cabling for high-speed Internet access, and modern kitchens with Energy Star dishwashers, Energy Star refrigerators and cooking range. Each

unit will be fully wheelchair accessible and furnished with necessary state-of-the-art equipment such as adjustable dining tables for easy functionality. All units will follow universal design standards that meet the highest accessibility standards defined by federal and state requirements.

The proposed IDD will operate as a Community Integrated Living Arrangement (CILA). The maximum number of people allowed to live in a CILA is eight people, as defined by Illinois Department of Human Services (IDHS): "CILAs owned or leased by an agency and funded by the Department shall not be located within a distance of 800 feet, measured via the most direct driving route, from any other setting licensed or funded to provide residential services for persons with a development disability" (Title 59: Part 115.310). By these CILA density and proximity requirements, the proposed IDD Villa will be serving the largest number of the DD population possible. Moreover, of those individuals in the IDD Villa, the age will be restricted to individuals 21 years and older. This is intended to combat unmet housing needs for those with special needs as mentioned in the Housing Needs Assessment.

Taking into consideration the specific needs of this demographic, Alden Realty Services will remain as developer, owner, and property manager, but will enlist Individual Advocacy Group, Inc. (IAG) as acting consulting firm and representative of the residents. IAG will handle all day-

to-day operations of the Villa and ARS will maintain landlord responsibilities.

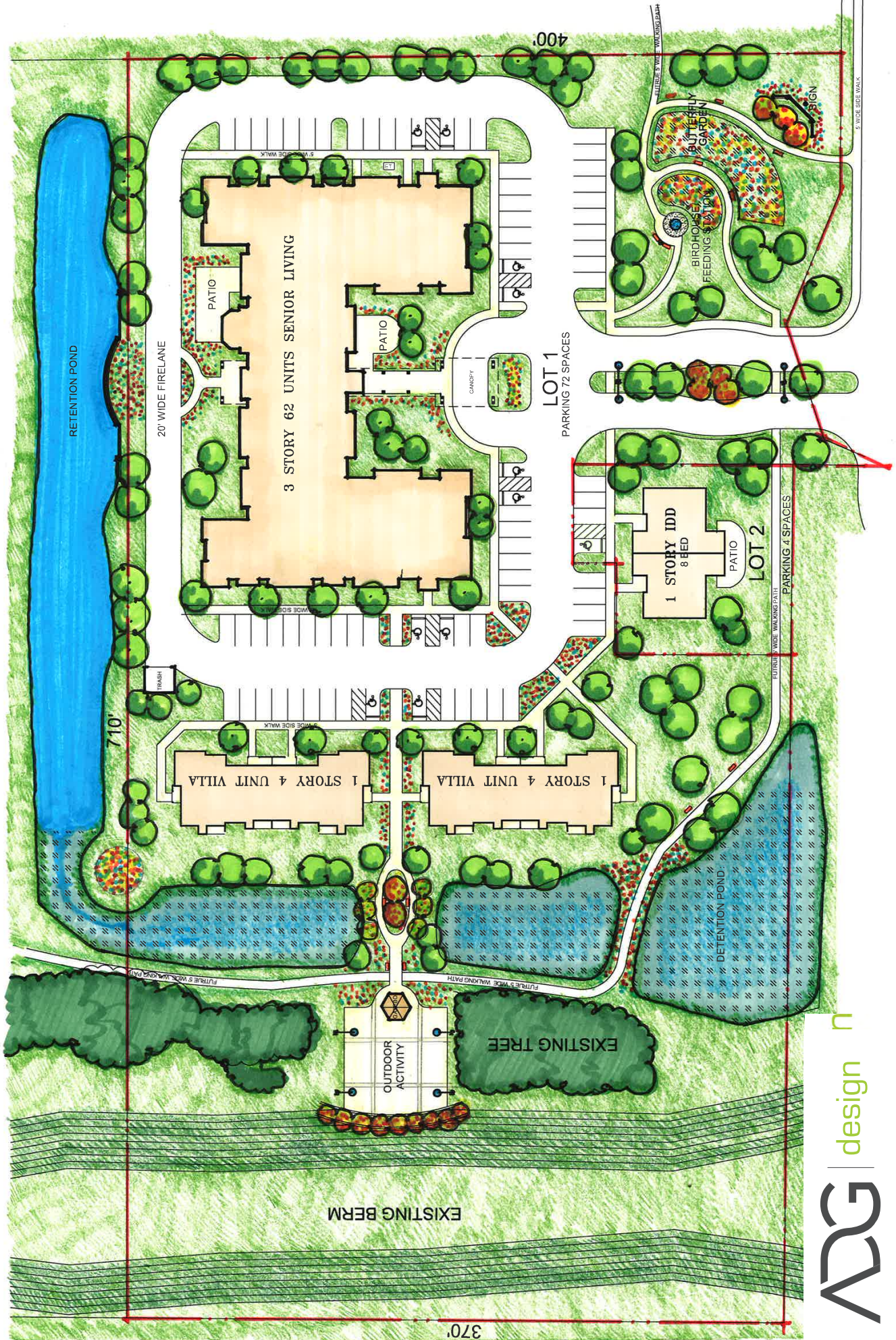
IAG is a skilled agency with over 25 years of experience providing services for individuals with intellectual and/or developmental disabilities. They have a highly qualified record of operating homes that are practical, neat, safe, and clean, as evidenced by their years of service and management to more than 90 CILAs sites across Illinois, and services to the Washington, D.C. area and Maryland. Additionally, there will be trained IAG staff onsite to provide 24-hour support to residents in completing daily tasks, such as selecting and maintaining clothes, grocery shopping, cleaning, budgeting, coordinating transportation to outside obligations, and facilitating social interaction at home and with the community. In the sites that IAG operates, the individuals they serve are given every opportunity to exercise their independence and engage in a healthy balance of social interaction. IAG brings a level of expertise and larger network of employees to facilitate an easy and comfortable life for the resident.

Specifically, IAG has four CILAs located in Naperville. An additional twenty CILAs are in Bolingbrook, Aurora, Romeoville, Montgomery, Oswego, and Yorkville. Beyond that, IAG operates CILAs in Somonauk, Plano, Sandwich, Quad Cities, Peoria, Springfield, Northern Suburbs, Jacksonville, Champaign, South Suburban Cook, and Kankakee covering fourteen counties.

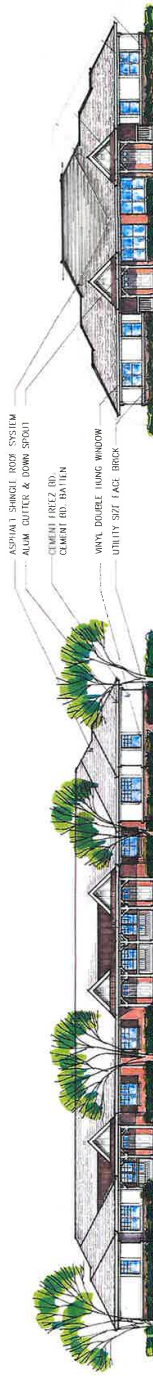
For the affordability of this housing, the persons who reside in CILAs utilize their Social Security money to pay for Room and Board expenses. Everyone receives \$794.00 per month from Social Security. However, some people may receive more money per month if they also have Social Security Disability benefits. For instance, the combination of Social Security and Social Security Disability could range from \$800.00 to \$1800.00 per month. For an example, if four people live together in a CILA, they have a combined income of \$3,176.00 to pay for the rent and utilities. Their SNAP benefits cover the cost of food. IAG often supplements the funding when necessary to cover costs if it is needed. This money comes from IAG donations.

Currently, IAG has a waiting list for people with developmental disabilities needing accessible housing. The demand for accessible housing greatly exceeds the supply. The lack of this type of housing prevents people from living successfully in the community.

IAG has had to turn away referrals due to the lack of housing opportunities in communities. This project will increase the much needed supply of affordable housing the people with intellectual or developmental disabilities.









SECTION 3:
PUBLIC BENEFIT

CONCEPT FINANCIAL STRUCTURE

A. Proposed Naperville Horizon Senior Living Community:

Equity and other forms of financing: Equity for this development will come from a Low Income Housing Tax Credit (“Tax Credits”) syndicator and investor, who will purchase the Tax Credits and invest roughly 70% of the development cost. The investor will purchase 99.99% of the partnership that will own the development as a limited partner. A for-profit wholly owned subsidiary of Alden Foundation will own the remaining .01% as the general partner. The Tax Credits are allocated by the Illinois Housing Development Authority (IHDA) through a competitive annual application process. Alden Foundation secured Tax Credits for all 14 of its affordable senior housing developments.

The other funding for the proposed development will come from a conventional first mortgage loan (through IHDA or a bank) and “soft” loans and grants from various programs. For this development, Alden Foundation anticipates utilizing HOME funds from DuPage County through its Community Development Commission, additional soft loan funding from IHDA (either HOME or Trust Fund) and a ComEd Energy Efficiency program grant. Alden Foundation has utilized all of these programs many of its 14 developments and has an excellent reputation with each of these agencies
Relief from standard municipal fees and

other benefits: Affordable housing is quite sensitive to development costs because of the limited amount of funding, as well as lower rents which reduces the amount of debt that can be borrowed against the property. Alden Foundation is committed to building a high-quality product, but with construction costs skyrocketing, producing and financing affordable housing has become increasingly challenging.

Alden Foundation would be seeking the following relief for Naperville Horizon Senior Living Community:

- A full waiver of the school impact fee, as all of the residents of the community will be over the age of 62
- A reduction of the park impact fee by 75%. The site plan incorporates 20,000 square feet of a butterfly garden, 8,000 square feet of an outdoor pavilion and 6,800 square feet of walking paths for residents of the Alden community. Also, given the age of the population, we believe that they will present less of a strain on community resources.

Property Management Experience: The proposed Naperville Horizon will be a rental community for seniors age 62 and older. Each tenant will sign a one year-lease. All of Alden Foundation’s 14 affordable senior developments are rental communities. Alden Realty Services has been the property manager for all of Alden Foundation’s developments for the past 25 years and will be the property

management company for Naperville Horizon. In its 25 year history of managing affordable senior housing, Alden has had no significant problems or issues. All properties are in excellent condition. Rent is collected promptly each month with minimal, if any, delinquencies. Occupancies are 98% or higher, and each building maintains a healthy waiting list.

Readiness to proceed, timeline:

Affordable housing developments can take years to develop. This is because the developments are reliant on multiple layers of financing, the most important being Tax Credits, which are allocated once a year by IHDA through a competitive process. There is only one application deadline a year. In order to apply, the developer must have the subject site under a purchase agreement or other type of site control and must have proper zoning and entitlements in place. Assuming that the City of Naperville would approve our proposal and that we could enter into a redevelopment agreement and secure Planned Development Special Use approved by year-end 2022, the Alden Foundation would apply to IHDA for Tax Credits in February 2023. Tax Credit decisions are made in about 90 days, so assuming approval, Alden Foundation would then proceed with construction plans. Financing closing, land purchase and construction start would occur in March of 2024 and the building would open in the summer of 2025. If Alden

Foundation is not successful with its Tax Credit application in 2023, then we would like to have another opportunity to reapply to IHDA for Tax Credits in 2024. It's not uncommon for applications to apply more than once to receive Tax Credits. This would mean that the redevelopment agreement with the City would permit Alden to have a site control option through the Spring of 2025. As it relates to the IDD component, ARS will not cause any additional delays to the overall site development. Meaning, once the financing for senior affordable housing is in place, the total development will be ready to proceed.

Affordability standards and affordability period:

Naperville Horizon will be affordable to seniors (62+) at 30%, 50% and 60% of the Chicago area median income. Of the 70 apartments, 65 will be affordable, four will be market rate and one apartment will be reserved for a live-in maintenance manager. The affordability period will be 30 years. Naperville Horizon will enter into an extended use agreement, required for IHDA Tax Credits, which will stipulate the 30-year affordability period. The extended use agreement will be recorded against the property.

Energy efficiency impact on tenants:

Since 2015, Alden Foundation developed five developments that have been built under various energy efficiency programs.

Naperville Horizon will be certified under Enterprise Green Communities and Energy Star, which means the units will be subject to blower door test to ensure that they are tight. Residents of Alden Foundation's newer buildings rarely use their heating systems because the units are so well insulated. Naperville Horizon is expected to be the same.

B. Proposed Alden CILA:

Sources of equity investment and other financing:

- Equity for this development will come from funding through Alden Realty Services, Inc.
- Additional funding for this proposed development will come from conventional financing through a bank.

Relief from municipal fees

Alden Realty Services Inc. is committed to building a high-quality product. However, with construction costs on the rise, producing and financing IDD housing continues to be an ongoing challenge and is not getting easier.

Alden Realty Services would be seeking the following relief for Naperville IDD Villa:

- A full waiver of the school impact fee, as all of the residents of the community are over the age of 18 years.
- A reduction of the park impact fee by 75%. The site plan incorporates 20,000 square feet of a butterfly garden, 8,000 square feet of an outdoor pavilion and 6,800 square feet of walking paths for residents of the Alden community. Also,

given the age of the population, we believe that they will present less of a strain on community resources.

Management Experience:

Throughout ARS's history of property management, the company has developed effective and streamlined processes to ensure smooth functionality for all parties involved, resulting in little to no significant problems or issues. In ARS standard, buildings are regularly inspected and evaluated to maintain excellent living conditions. ARS will maintain landlord responsibilities for this CILA as it relates to the physical property, however, IAG will serve as the operational management entity. As mentioned previously in the development concept statement, IAG operates more than 90 CILAs across Illinois and services to the Washington D.C. area and Maryland. Through their experience and expertise as an industry leader, IAG will ensure smooth operations and maintain full occupancy for many years to come.

Age, definition of IDD and affordability

The proposed Naperville IDD villa will be a community for individuals 21 years and older. ARS aims to develop housing that is in compliance with the recommendations and information listed in the Housing Needs Assessment of affordability.

Naperville IDD Villa will be an affordable living community, meaning it will not operate or provide the same services as an intermediate care facility. While the Naperville IDD Villa will have the assistance of IAG staff available, 24/7

medical services typically provided in a traditional care facility will not be provided.

Readiness to proceed and time table:
As mentioned previously, ARS will not cause any additional delays to the overall site development. Meaning, once the financing for senior affordable housing is in place, the total development will be ready to proceed.

Energy improvements
Naperville IDD Villa will meet the 2018 International Conservation Code, a standard law enforced by the state of Illinois, and will be constructed to the standards of Energy Star Certification

CONCEPT OPPORTUNITY STATEMENT

As previously referenced in the Development Concept Statement, Alden plans to incorporate detention and retention ponds and will be requesting additional land of approximately 0.7 acreage for this use. These detention and retention ponds can be shared with future neighboring developments, as well as serving as a buffer between them. By using this additional land for detention and retention, it frees up acreage closest to

the residents for green space uses such as 20,000 square feet of a butterfly garden, 8,000 square feet of an outdoor pavilion and 6,800 square feet of walking paths. This additional acreage serves this current concept, the future residents, and the future neighboring developments.

LEGAL ACTION

Except for the case listed below, none of the development team members have been engaged in any lawsuits or legal actions in the past 36 months as it relates to the following:

- A debtor in bankruptcy
- A defendant in a lawsuit (other than divorce)
- A defendant in an administrative action
- A defendant in any criminal case

Case: Morton Community Collee District No.527, an Illinois municipal corporation, Plaintiff, v. Alden Bennett Construction Co., an Illinois Corporation, et al. Case No. 2021 L 007682 Filed in the Circuit Court of Cook County, Illinois. Plaintiff brought a claim in regards to a construction contract dispute. Plaintiff's claims against Alden Bennett Construction are without merit. Alden Bennett Construction is aggressively defending this matter; and a motion to dismiss the complaint is pending.



Commercial Real Estate
115 South LaSalle Street
Chicago, IL 60603

November 29, 2021

City of Naperville
400 South Eagle Street
Naperville, IL 60540

RE: Alden Foundation


To whom it may concern:

BMO Harris Bank ("BMO") has had a lending relationship with Alden Foundation since 2005.

We have provided bridge, construction, and permanent financing for five of Alden Foundation's affordable senior housing developments, including: Barrington Horizon L.P., Alden Gardens of Bloomingdale L.P., Mount Prospect Horizon L.P., Huntley Horizon L.P. and New Lenox Horizon L.P. All of the developments have been completed on time and within budget and the loans are current.

Given the opportunity, BMO would be pleased to be a financing partner for future Alden Foundation's senior living communities' opportunities. If you have any questions, please do not hesitate to contact me at 312-461-3150.

Sincerely,



Allison Porter-Bell
Vice President
Community Development Lending



BMO Harris Bank N.A.



City of Naperville
400 South Eagle Street
Naperville, IL 60540

RE: Alden Foundation

To whom it may concern:

Enterprise Housing Credit Investments has been the Low Income Housing Tax Credit syndicator investor for two of the Alden Foundation's affordable senior housing developments: Huntley Horizon L.P. and Warrenville Horizon L.P. They develop an excellent product and deliver as promised. Not only are their building's beautifully designed, but they are well managed. Our experience with them is that they complete their developments on schedule and within budget and lease-up quickly.

Enterprise would be delighted to invest in another Alden Foundation senior living community.

If you have any questions, please do not hesitate to contact me at (410) 772-2522.

Sincerely,

A handwritten signature in cursive script that reads "Mike Rossi".

Mike Rossi
Senior Director



FIFTH THIRD BANK

Fifth Third Bank
222 S. Riverside Plaza
Chicago, IL 60606

December 9, 2021

Randi Schlossberg-Schullo
President
Alden Realty Services, Inc.
4200 W. Peterson Ave
Chicago, IL 60646

RE: Bank Reference Letter - Alden Realty Services

To Whom It May Concern:

Fifth Third Bank has had a relationship with Alden Realty Services since 1966. During this time, we have had the opportunity to partner in various Alden Realty developments, and all have been handled as agreed.

Given the opportunity, Fifth Third Bank would be pleased to be considered for future opportunities to work with Alden Realty Services. If you have any questions, please do not hesitate to contact me at 312-633-0203.

Sincerely,

A handwritten signature in black ink, appearing to read 'John Sassaris'.

John Sassaris
Senior Vice President
Fifth Third Bank



200 N. Main Street | Oregon, WI 53575

P: (608) 835-3900

F: (608) 835-3922

www.GormanUSA.com

REAL ESTATE DEVELOPMENT

MILWAUKEE MIAMI PHOENIX CHICAGO DENVER

December 13, 2021

City of Naperville
Attn: Joe Catalano, Procurement Manager
400 S. Eagle Street
Naperville, IL 60540
(630) 420-6111

RE: Response to The City of Naperville's Affordable Residential Development Proposal with Purchase of City Property (RFP #21-315)

Mr. Catalano:

Gorman & Company is pleased to submit the enclosed response for the above referenced RFP to The City of Naperville.

As Illinois Market President for Gorman & Company, I will serve as your primary contact. With more than 30 years of experience in real estate development and financing and as the former CEO of the Rockford Housing Authority and COO of the Alliance for Strong Families and Communities, I am uniquely qualified to lead this proposed development project; understanding the necessity of seamless integration of social services and supports and quality real estate operations.

Direct Contact information:

Email: rclewer@gormanusa.com

Phone: 815-847-0347

Illinois Office Address:

Ron Clewer
Gorman & Company
312 Harper Avenue
Rockford, IL 61103

Gorman & Company has 35+ years of experience developing some of the most catalytic housing solutions, many in partnership with nonprofit organizations and municipalities. We are very thankful for these partnerships.

Because our social service partners are key to the success of supportive housing and specialized population projects, we do more than contract with them as a provider – we truly partner by making them owners in our projects. We propose the same relationship in this project.

All of our social service partners are carefully selected, best in class providers with experience and capacity to stay with the project for the duration. Ray Graham Association is our partner in this project, bringing superior services into the homes of the potential residents who would choose to live with us. Ray Graham Association believes in a person-centered approach to care and community. They provide seniors and/or people with disabilities and their families an array of services that cater to their individual needs, strengths, and dreams.

Ray Graham Association aligns very close to our core [Gorman] values:

- We create and protect the best reputation at all costs
- We treat our people as our most important asset
- We provide first class service to our customers at all times
- We provide value and quality to meet or exceed customer expectations
- We maintain financial discipline to preserve and build long term economic strength
- We act in an honest, respectful, responsive and professional manner at all times

It is through these values that we have developed more than 10,000 units in 8 states; including 448 specialized units in Illinois. It is not our vision to be the biggest; just the best.

Thank you for your time and consideration of our proposal. Should you have any questions, please feel free to contact me at 815-847-0347 or via email at rclewer@gormanusa.com.

Sincerely,



Ron Clewer
Illinois Market President
Gorman & Company

Professional and Technical Competence

Real estate projects do not come to life from average performance but rather from immense creativity. Every real estate development project starts off with an idea. At Gorman & Company, we value ideas, and we especially value the ideas of others as our relationship with communities grows from the ideas of others. Our Gorman team is often called upon to help a community develop solutions to a challenge. In this project, a group of Naperville parents of adult children with Intellectual and Developmental Disabilities (IDD), motivated by love and a desire to secure their children's futures had the idea... and they acted on it.

We came into Naperville as a referral from the Corporation for Supportive Housing (CSH)¹ provided to those we now refer to as *our parents*. Our parents were looking for a real estate developer who specializes in unique, people and community centered projects. We were and remain honored to have been referred to our parents and brought by them into Naperville.

Project Team

The project team has been assembled starting with the idea (vision) of developing quality, people centered affordable housing options for Naperville adult residents with IDD. Our project team includes our nonprofit service provider Ray Graham Association (Sponsor) and Gorman & Company, LLC (Developer/Architect/General Contractor/Property & Asset Manager), other real estate development professionals (listed below), and of course our Naperville parents. We developed our team in a way that it ensures the development will be of the highest quality and meets our collective community needs, including those in the City of Naperville Affordable Housing plan and its strategies. It is our goal to deliver a development that enhances the City of Naperville by creating and sustaining high-quality affordable housing, to help expand housing choice for residents with the greatest needs, and to fulfill the city's desired RFP outcomes – now, and for years to come. Each member of the project team has been selected based on their experience and reputation.

Should we be selected, Gorman & Company will form a single purpose entity (LLC) for this project. Mike Redman, CFO/COO will serve as the secretary, and will have signatory authority signing binding RFP documents, included the Owner's Acknowledgement and Acceptance Agreement at Phase V. Brian Swanton, CEO will also have signatory authority.

Developer: Gorman & Company, LLC

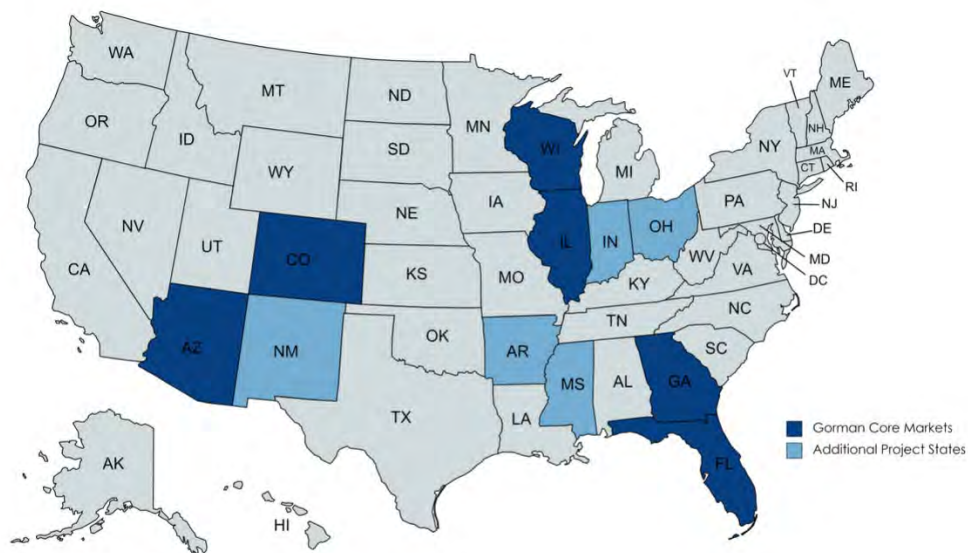
The developer is Gorman & Company, LLC, a fully integrated community development firm including development, architecture, general contracting, property management, and asset management. Gorman & Company will also serve as the lead entity of the project team. Since 1984, Gorman & Company has specialized in downtown revitalization, historic preservation, mixed-use, live-work, workforce housing, neighborhood transformations, and the creation and preservation of affordable housing options. We have been recognized as one of the nation's "Top 50 Affordable Housing Developers" by Affordable Housing Finance and regularly received local and national recognition for our development work and projects.

¹ CSH is the national leader in supportive housing, focusing it on person-centered growth, recovery and success that contributes to the health and wellbeing of the entire community. <https://www.csh.org/>

Our team has a proven record of accomplishment in cultivating successful partnerships with a wide range of groups including municipalities, corporations, housing authorities, nonprofit organizations, private investors, businesses, and community stakeholders. We bring with us our ability to assemble a wide array of resources necessary to tackle challenging development projects all while maintaining the community vision.

Of the 130+ projects that we have completed, we have never had a foreclosure, never defaulted, and never had a general partner replaced by the investor. We stand by our commitments. We only submit to RFPs with partners we want to work with, and when we receive an RFP award, we enthusiastically deliver on our promises.

Gorman & Company, LLC Real Estate Development



BRIAN SWANTON | PRESIDENT & CEO **PROJECT ROLE: SUPPORT AND SIGNATORY**



Brian Swanton transitioned into the role of President & Chief Executive Officer for Gorman & Company in 2018, after serving as the Arizona Market President since 2008. During his tenure as Arizona Market President, Mr. Swanton led a multi-disciplinary team that designed and constructed over 1,000 units of new housing across the State with an emphasis on permanent supportive housing for families, seniors, veterans, and chronically homeless populations in both urban and rural locations. Mr. Swanton also redeveloped some of the first public housing units in the country using HUD’s Rental Assistance Demonstration (RAD) program. As President & CEO, Mr. Swanton oversees all of Gorman’s business units, including design, construction, development, property & asset management, and administration. Prior to joining Gorman, Mr. Swanton held various leadership positions in the non-profit sector, where he directed the preservation and construction of over 2,300 units of housing in 29 residential communities across Arizona and successfully refinanced and/or repositioned 1,702 units of existing affordable housing. Mr. Swanton also spent eight years of his career in the public sector, having served as the Housing Development Manager for the City of Scottsdale, as well as other positions in housing and community development with the City of Glendale, AZ, the Arizona Department of Housing, and the City of Quincy, MA.

MIKE REDMAN | CHIEF FINANCIAL OFFICER

PROJECT ROLE: SUPPORT AND SIGNATORY

Mike joined Gorman & Company in 2014 as the Corporate Controller. He directly supervises all aspects of the accounting department including oversight of the budget process, tax preparation, and audit. He brings to Gorman & Company many years of diverse work experience from such industries as hotel development and management, construction, retail, and transportation. His background includes being a member of corporate leadership teams and serving in various leadership roles such as CFO, Controller, and Vice President – Finance. Mike holds a degree from Upper Iowa University and is a Certified Public Accountant. He is a member of the AICPA and WICPA and has served on boards of not-for-profit organizations.

RON CLEWER | ILLINOIS MARKET PRESIDENT

PROJECT ROLE: DEVELOPER

Ron Clewer joined Gorman & Company after working on several projects with the organization as the CEO of Rockford Housing Authority. Ron has more than 20 years of leadership experience and over 30 years of multi-use real estate development and asset management experience. Ron has been instrumental in developing creative community-building initiatives across the Midwest. He brings a vision and "can do" attitude to his work with a determination to merge the best practices for both private and public sectors to develop affordable housing that addresses the social determinants of health. His passion lies in quality... quality design, services, and quality environments. Ron earned his degree in Business Administration from Benedictine University and holds a Nonprofit Human Services Executive Leadership certificate through a partnership between the University of Michigan and the Alliance for Strong Families and Communities.



COLIN MALIN | DEVELOPMENT PROJECT MANAGER

PROJECT ROLE: SUPPORT AND CO-DEVELOPER

Colin began working at Gorman & Company as an intern for a summer position, and quickly became a fixture in the development department. He now serves as Development Project Manager for our Indiana, Illinois, and Ohio markets. Colin has a BA in Business Administration with a major in Real Estate and Urban Land Economics from the University of Wisconsin-Madison.

DUANE BUSCHER | FINANCIAL ANALYST

PROJECT ROLE: UNDERWRITING AND FINANCIAL REVIEW/SUPPORT

Duane Buscher serves as Financial Analyst for Gorman & Company, focusing primarily on underwriting Low-Income Housing Tax Credit projects. Mr. Buscher works closely with the Market Presidents and Construction Accounting team at all stages of the development process to evaluate project feasibility and conduct proforma analysis. Mr. Buscher joined the team at Gorman & Company in September 2014, having most recently worked in a similar role as an Underwriter for the Missouri Housing Development Commission. Mr. Buscher has a BA in Psychology and a master's degree in Urban Planning from the University of Kansas.

Gorman Architectural, LLC

Architect: Gorman Architectural, LLC was formed in 1998. It has designed innovative affordable multifamily developments in Gorman's core states. Gorman's architects have specialized in historic adaptive reuse; new construction, mixed use, mixed income; and the preservation of existing affordable housing. Projects designed by Gorman Architectural have won numerous awards and have attained the highest standards of sustainable/green design and accessible design.

We design projects with the intention of creating a sense of community, vitality, and openness. Thoughtful and careful arrangement of the main functions is paramount to a successful project. Gorman's integrated design process includes high efficiency, healthy building, low-impact development techniques, and the incorporation of natural, social, and cultural elements in the design.

Working with stakeholders and future residents allows us to tailor amenities to accommodate not only required activities but to find the overlap or synergistic opportunities planned facilities provide. We also design for energy efficiency and ease of maintenance.

PATRICK PATRELLO | DIRECTOR OF ARCHITECTURE **PROJECT ROLE: ARCHITECTURAL SUPPORT AND OVERSIGHT**



Patrick has 20 years of experience in commercial and residential architectural design. He is a registered Architect in Illinois, Wisconsin, Florida, Michigan, Colorado, Arizona, Arkansas, Indiana, Ohio, New Mexico, and is NCARB certified. His experience includes a wide range of construction types and occupancy classifications including adaptive reuse and new construction. While with Gorman, Patrick has served as the Project Architect, Architect of Record, and Director of Architecture for over 900 units of housing and/or hotel guest rooms spread over several developments in six states.

Prior to joining Gorman & Company, Patrick worked for the University of Wisconsin and the City of Detroit. Previously, he was with an award winning Chicago architecture firm recognized as a leader in the design of mid to high-rise residential and mixed-use developments. Patrick received his Bachelors and Masters of Architecture degrees from the University of Michigan Patrick is a member of the American Institute of Architects and the Congress of New Urbanism. He is passionate about urban redevelopment and the psychological effect of quality housing.

THOMAS KNAPP | ARCHITECTURE **PROJECT ROLE: LEAD ARCHITECT**

Thomas received his bachelor's degree in architecture and Design from the University of Illinois at Chicago. Thomas has more than 30 years of experience in commercial and residential architectural design and is a registered Architect in Illinois. His experience includes a wide range of construction types and occupancy classifications including adaptive reuse and new construction. Patrick has served as the Project Architect and Architect of Record on projects all over Illinois. Prior to coming to Gorman & Company, Thomas was President and Managing Partner of TR Knapp Architects.

Landscape Architect: TBD (guaranteed local selection)

Gorman General Contractors, LLC

General Contractor: Gorman General Contractors, LLC serves as General Contractor on Gorman & Company development projects. The company believes that the best way to ensure high quality and timely construction is to build its own projects using local community labor. This level of accountability leads to greater attention to detail and the ability to support each construction phase. Gorman continually improves its construction practices with each successive development because everything is done in-house. Gorman General Contractors, LLC has constructed 50+ multifamily communities and has often led the way with communities and with State Housing Finance Authorities in establishing higher targets for minority and emerging sub-contractors.

Because it continues to build superior relationships with strong local subcontractors, Gorman General Contractors, LLC can achieve top quality results and often finishes its projects ahead of schedule. Gorman's construction team consists of project managers, on-site field superintendents, and a Director of Construction - all of whom daily oversee work in progress. When challenges arise on the job site, Gorman General Contractors is positioned to quickly resolve issues through close collaboration with its in-house architectural staff.

RON SWIGGUM | VICE PRESIDENT OF CONSTRUCTION **PROJECT ROLE: GC OVERSIGHT**



Ron has over 25 years of experience in construction project management. As part of a vertically integrated development company, he has a breadth of skills beyond general contracting including coordination of design professionals, space planning, life cycle costing, development and training of personnel, strategic business planning, risk management, staff leadership, profit and loss oversight, and customer relations. Ron directed construction for one of the largest "Green Communities" Public Housing Authority developments east of the Mississippi River and oversaw the construction for an innovative workforce housing development in Monroe County, Florida. He also served as Construction Project Manager for award winning Gorman & Company affordable housing development in Glendale, Arizona as well as a LEED Platinum project. Ron has most recently completed oversight for the \$87M

(Gorman) Hotel and Convention Center in the City of Rockford, Illinois.

PROJECT ROLE: PROJECT MANAGER – TBD

Gorman & Company will select from its experienced staff project managers will serve on this project.

Gorman Property Management

Property and Asset Management: Gorman & Company formed its property management division in 1991. Gorman & Company manages 60+ apartment communities, totaling over 5,000 units. Controlling our management company within the Gorman & Company umbrella allows us to customize our tenant selection criteria to our specific target population while conforming to investor and Section 42 compliance regulations.

Gorman & Company also provides Asset Management services for projects. The scope of services provided by Gorman for asset management includes asset financial monitoring, performance review, tracking loans and reimbursements, stakeholder reporting, and reserve tracking. Asset management also tracks month to date, year to date, and quarterly NOI and DCR (Debt Coverage Ratio) tracking. They also review and approve budgets for assets.

LAURA NARDUZZI | DIRECTOR OF OPERATIONS
PROJECT ROLE: PROPERTY MANAGEMENT OVERSIGHT AND
HIRING/TRAINING TEAM FROM NAPERVILLE

Laura received her degree in Hotel and Restaurant Management from the University of Wisconsin – Stout in 1989. She began her hotel career with The North Central Group, a hotel management and development company. She held various positions in her 20-year tenure with that company including the Vice President of Operations. In that role, she was responsible for a \$90 million highly reputable hotel portfolio of Hilton and Marriott brands, which received several brand awards. She joined Gorman & Company in 2009 and now is the Director of Operations.



She directly oversees the operations of Gorman & Company’s management division as well as supervises several corporate functions including facilities, marketing, training, and compliance. She works closely with the third-party management companies ensuring Gorman & Company’s standards are synonymous across all markets. Laura works closely with Development, Design and Construction in the development process to insure strong viability and long-term sustainability.

On site property management will be hired from the Naperville area and onboarded through Gorman University (Oregon, WI) to learn and implement Gorman values, policies, and procedures.

Project Nonprofit Sponsor and Service Partner

Service Provider Partner: Ray Graham Association. Founded in 1950, Ray Graham Association serves nearly 2,000 people with disabilities and employ about nearly 350 people. Ray Graham enriches lives by empowering those we support and those who care for them to reach, grow, and achieve. Ray Graham Association believes in a person-centered approach to care and community. We provide people with disabilities and their families an array of services that cater to their individual needs, strengths, and dreams. Putting people first leads to a happier and healthier community. Ray Graham Association currently serves more than forty households in Naperville.

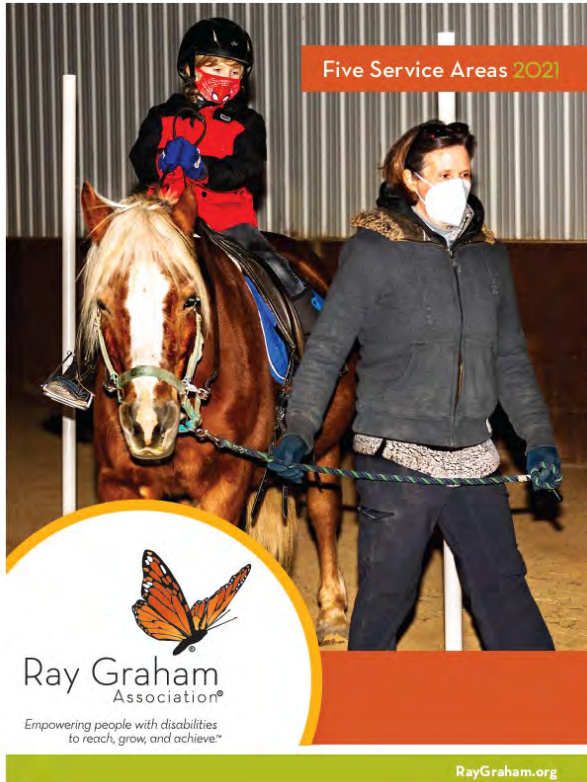
RGA Leadership

Kim Zoeller
President & Chief Executive Officer

Carmel Cooke
Chief Financial Officer

Mark Langan
Chief Development Officer

Caren Musembi
Chief Services Officer



Recreational

Simply being outdoors or socializing makes people happier and healthier. We offer an array of ways to socialize and engage with the community. The Hansen Center features our Premier Professional Association of Therapeutic Horsemanship (PATH) Accredited therapeutic horsemanship program, and an animal farm. Through the Gateway Special Recreation Association, more people can do what they love in a supportive and customized setting. Wellness classes, summer camps, social clubs, and team sports like basketball, bowling, and softball lay the foundations for skill building, interpersonal relationships, and more fulfilled lives.

Residential

People supported at Ray Graham Association have much more than a place to live—they have a home. Over 100 people with disabilities flourish in our 25+ community-based homes that promote independence and foster friendship. ADA accessible houses are available for people with mobility needs. We provide everyone with the chance to be a part of their community and to make every day enjoyable and meaningful. Whether working at their job, volunteering in their community, or learning new life skills at our Community Learning Centers, those we support have greater control of their lives.

Family Support

Family life can be a challenge. Questions and self-doubt can compound stress if you're caring for a child or adult with special needs. Ray Graham Association offers families strategies to support their loved ones and integrate them into the community. Personal consultations help families to navigate service options, explore social and health care opportunities, and find sources of funding for people with disabilities.

Employment

Employment provides people with disabilities a sense of dignity and purpose. Ray Graham Association partners with hundreds of businesses and organizations throughout DuPage and the surrounding counties to help people with disabilities find a job and find the right fit. People find the financial independence a new job offers through interview training, resume writing, and learning to dress for success. Skills like navigating public transportation and connecting to supports at work contribute to the 80% retention rate for employment seekers.

Life Skills

Cooking, shopping, and exercise are routine for most. For people with disabilities, accomplishing these everyday tasks can be a source of independence, comfort, and pride. Ray Graham Association provides daytime activities for people with disabilities, classes for folks with similar interests, and life coaching. Through partnerships with Meals on Wheels, Operation Support Our Troops, and similar organizations, the people we serve are civic leaders themselves. They volunteer over 3,000 hours a year, delivering meals to their homebound neighbors, offering encouragement to the women and men in the armed forces, among many other activities.



KIM ZOELLER | PRESIDENT AND CEO **PROJECT ROLE: SERVICES DESIGN AND OVERSIGHT OF CASE MANAGEMENT** **SUPERVISOR AND TEAM SELECTION**

Kim provides leadership and oversight to the \$24 million community agency that provides supports to over 2,000 children and adults with developmental disabilities. She sets the vision and provides leadership to a staff of over 425, oversees the development and expansion of community programs, community development and fundraising and governmental affairs. Kim also provides oversight to Life'sPlan, a pooled trust option for people with disabilities. As an advocate she collaborates with various entities to influence and change public policy to positively impact public policy in Illinois and federally.

Ray Graham Association will have a 51% ownership interest in the project managing member LLC. Gorman & Company, LLC will hold 49%. It should be noted, that despite the nonprofit status of Ray Graham Association, the project will still pay property taxes consistent with the Illinois and County property tax regulations.

Case managers and aides will be hired by Ray Graham to provide person centered services to the IDD and senior residents of the property.

Project Engineers

Engineering: Fehr Graham Engineering and Environmental. Fehr Graham is more than an engineering and environmental services firm. Since 1973, we have completed some of the most unique

and challenging projects across the United States thanks to our diverse team of experts who strive to improve the quality of life in the communities where our clients live and work.

JOEL ZIRKLE | PRINCIPAL PG, CGP
PROJECT ROLE: SELECT APPROPRIATE STAFF
ENGINEERS FOR THE PROJECT

A Grinnell, Iowa, native, Joel graduated from Cornell College with a bachelor's degree in Geology and Environmental Studies. He earned a master's degree in Geology from the University of Iowa. Joel was instrumental in developing Fehr Graham's leadership program and mentoring future firm leaders using John Maxwell's "Five Levels of Leadership" and RightPath assessments to improve collaboration and understanding of colleagues. His efforts are helping groom the firm's future leaders.

Community Partners

Community Access Naperville, Inc. is a grassroots nonprofit founded by a group of Naperville parents seeking an affordable community-based day program for their young adults who needed additional structure and staff support than traditional programs offered in Naperville. Community Access Naperville empowers people with intellectual and developmental disabilities to work in, contribute to, and enjoy their community. CAN strongly endorses the affordable residential initiative proposed by Gorman & Company and Ray Graham Association for individuals with I/DD and Seniors to live independently of family and remain active in the community.

Sherry Healey, President
Community Access Naperville
PROJECT ROLE: ADVISOR

A Special Place, Naperville. A Special Place aims to enrich and enhance the lives of special needs individuals and their families by creating a housing footprint. This is to promote growth within a community for individuals with diverse abilities through social interaction and the arts. A Special Place was created to give those with disabilities a place to make friends and have a great time. Theater not only gives them an outlet to express themselves, but also helps them develop self-confidence and stage presence. Every year we can hear their voices a little louder and see their smiles are a little bigger. They are excited to come to practice and be with their friends.

Cheryl Butler, Executive
A Special Place
PROJECT ROLE: ADVISOR

WHAT PEOPLE SAY
ABOUT US...

Mayor Tom Barrett
City of Milwaukee

"I think what really has made this work is you've got a company that brings a lot of creativity, a lot of determination, and certainly a can-do attitude and gets things done and that's what we need in the city. We need people who will act on their beliefs and put their money where their mouth is. And that certainly has happened right here."

Rocky Marcoux,
Commissioner – City
Development,
City of Milwaukee

"You walked into that building, you saw those copper kettles and you say – this City knows how to get things done...There's nothing that Gorman & Company has touched in this City that doesn't turn to gold."

Antonio Riley, Regional
Administrator of HUD
Chicago Office

"Gorman is one of our premier developers. They tend to take on the very difficult projects to do and they do those projects very well."



2021 A Special Place sold out golf outing -Parents Cheryl Butler & Donielle Deering

As mentioned, Gorman & Company has the added ability to engage with community members and bring them into the project to help with design and programming. This is another area where we excel. Over the past year we have worked diligently with Naperville parents to aid

in the advancement of a project that focused on housing resident family members with IDD. These parents are an active and loving group focused on ensuring their children are housed in a property that meets their needs with a service provider, developer, and property manager who will care for their children as they have. They believe in the project and team of Gorman & Company and Ray Graham Association and have engaged other families with, or close to, individuals with IDD, collecting 304 signatures as is evidenced by this screen shot of their engagement efforts. The full list of signatures is available upon request as unfortunately page limitations of the RFP do not allow for full inclusion of the 8 pages of signatures and comments.

IDD/Senior Affordable Housing Sign on Letter - Naperville, IL

We, the undersigned, support the City of Naperville and their approach to advancing affordable housing for individuals with Intellectual and Developmental Disabilities (IDD), as well as seniors. We appreciate the intentional use of city owned property to advance affordable housing and the Request for Proposal (RFP) the City issued to find a developer with the knowledge, experience, and capacity to complete the project.

We support Ray Graham Association (RGA) as the nonprofit service partner in the project. RGA enriches lives by empowering those they support and those who care for them to reach, grow, and achieve, with 70 plus years of experience and intentional focus on serving individuals with dignity. Ray Graham Association serves nearly 2,000 people with disabilities and will be expanding their existing services in Naperville through their partnership with Gorman & Company, LLC.

We further support the human centered, public engagement process Gorman & Company, LLC will use to ensure the operations, services, design, and amenities will not only meet the needs of the residents who will eventually call the property home, but also to ensure the project is consistent with the neighboring architecture and context of our community.

We support Gorman & Company, LLC, not only for their experience as an affordable housing development company, but also for their focus on community solutions and local investments, including local material purchases and labor.

We are confident that this is the right partnership to provide affordable housing for our community, our IDD population, and our senior population.

Respectfully, the undersigned

Timestamp	Name (First and Last)	Email	Address (if explanation.)
2021/11/21 3:02:01 PM CST	Vivian Gibbas	viviangibbas@naperville.org	501 Riche I have a son with IDD.
2021/11/21 3:02:16 PM CST	Lara Ellison	laramasullo@naperville.org	28 Elmwood I have a relative with IDD
2021/11/21 3:03:18 PM CST	Jennifer Schreier	jenschreier@naperville.org	3603 Jubilee I have a neighbor who is need of these services.
2021/11/21 3:03:32 PM CST	Lisa Hall	morrishall@naperville.org	Dyer, Indi I have a relative with IDD
2021/11/21 3:05:39 PM CST	Karen Thomas	karenthomas@naperville.org	712 Thorn My son has Autism.
2021/11/21 3:08:24 PM CST	Noelle Bender	noellecb25@naperville.org	2521 Don Parent
2021/11/21 3:31:09 PM CST	Allison Longenbaugh	alongenbau@naperville.org	609 N Brand and old. I met Cheryl when I was campaigning for City Council and learned about their situation. I think supportive housing is a smart model they benefits both the young



A Special Place Theatre Program

Our Parents...

It is essential that we provide a safe home where those with IDD can not only live but thrive. Gorman and Ray Graham together provide that for us! Our building must “fit in” to the community, the architecture and the landscape must reflect the values of Naperville.
Cheryl Butler

We look forward to organizing community social events in the shared space, such as game nights, karaoke nights, theater productions, and cooking classes. It's important to us that Michael be able to continue to be active in the community where he grew up, even after we are no longer able to facilitate those interactions.

Sherry & John Healey, parents of Michael

Legal Team

Reinhart, Boerner, Van Deuren, S.C.; Applegate & Thorne-Thomsen; Cuhak & Tecson P.C

The legal team assembled for this RFP reflects the various realms of expertise needed to ensure the success of a development such as the one proposed. Reinhart, Boerner, Van Deuren, S.C. (Reinhart) serves as lead legal counsel on all Gorman developments. They assist reviewing Letters of Intent, draft various legal documents, and provide counsel on all projects that Gorman works on across the nation. When working outside of Wisconsin Gorman employs local legal counsel to assist. In Illinois all projects are reviewed by Applegate & Thorne-Thompson as they serve as the Illinois state local legal counsel. Cuhak & Tecson P.C. Principal Kevin Coyne has been selected to be a member of this project team due to his extensive knowledge of Naperville. Assembling a strong legal team with a wide breadth of knowledge is key to ensuring the long-term success of a development.

Project Team Org Chart



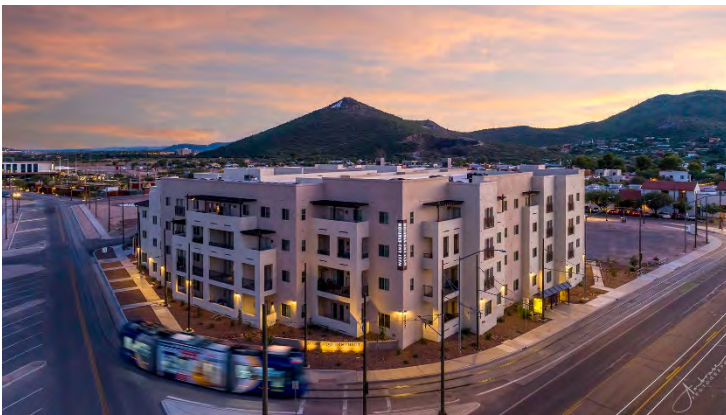
Project Experience and Capacity

In the state of Illinois, Gorman has received LIHTC awards for projects to date, totaling 445 completed units and 98 in process.

Gary J. Gorman started Gorman & Company in 1984 to develop, syndicate, and manage multifamily

housing properties. Gorman & Company has become one of the largest and most respected multifamily development firms in the region. Currently Gorman & Company employs over 400 individuals. Gorman & Company has been ranked among the Top 10 Affordable Housing Developers by Affordable Housing Finance. With over 130 community revitalization projects in the portfolio, Gorman & Company has experience developing some of the nation’s highest quality affordable housing and neighborhood revitalization projects. Gorman & Company works closely with local governments and municipal groups to help cities meet their development, planning, economic and social goals. Gorman’s staff brings a broad range of development, design, construction, and real-life experience to the development process and applies those skills to solve problems and help communities bring their plans to reality. Gorman has developed over 10,000 units totaling near \$2 billion in assets. Construction has been

Project Name - Illinois	Award Year	Award
The Regenerator (Awarded 12.6.2021)	2021	9% LIHTC
Pearl Place Apartments (In underwriting)	2021	4% LIHTC
Garfield School Senior Residences	2018	9% LIHTC
Orton Keyes	2017	4% LIHTC
The Grove at Keith Creek (aka Fairgrounds Phase I)	2015	9% LIHTC
Jane Addams Park Apartments	2010	9% LIHTC
Moline Enterprise Lofts	2010	4% LIHTC
Moline High School Lofts	2005	9% LIHTC



completed on over 6,000 units, and management oversees more than 5,000 units. With a portfolio this large spanning the nation, Gorman is no stranger to working with multiple partners on each development. Being vertically integrated allows all departments to maintain constant and thorough communication from development to operations.

Gorman & Company has an extremely successful record in receiving 9% competitive low-income housing tax (LIHTC) awards. In our 37 years in business, Gorman has been awarded credits for over 100 LIHTC projects, totaling 9,000+ units; the differential accounts for market rate units.

In addition to LIHTC, we have extensive experience financing projects with a multitude of sources, including Tax Incremental Finance (TIF), HOME/CDBG Grants, IHDA soft fund grants, State LIHTC, and Federal Home Loan Bank Affordable Housing Program (AHP) funding, and City and County Affordable Housing Funds.

Gorman & Company believes the best results come when a clear understanding of the goals and desired outcomes of all partners are identified, and holistic planning works to achieve these. We work diligently to convene appropriate parties and match the goals of our partners with a planner that can bring an executable transformation plan forward. Gorman & Company, and its Illinois Market President, Ron Clewer have extensive experience as a convener and in delivering affordable housing properties with essential services that meet the blended requirements of all partners, a project's residents, and health, education, and social service providers in the local human services ecosystem.

Our integrated platform allows us to align company resources to meet the needs of every project we choose to move forward or compete for. The Naperville project is one we are choosing to compete for and have aligned appropriate resources to.

The following project examples serve as proof of our capacity and experience in delivering a project in Naperville that meets the RFP requirements, City goals, and the needs of the families who choose to let their loved ones live with us. It is followed by a full listing of all Gorman projects.

The Elisabetta

Gorman Roles: Developer, Property Manager

5120 Broadway, Denver, CO



SOURCES		USES	
4% LIHTC Equity	\$11,114,596	Acquisition	\$0
State Tax Credit Equity	\$3,545,781	Hard Construction Costs	\$18,955,503
First Mortgage	\$8,200,000	Soft Costs	\$7,491,510
City of Denver	\$1,820,000	Reserves	\$622,310
Colorado Housing Trust Fund	\$800,000		
Laradon Funds (TI)	\$500,000		
Developer Contribution	\$1,088,946		
TOTAL	\$27,069,323	TOTAL	\$27,069,323

The Elisabetta is a new construction mixed-use development in Denver, Colorado, and includes 90 units of much-needed affordable housing in the Globeville Neighborhood as well as supportive services for residents with intellectual and developmental disabilities (IDD). The new community serves residents and households earning 30%, 50% and 60% of the Area Median Income. Twenty five percent (22 of 90) of the units at the property are set aside for disabled residents. The first floor includes 12,500 square feet of space for the Laradon Hall Society for Exceptional Children and Adults (Laradon) and their day programming for clients with intellectual and developmental disabilities. There are no age requirements for tenancy at The Elisabetta.

The Elisabetta (Continued)

Much like the project envisioned in this RFP response, the selection of the right organization to partner with to provide services for IDD residents was crucial for The Elisabetta. For this project Gorman partnered with Laradon, the state of Colorado’s leader in IDD services. Founded over 70 years ago, Laradon continues to be a trailblazer for Person-Centered Thinking and IDD advocacy. Over the years Laradon has led the way as society has become more enlightened to the human potential and personal desires of the community members served by Colorado’s intellectual and developmental disabilities system. Laradon has an intimate knowledge of the Globeville Neighborhood, having been in the community since 1950.

The Elisabetta, named in honor of one of the founders of Laradon Elizabeth Calabrese, was conceptualized in part through a series of meetings with various community stakeholders. In early 2016, a team representing a wide variety of interests in the neighborhood was formed, and input was gathered on how best Gorman could integrate The Elisabetta into the community, addressing the need for affordable housing. By early 2020, The Elisabetta was complete. This will be a vital community asset for years to come, with a 30-year commitment made by Gorman to keep the project affordable according to the unit mix below.



Reference: Doug McNeill, CEO of Laradon, 720-974-6827, douglas.mcneill@laradon.org

Unit Type	AMI %	# of Units
1 Bedroom, 1 Bath	30%*	9
	50%*	9
	60%	32
2 Bedroom, 1 Bath	30%*	1
	50%*	1
	60%	33
3 Bedroom, 2 Bath	30%*	1
	50%*	1
	60%	3
TOTAL		90

Site and Building Information	
Number of Acres	1.87
Overall Height	61 feet



All Gorman staff listed, with the exception of Ron Clewer, Colin Malin, and Tom Knapp played like roles in the development of The Elisabetta.

Jane Addams Park Apartments

Gorman Roles: Developer, Architect, General Contractor, Property Manager

502 Seminary Street, Rockford, IL



SOURCES		USES	
9% LIHTC Equity	\$6,576,339	Acquisition	\$1
First Mortgage	\$1,460,103	Hard Construction Costs	\$6,088,787
Deferred Developer Fee	\$160,886	Soft Costs	\$1,174,100
		Developer Fee	\$643,200
		Reserves	\$291,240
TOTAL	\$8,197,328	TOTAL	\$8,197,328

Jane Addams Park Apartments is a supportive housing development focused on serving residents with seniors and the disabled. It is constructed on a park-like site near downtown Rockford. The development is a partnership with the Rockford Housing Authority and includes a thirty-eight-unit, state of the art, supportive housing facility.

The remainder of the Jane Addams site includes features such as community garden plots, walking paths, and a playground. The site consists of a variety of buildings. One 16-unit building anchors the corner and houses the common space as well. The remaining 22 units are made up of 7 two- or four-unit buildings built in such a way to look like single family homes. These building are designed to fit the historic architecture of the neighborhood. Amenities include a community room, reading room, technology room, health care room, consulting offices, exercise room, and storage units.

Jane Addams (Continued)

The project is the result of an intensive planning process begun by the Rockford Housing Authority in 2008 and continued in 2009 by Gorman & Company, which was competitively selected as the development partner for the RHA. The extensive planning process included many meetings over the course of months with public housing residents, neighborhood representatives, and political stakeholders.

The project site for Jane Addams borders existing single-family homes and Gorman wanted to ensure the design used at Jane Addams wouldn't feel disruptive to the existing community. Public input sessions were held and based on the ideas and feedback gathered, the final site plan and building design was decided. The result is a site with relatively low-density, and buildings that are designed to fit in with the character of the neighboring single-family homes. Construction began in January of 2012 and was complete by December of the same year.



Reference: Jerry Lumpkins, former RHA Chairman Board of Commissioners, 312-371-5039, Jerry.lumpkins@leumiusa.com

Unit Type	AMI %	# of Units
1 Bedroom, 1 Bath	30%	9
	60%	21
2 Bedroom, 1 Bath	30%	2
	60%	6
TOTAL		38

All Gorman staff listed, with the exception of Tom Knapp and Colin Malin played like roles in the development of Jane Addams.

Site and Building Information	
Number of Acres	2.46
Highest Height	48 feet



Garfield School Senior Residences

Gorman Roles: Developer, Architect, General Contractor, Property Manager

1518 2nd Avenue, Moline, IL



SOURCES		USES	
9% LIHTC Equity	\$9,651,996	Acquisition	\$75,000
Federal Historic Tax Credit Equity	\$1,424,377	Hard Construction Costs	\$9,686,912
First Mortgage	\$1,276,236	Soft Costs	\$2,484,030
Deferred Developer Fee	\$607,766	Developer Fee	\$1,355,000
State Historic Tax Credit Equity	\$526,080	Reserves	\$349,030
Federal Home Loan Bank AHP	\$462,554		
TOTAL	\$13,949,972	TOTAL	\$13,949,972

Garfield Elementary School is a historic elementary school that was phased out of operations at the end of the 2015 school year. Gorman & Company, in partnership with the Moline Housing Development Corporation, redeveloped the school, combining an adaptive reuse approach of the historic structure while enlarging the building's footprint with new construction. The project created much needed high-quality affordable senior housing targeted to assist low- and moderate-income residents. Seven of the units are designated for those with disabilities, assisted by rental assistance in conjunction with the Greater Metropolitan Rock Island County Housing Authority.

Garfield School Senior Residences (Continued)

All units were designed to Universal Design standards and include energy efficient appliances and design standards. The development was completed with enhanced greenspace aimed to help the project integrate into the surrounding neighborhood. The Garfield School Senior Residences include high quality amenities such as a fitness center, warming kitchen, and multipurpose space for resident use. Use of the multipurpose space can also be requested by community members. Prior to Garfield School, Gorman & Company had partnered with the City of Moline to bring the successful Moline High School Lofts and Moline Enterprise Lofts developments to the market.



Gorman & Company, in partnership with the Greater Metropolitan Rock Island County Housing Authority, held a series of open house events early on in the process of redeveloping the historic school. At Gorman we recognize the importance of achieving buy-in from the community in the long-term success of any development. Through these early meetings we not only gather information on what the community members want to see in the final product, but we can also address any questions or concerns they may have about the development. Community input meetings were held in the summer of 2016. By spring of 2018 construction had begun on Garfield School. Once construction was complete in the fall of 2019 Gorman began property management.

Reference: Alexandra Elias, Executive Director Renew Moline, 309-428-4916 aelias@renewmoline.com

Unit Type	AMI %	# of Units
1 Bedroom, 1 Bath	30%	12
	50%	3
	60%	33
2 Bedroom, 1 Bath	60%	9
TOTAL		57

Site and Building Information	
Number of Acres	2.25
Highest Height	40 feet

All Gorman staff listed, with the exception of Tom Knapp played like roles in the development of Garfield.



Legal Action

Neither Gorman & Company, LLC, nor or any of any of their officers, directors, general partners or managers have been charged or convicted of a felony or a misdemeanor involving moral turpitude, or is now or has ever been charged with or convicted of any civil or criminal offense relating to the conduct of the business of the Applicant or any similar business or from the issuance, sale or solicitation for sale of any type of security. Below is a list of pending/existing litigation. These do not include numerous small collections and landlord/tenant actions related to our property management operations which we do not consider significant or related to real estate transactions.

PENDING LITIGATION

Date of filing: 8/18/2020

Location of case: Maricopa County, AZ

Gorman Entity: Gorman & Company, LLC

Case Information: Lay Allen Gerdes vs. Dunlap & Magee Property Management, Inc.; Gorman & Company, LLC; Law Office of Scott M Clark PC (Case No. CV2020-09870)

Type of case (e.g., negligence, tort, etc.): Discrimination

Status of case: Oral arguments were set for 9/29/2021

Is the suit is fully covered by insurance: TBD

1. Gorman & Company, LLC are each from time to time a defendant in lawsuits involving slip and fall actions, workers compensation claims, employment claims and other claims which do not have a material adverse effect on Gorman & Company, LLC's business.
2. Various lawsuits in which Gorman & Company, LLC is named as a defendant in a foreclosure action as a result of Gorman & Company, LLC having a judgment lien against the mortgagor whose mortgage is being foreclosed.
3. The award of monetary damages to the Plaintiffs in lawsuits listed above would not materially affect the net worth of the Borrower or Guarantor.
4. An adverse decision or decisions in the Lawsuits listed above would not result in Borrower or the Guarantor being unable to fulfill their respective obligations.

DEVELOPMENT CONCEPT DESIGN AND APPROACH

We envision the project between Gorman & Company, LLC, Ray Graham Association, our parents, and the City of Naperville, as not only aesthetically pleasing but also operationally sustainable and desirable by the residents who choose to live here.

The site offers convenient access to shopping, transportation, health care and other support services and amenities, including connections to the walking path to the north that will take residents to these amenities, including the library. Because of its location and access to amenities, the site will score competitively in the Community Characteristics for a 9% Low Income Housing Tax Credit (LIHTC) application.

Further, the geography and shape of the site, individually the single eastern six-acre parcel, or together with the western six-acre parcel can support a thoughtful design that can include multiple sustainable elements.

To ensure we are not just compatible, but also complementary, to the surrounding land uses, we performed an architectural design study of the residential southeast and north of the site. We also analyzed and considered the adjacent commercial architecture. The attached renderings, site plans, and elevations are the culmination of these studies and assessments. Required zoning setbacks are respected, and we seek no waiver from setbacks.

We want to emphasize the drawings contained herein are concept only and in no way suggest we have fully designed the site or the improvements; however, they do represent our commitment to the Naperville Design Standards. It is our intention that any final design will come through a public process where stakeholder input helps to influence composition, rhythm and proportions, transparency, entry and detailing, materials, exterior lighting, and exterior signage at a minimum. And, while the project is residential, due to its location we are blending both residential and commercial design elements to ensure compatibility and smooth transitions between uses. Lastly, but equally as important, our parents and Ray Graham Association will be key in interior design specifically project form and function.

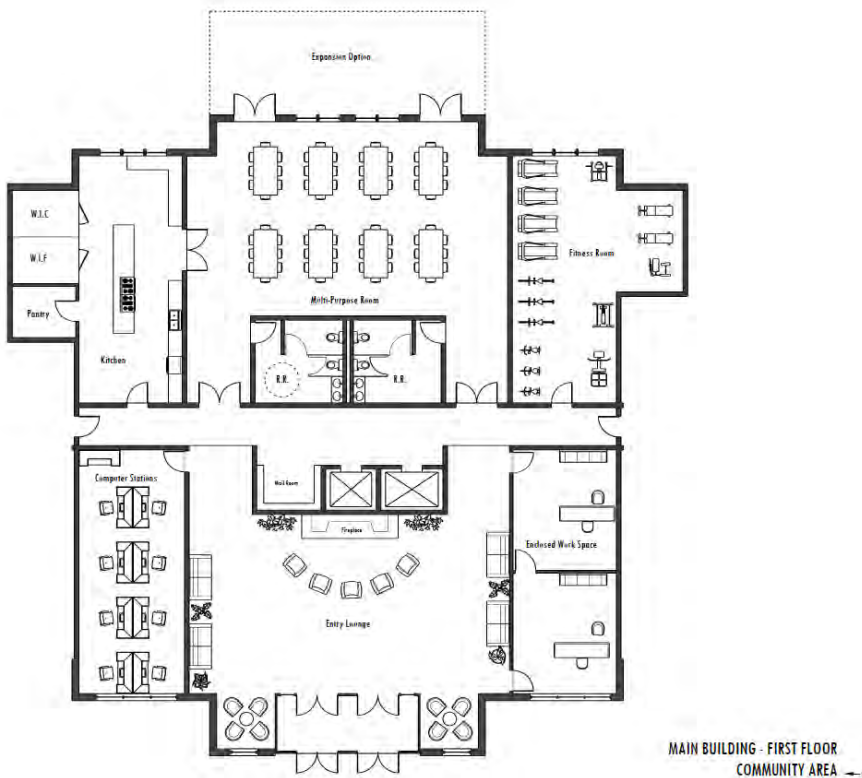
In the provided concept drawings, we paid particular attention to create a design that would allow for a commanding and welcoming project whether one phase or two phases were built. We specifically chose to show both phases on the site, with a right in right out access from HWY 59, but also chose the rendering view to primarily show the eastern single phase. This provides proof that the site can stand alone with either approach. This layout of 60 units on each site allows for a maximum sized LIHTC request by phase. We also want to note that that we do desire to build both phases and desire to close on each site upon successful LIHTC awards. We are also willing to build only on the eastern parcel, should a commercial use be chosen by Naperville for the western lot closest to 59. We support this use as it is also beneficial to our site as a commercial/restaurant use can provide employment opportunities to our IDD or senior residents.

From entry off 59 one may notice the contextual fit of the project. We have massed the project to transition from the adjacent residential and town hall to the frontage on 59. We believe this to be beneficial to the eventual use at the adjacent corner lot bounded by the site, 59, 103rd, and Tower

Court. The largest building to the east is broken into smaller building massing elements through varied rooflines and varied façade planes to reduce the apparent size of the building. The eight family, two story building flanking the site also utilize varied rooflines and façade planes to add interest and create cohesion.

This main building is also designed to obscure visibility to desired roof mounted solar panels on the two-story portions of the building.

The project will be constructed as a planned unit development (by phase) and will seek approvals for the maximum main building height not to exceed fifty-six feet. The ends of the building transition down to twenty-eight feet. The eight-family units will not exceed 27' in height. These heights are slightly higher than shown but provide some relief in the event roofline variations need to be altered to blend with an adjacent commercial use, should one be determined by the time this RFP is awarded and this project is designed.



Indoor common area amenities are all located in the main building – detail left. As shown on the floor plans, we have included a grand entry lounge, a multi-purpose room, a kitchen (that doubles as a cooking instruction space), a fitness center, a business/computer center, and private computer booths to accommodate telehealth privacy requirements. Elevators and mail stations are collocated in this central common area.

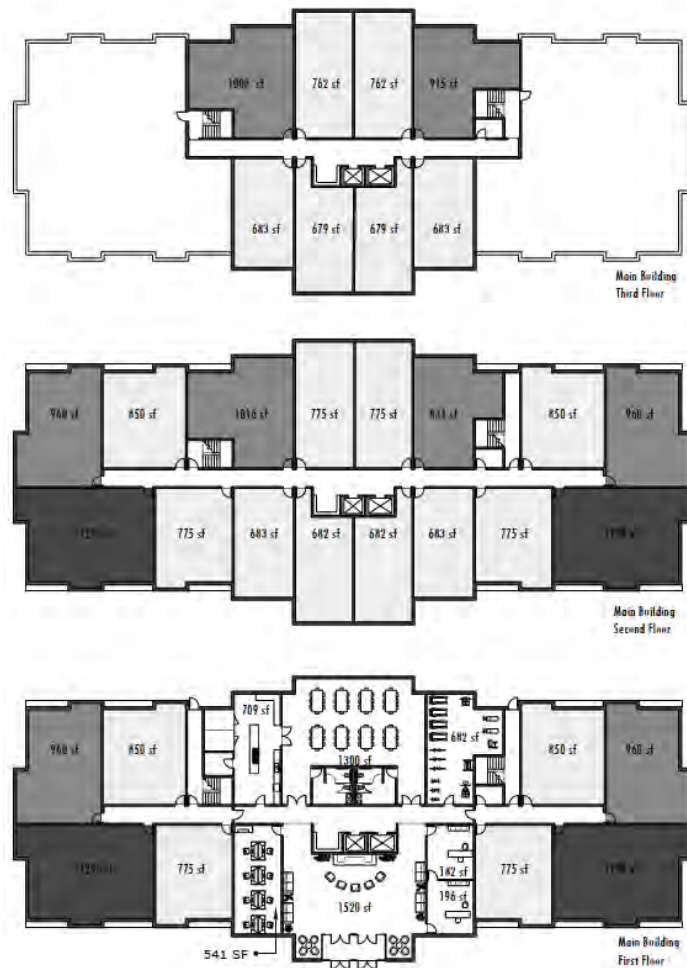
We request to reserve the potential to add an eastern

“bump out” to the rear center of the main building in the event we can increase our capital to expand this area (as shown) to include a performance space for “A Special Place,” one of our nonprofit community partners who engage IDD individuals in acting and theatrical performances. This addition may require a setback waiver to accommodate the bump out. The potential addition would be designed to approach the adjacent detention area, inclusive of additional landscape to give the appearance of allowing nature and building to seamlessly integrate. The detention pond will also be planted as a rain garden to best handle storm water and make it an attractive amenity.

We commit the project to a period of affordability for thirty years under a land use restriction agreement, consistent with a LIHTC award requirement.

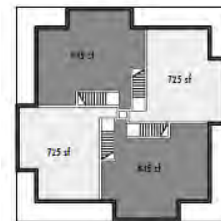
We believe we have framed the site with residential uses and pedestrian walkways, seating areas, gardens, and an outdoor seating/grilling, gathering area to create a courtyard approach from the main access off 59. The parking lot will be intentionally designed with landscaped interruptions to break up the appearance of a large parking lot. We will seek a 1.5 to 1 unit parking ratio and can support this request with like development data and a study.

Outdoor resident amenities include native landscaping, garden beds that meet ADA compliance, a series of walks that allow for resident and neighbors to peruse the site and connect to outdoor pedestrian seating, moveable tables, planters, pedestrian-scaled light fixtures, public artwork, waste receptacles, bicycle racks, and other furnishings that encourage residents to interact and build community. Collectively, these features show our commitment to high quality design.



FLOOR PLANS →

Exterior finishes include a variety of materials such as brick, masonry,



Townhomes
Second Floor (3114 sf)



Townhomes
First Floor (3070 sf)

wood, siding, and metal clad appointments. We seek a brick/masonry allowance on no more than 25% of the elevations; however, may waive that if the capital stack allows. Architectural shingles will be used on all sloped roof surfaces.

Each phase has the potential for 60-units of one-, two- and three-bedroom units. The larger units are designed to accommodate live-in caretakers and case managers as well as co-location of possible roommates – shown above and left. The final mix of units is interchangeable and subject

to final design input. Type A (ADA accessible units) will equal 20% of the total units in the project.

The project will be designed and constructed using [Enterprise Green](#) Standards and we will seek certification under the program. The Enterprise program is a points-based system to provide green building and energy efficiency. As long as the prerequisites and the points minimums are met the building can be certified.

The project will be financed with traditional mortgage debt and grants and equity obtained under the Illinois Housing Development Authority (IHDA) and its LIHTC program. We will seek Affordable Home Program grant money under the Federal Home Loan Bank program and energy credits and grants from available sources. We reserve the authority to seek all appropriate federal, state, and private grants, credits, and investments necessary to finance the project. We will also seek one of two options on the land 1) a traditional purchase with closing to occur upon a successful LIHTC award at a price that will not exceed six percent of the project costs, or 2) a long-term ground lease (term not to exceed 99 years) where the City of Naperville remains the owner and in control of the property for perpetuity. We are happy to discuss the benefits and possibilities to both acquisition options. Lastly, we seek property tax treatment consistent with the regulations for affordable housing enacted under public act 102-0175 in 2021.

Twenty-five percent of units will be set aside for residents with IDD, and 75% for seniors aged 62 or greater. Live in caregivers will also be cohoused to meet resident needs. The project will set aside twenty percent of units for thirty percent of area median income (AMI) and the balance of units up to sixty percent of AMI. Presently, the IRS rules for income averaging have deemed financing income averaged deals nearly impossible; however, if those rules change, we reserve the potential to consider income averaging to all for serving residents up to eighty percent of AMI.

Lastly, but equally as important as physical design, is our services design and approach. Ray Graham Association provided the following:

Ray Graham Association (RGA) acknowledges and respects that every person is unique. Listening and learning from people and those that know them the best affords us the greatest opportunity to customize supports and services that meet people needs, desires, and interests. These person-centered practices and planning approaches allow us to create an experience for each person that is ever evolving as expectations and needs change.

Our services and supports focus on five core life areas.

1. Goals
2. Choices
3. Security
4. Community
5. Relationships

Simply stated, RGA services are designed around each person to support the realization of important life goals and dreams. Each person has their own customized life plan outlining short-term and long-term goals. In partnership with the person served, their family, and at times other service providers, strategies are developed to support the achievement life goals and dreams.

Support looks different for everyone, sometimes this is more of a life coach model and other times it is a more hands-on approach. Regardless of the type of support needed, people will be pursuing goals and dreams such as finding a job, saving money to take a vacation, finding an important role in their community, or improving their health situation.

Creating opportunities that offer exposure, education, and experiences that promote informed decision making is critical for choosing your life's dreams and goals. The choice of living where and with whom you desire is an important personal outcome for many people with intellectual disabilities. RGA's role is to support, supplement, or facilitate when/where assistance is needed. Whether that be with chores or personal care, our services are highly customized and flexible in terms of how much or how little is needed. RGA places a high value on employment and supporting people to work at area businesses. People will experience the opportunity to learn about options, develop important soft skills, have assistance with "employment readiness" activities (e.g. resume development), and job coaching.

The people we support experience security in their life because of the supports they receive that promote safety, health, continuity, dignity, and respect. Safety not only applies to the home environment, but also the community in which they work and play. Experiencing the best possible health sets the stage for a robust and active lifestyle, therefore, people are supported to manage their healthcare based on their personal needs. Further, supports and services are designed to focus on people learning how to exercise their rights to live a life of dignity and respect, that results in inclusion and equity.

Community is where we support people to live, learn, and play. People will fully use the community by accessing resources, shopping centers, public transportation, and entertainment available to all Naperville residents. Services promote integration, which includes participation in community groups and organizations, volunteerism, and simply interacting with neighbors and other community members.

RGA strongly values the need for people with intellectual disabilities to have relationships and look forward to the multigenerational approach of seniors and persons with IDD housed in the same community. Relationships not only bring love and laughter to people's lives, they also promote health and safety. Supporting people to maintain strong family connections or at times re-connect to family members is core to our values. Further, supports facilitate opportunities to nurture friendships and intimate relationships. We constantly seek opportunities to explore options for social roles, such as important community volunteerism, roles that support friends/neighbors, and participation in activities valued by the community.

Our Parents

The community we envision is going to start filling a gap our city has, not only in affordable housing, but in the lack of direction for young adults with IDD as they age out of the public school system just before their 22nd birthday. I know many families, including my own, who move to Naperville for the reputation of its outstanding special education. Our project will be the next step to show Naperville how a town can take care of its most vulnerable citizens with style. This community is going to be filled with capable adults who will thrive as they navigate their new neighborhood, fill open employment positions in the nearby businesses, and welcome the surrounding homeowners into their lives. I feel strongly that our version of affordable housing can be a model for other cities and towns to replicate...no expensive consulting firms need be hired, just do what Naperville, IL had the vision to do.

Signed,

Donielle Deering

Naperville Resident, Parent,
Advocate and Best Friend to
daughter Megan Shields

Public Benefit

Sources of Equity/Capital Stack

The following outlines potential equity sources including anticipated grants or other awards such as the Low-Income Housing Tax Credit (LIHTC) and the Illinois Affordable Housing (Donation) Tax credit.

We anticipate utilizing the 9% LIHTC credit as a primary source of equity on this project; however, we reserve the right to apply for the 4% credit if other gap sources exist. It may also be possible to utilize the Illinois Affordable Housing Tax Credit (IAHTC). IAHTC encourages private investment in affordable housing by providing donors of qualified donations with a one-time tax credit on their Illinois state income tax equal to 50 percent of the value of the donation. This credit can be leveraged on the value of land between the appraised value and purchase price. Consistent with other mentions in this response, we seek one of two options on the land 1) a traditional purchase with closing to occur upon a successful LIHTC award at a price that will not exceed six percent of the project costs, or 2) a long-term ground lease (term not to exceed 99 years) where the City of Naperville remains the owner and in control of the property for perpetuity. It is too early, based on COVID/post-COVID market volatility, to fully rule in one direction, or the other and seek flexibility in negotiating the final land value and ownership structure.

Also, an Illinois Housing Development Authority program (like LIHTC) we will highly likely seek IHDA soft fund grants as is allowable under the program. We may also seek IHDA Permanent Supportive Housing (PSH) funds for a portion of the units.

COVID has created new tools and resources, and others that haven't yet been approved under Build Back Better, or possible even subsequent federal and/or state legislation. We seek the authority to use such resources as needed. If the City of Naperville has jurisdiction to award and expend these funds, we desire the ability to review, discuss, and potentially apply for such funds – within program limits.

We anticipate using the Federal Home Loan Bank Affordable Housing Program.

There are energy related grants and tax credits offered to advance sustainability initiatives. We will seek all of these we qualify for.

While the following are available and we may not need these, we do wish to note them in the event they are necessary:

HOME Funds (Naperville is the Jurisdiction)	CDBG Funds (Naperville is the Jurisdiction)
Housing Choice Vouchers	Rental Housing Support
HUD 202 program	Hud 811 program

Since affordable housing finance is driven by available equity sources, including program timelines, should other programs arise to fund affordable housing production, we reserve the right to apply as needed and subject to availability of funding.

Expectations of Relief

Please refer the site control options 1 (discounted purchase) and 2 (land lease) above. We seek this flexibility to provide both options to the City, should the market remain unpredictable. NOTE: We are **not** asking for a no cost option as either will provide relief to the city. Should a HUD Part 58 environmental review be necessary as part of the property disposition, we ask that the City bear those costs.

We are also **not** asking for any forfeiture or relief in any fees for Naperville application, plan review, permitting, or building inspection fees.

Since the site will contain its own green spaces and outdoor site amenities and that we seek approval to connect site pedestrian paths to the property line to meet the nearby pedestrian path, and due to the social goals [beyond affordability alone] we aim to meet on the site, we ask that any park, school, and land or fees in lieu of land ordinance requirements be waived.

Because of the affordable nature of this project, we seek property tax relief as is directed under P.A. 102-0175 passed in 2021. If the County chooses to opt out of the program, we seek a PILOT that would keep taxes at a rate substantially the same as P.A. 102-015 would allow. Having confirmation of such action allows us to properly size debt and underwrite our proforma with known expense.

We will not seek any tax increment financing, on the project, but the City may use this as a source, at its discretion, to pay for requested ROW improvements along Hwy 59, including the right in, right out or full interchange ingress and egress to the site. We ask that that the placement of this access point be mutually agreed to and in a place that best positions the future use of the western six-acre lot in the event the city decides to utilize for commercial use. We will bring drive access to the site from the ROW at 59 to the eastern lot; subject to engineering and design approval. Should the city seek a full interchange at 59 and this drive needs to be a roadway designed to city road standards (vs. drive), we ask the city to cover the costs in excess of an appropriately designed driveway.

Development Team's Property Management Experience

Gorman & Company formed its property management division in 1991. The property management division has earned high marks from local communities and state agencies for its professional criteria in resident selection, as well as its capacity to work with complicated compliance issues. Gorman & Company manages 80+ apartment communities, totaling over 6,000 units. Controlling our management company within the Gorman & Company umbrella allows us to customize our tenant selection criteria to our specific target population while conforming to investor and Section 42 compliance regulations. The philosophy of the management division is to create an environment where regional managers are accountable for the operations of their portfolio, and property managers are expected to operate their property as a small business within authorized budgets and guidelines and their ability to meet local codes and promises.

Gorman & Company also provides Asset Management services for projects. The scope of services provided by Gorman for asset management includes asset financial monitoring, performance review, tracking loans and reimbursements, stakeholder reporting, and reserve tracking. Asset management also tracks month to date, year to date, and quarterly net operating income and debt service coverage ratio tracking. They also review and approve budgets for assets.

All compliance, upper management, and several key site team members have certifications such as COS, HCCP, RAD PBV and Multifamily Housing Specialist. Third parties such as Theopro and Nan McKay provide training for these certifications. Continuing education is provided for staff to keep abreast of changes throughout the year.

Because every project is unique in design, scope, and partnership priorities, every project has a written property management plan that is drafted with our project partners and stakeholders. This Naperville project will be no different and we look forward to drafting a management plan that meets local expectations and all applicable local, state, and federal laws. A key focus of this plan is enriching the lives of our residents, and this will be accomplished by defining the roles and responsibilities between management and Ray Graham Association our nonprofit service partner. We do commit that in the plan, we will provide a geographical preference to serve Naperville residents as a priority.

Readiness to Proceed

The Gorman and Ray Graham team are ready to proceed. We have devoted appropriate leadership, design, and underwriting personnel to the project to prepare for the 2022 LIHTC round. Property management and general contracting team members are also ready to guide and refine design and operating models. We will start stakeholder meetings upon award. Assuming Naperville desires to move both parcels forward, we will likely divide the project into 2 phases with the first phase (east parcel) to compete for a 9% LIHTC starting in October of 2022. Assuming a LIHTC award in this round, noticed in June 2023, closing would occur approximately six months later, and construction would commence reasonably after, to avert winter conditions on exterior construction. Once construction commences, the project would conclude eighteen months later – approximately July 2025. LIHTC applications would be submitted on phase 2 in the next available round (October 2023) and run the same total 30-month timeline from notice of award. Should the volatility of the market improve, Gorman will do all it can to attempt combine phases 1 and 2 into a single phase (assumes Naperville approves acquisition of both parcels); however, at present, market conditions and costs caps are driving two phases.

Long-term Affordability Commitment

Because of the LIHTC sourcing of this project, we are required to enter into a Land Use Restriction Agreement that will ensure project affordability for all residents for thirty years. We certify this commitment in our LIHTC application and as such, propose thirty years.

ALTERNATE NEGOTIATED PROPOSAL: As will be mentioned below in Taxpayer Benefit below, while Gorman desires to purchase the property, if other development cost drivers overly stress the project, we ask that Naperville consider leasing the land to the project. Should this be an option, the ground lease can run with the land for 99 years and affordability can be a requirement by the City of Naperville in the ground lease.

Proposed Affordability Standard

We intend for twenty percent of the resident population to be residents within the thirty-percent area median income (AMI) level. The balance would include residents up to sixty percent of AMI. There is one exception to this – if the IRS provides an updated ruling on income averaged projects, that returns income averaged projects as a plausible investment for tax credit investors, with equity pricing consistent with

traditional LIHTC projects, we will discuss this with City of Naperville staff and may jointly determine an income averaged standard, with residents earning up to eighty percent AMI is possible.

Definitions

Definition of Intellectual Disability - *American Association on Intellectual and Developmental Disabilities*
Intellectual disability is a disability characterized by significant limitations in both **intellectual functioning** and in **adaptive behavior**, which covers many everyday social and practical skills. This disability originates before the age of 22.

- *Intellectual functioning*—also called intelligence—refers to general mental capacity, such as learning, reasoning, problem solving, and so on.
- *Adaptive behavior* is the collection of conceptual, social, and practical skills that are learned and performed by people in their everyday lives.

Definition of Developmental disabilities – *Centers for Disease Control and Prevention*

Developmental disabilities are a group of conditions due to an impairment in physical, learning, language, or behavior areas. These conditions begin during the developmental period, may impact day-to-day functioning, and usually last throughout a person's lifetime.

Age Restrictions

The project will be restricted to seniors with the primary head of household age sixty-two or greater. Individuals with IDD will have a minimum legal age of eighteen. Either seniors or individuals with IDD may have live in spouses or caretakers who are at least eighteen years of age or older. Additionally, either resident population may have guests, including under aged children who may reside with them for short periods of time. Aside from these age restrictions, occupancy limitations will restrict living units occupancy loads subject to the Department of Housing and Urban Development, Illinois Housing Development Authority, local, and other financiers, equity, and regulatory bodies with jurisdiction over the project.

Energy Improvements

At Gorman & Company, we take a holistic approach to sustainable design. Green building is not just about high efficiency MEP systems but understanding the environmental impact of all aspects of design, construction and operation of the development. This begins with site selection and design, continues through the specification of building materials and systems and is ultimately passed on to building operation via documentation and training of personnel.

Over the past several years, Gorman & Company has made a commitment to sustainable design. This starts with site selection. This commitment continues into the design of the building. Products are selected that are durable and environmentally friendly. Selection of locally produced materials is done whenever possible. Our projects use high efficiency HVAC systems, water conserving plumbing products and Energy Star rated lighting and appliances. Stormwater management is also a priority with the use of onsite rain gardens and other features as long-term sustainable management tools. This project will follow, meet, and be certified to [Enterprise Green Community](#) program standards – including public engagement.

Because we desire to add roof mounted and concealed solar on the two-story components of the main building (minimum phase 1) we intend to seek out grants and credits to aid in financing this installation.

These sources will also assist in meeting the Enterprise Green Communities components and aid in reducing operating costs for both the property and our residents.

Materials choices and construction standards will also work diligently to reduce waste and landfill material. The property will continue this focus and encourage resident recycling as part of our management plan.

Taxpayer Contribution

The largest possible request for taxpayer contribution is for the land. The project development proforma assumes land at a not to exceed six percent of the total development costs, or an estimated maximum value of \$1.35M per parcel/60 units equaling a not to exceed \$22,500 per unit.

We have had comparative market analysis performed on the sites and anticipate the property may be worth between \$12/sq ft and a high of \$29/sq ft. Most comparable sites fall in that \$12/sq ft site; however, we show the book ends of possible contribution at these two ends as we are unsure where the land appraisal may have come through at.

At the \$12/sq ft valuation, the percentage of discount can be as little as eight percent of total development costs. At the \$29/sq ft valuation, the percentage of discount to get to the not to exceed six percent of total development costs (TDC) can be as high as twenty nine percent of TDC.

Concept Opportunity Statement

Land costs and design (aesthetic) guidelines drive construction pricing to values that make quality modern affordable housing production, representative of other Naperville market rate projects, unattainable. And, while we propose to purchase [or lease the land] an assumptive condition of this RFP, to effectively meet the affordable housing goals in the city's housing assessment the city could,

- A) Donate the property and generate valuable IAHTC tax credits that offset development costs, or
- B) Provide the land under a ninety-nine-year ground lease, for \$1 per year.

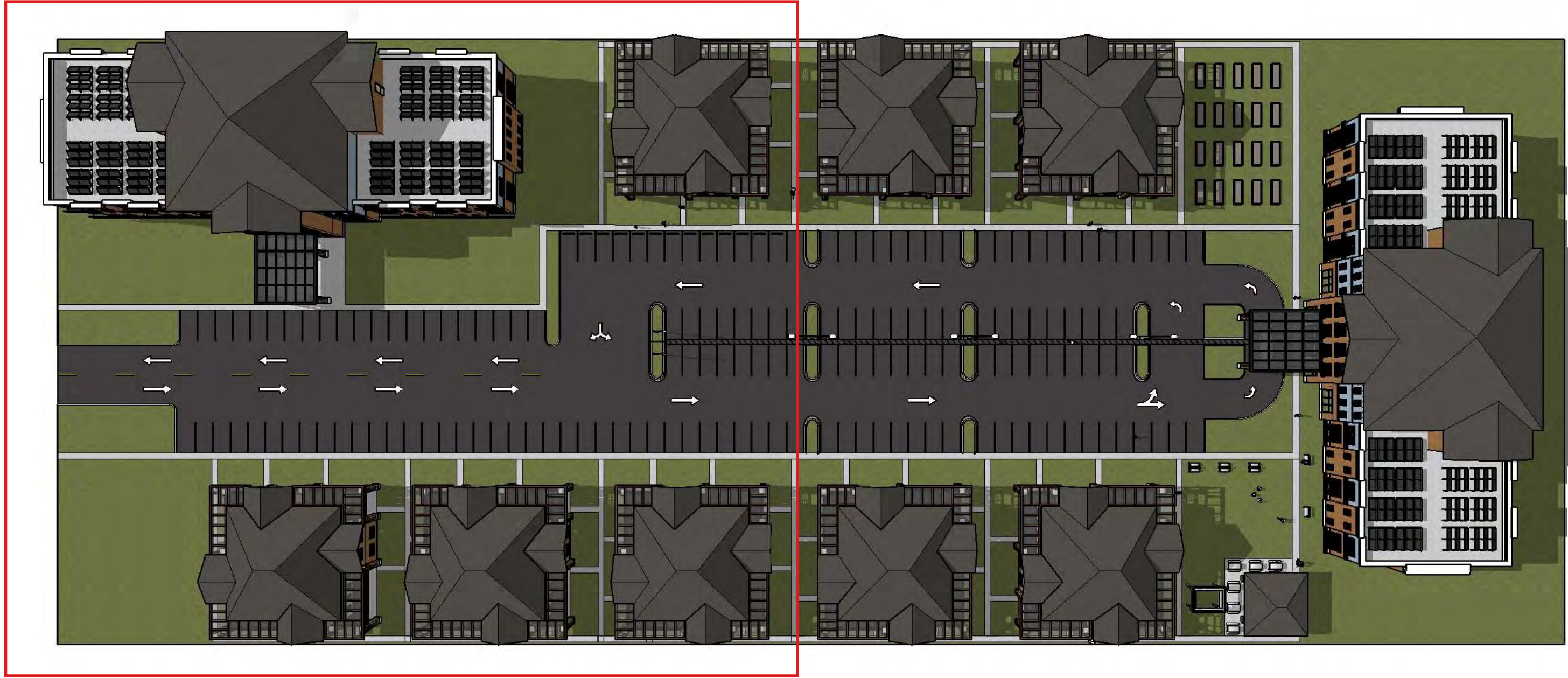
These options reduce total development costs and increases the potential of doubling the project and executing the full 2 phase project on the two parcels (12.1 acres) as our concept rendering proposes in its multi-phase visual. The project could therefore create up to 120 units of affordable housing quicker than anticipated. Additionally, with the requested ROW improvement (right in right out) at Hwy 59, the project has greater potential to abandon the reduction waiver to the city's fifty percent masonry requirement¹.

Lastly, Gorman projects typically exceed ninety percent local contracts. Increasing the project size could nearly double local project expenditures immediately providing added economic benefit to the contractors and suppliers of Naperville as well as the city's collective tax receipts.

We value this opportunity and greatly welcome the opportunity to help Naperville address its affordable housing crisis and meet its intended outcomes of the Housing Needs Assessment and Requests For Proposal 21-315 AFFORDABLE RESIDENTIAL DEVELOPMENT PROPOSAL W/PURCHASE OF CITY PROPERTY

¹ Subject to construction pricing verification.

Design Concept Renderings



Phase 2
60 units West Phase

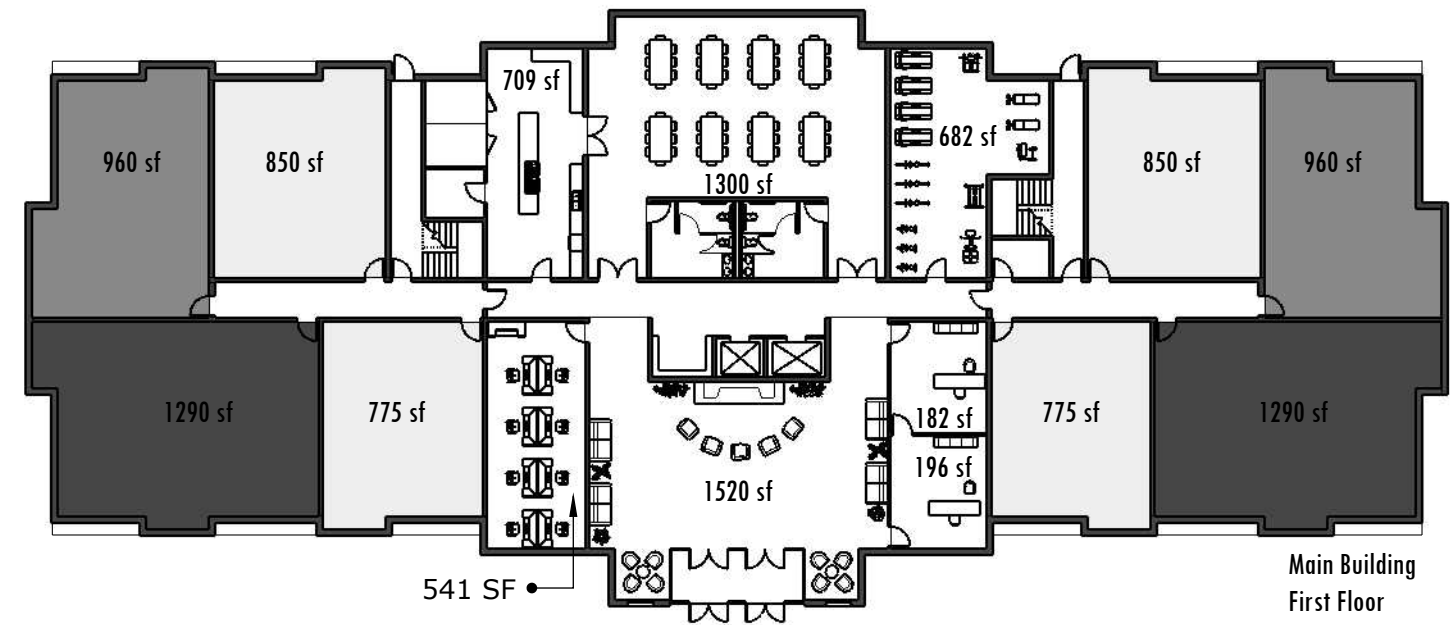
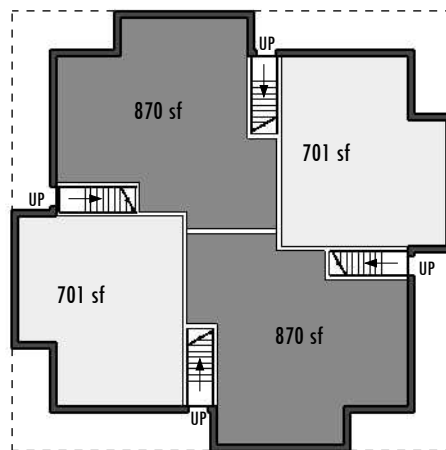
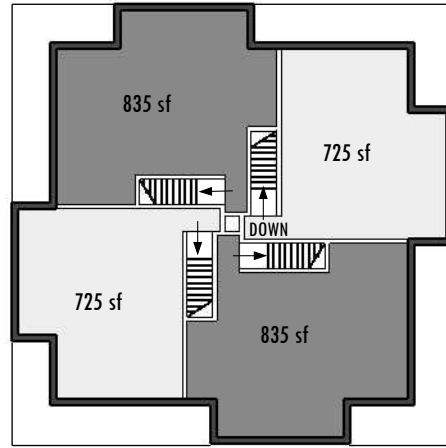
Phase 1
60 units East Phase

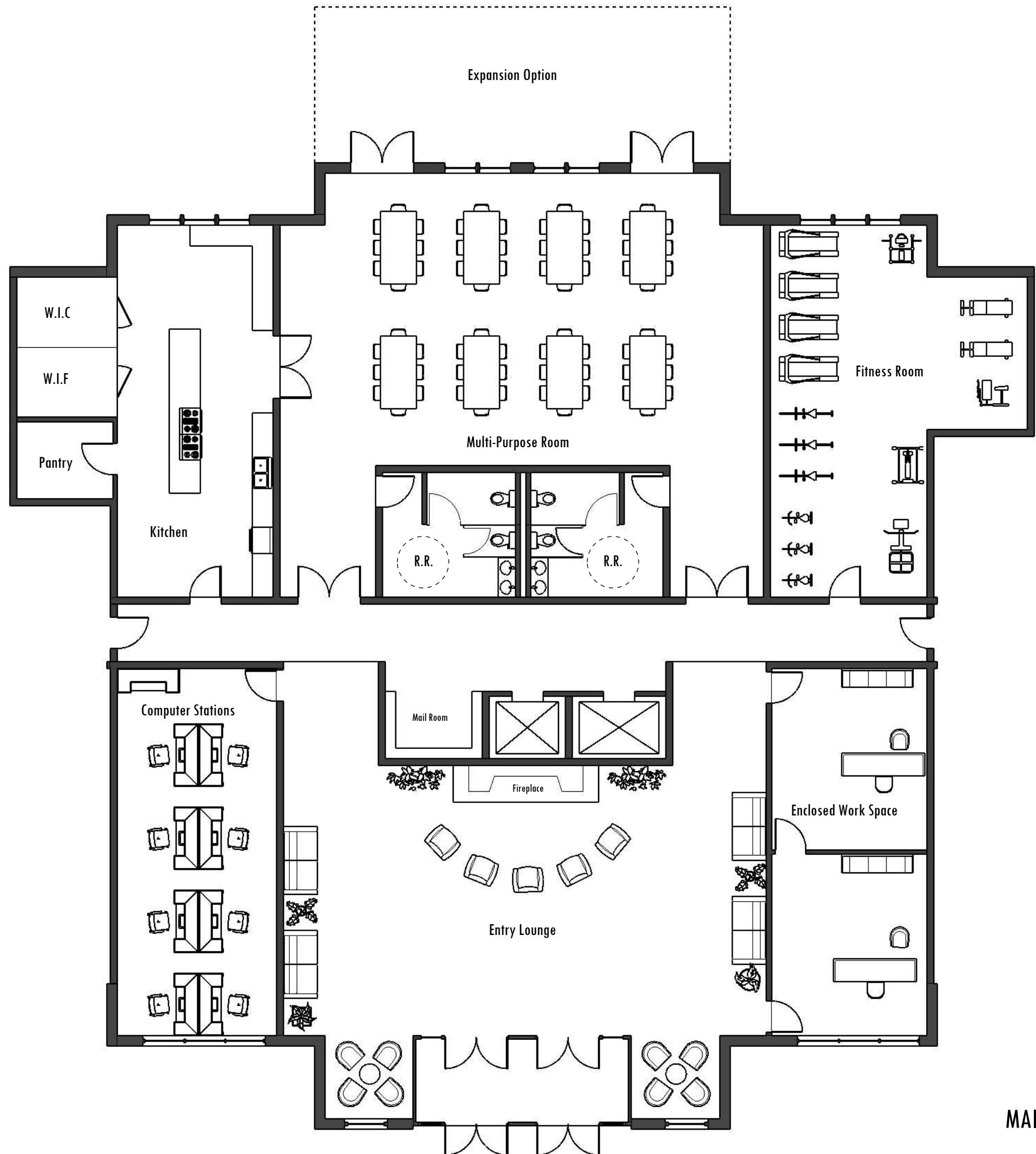


Phase 1

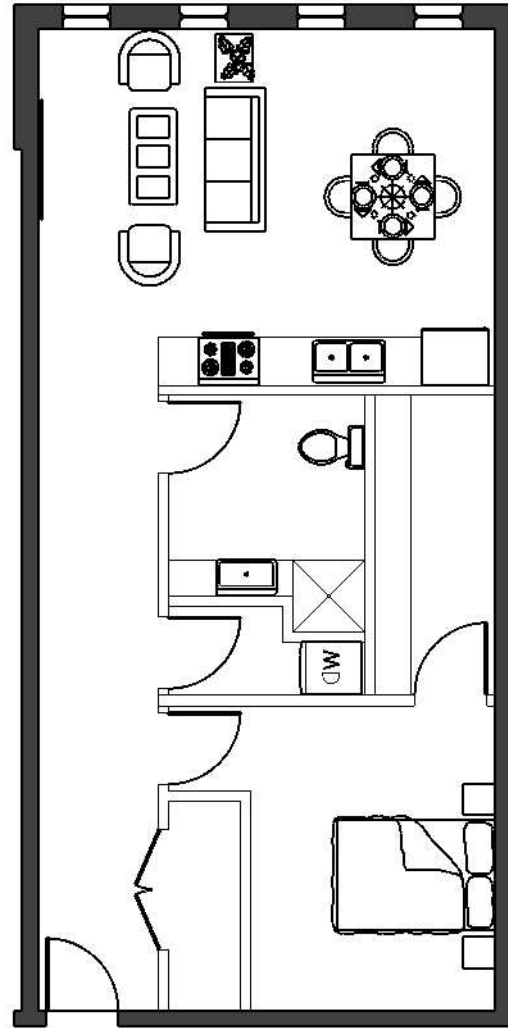
- 3 Bedrooms (4)
- 2 Bedrooms (22)
- 1 Bedroom (34)

Total Units (60)

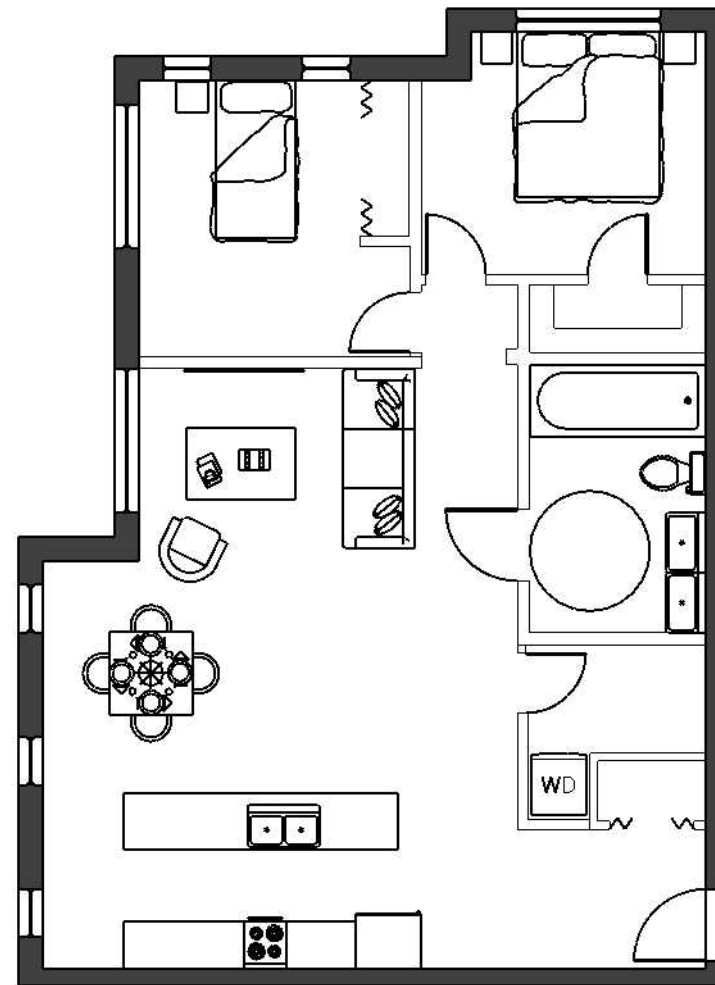




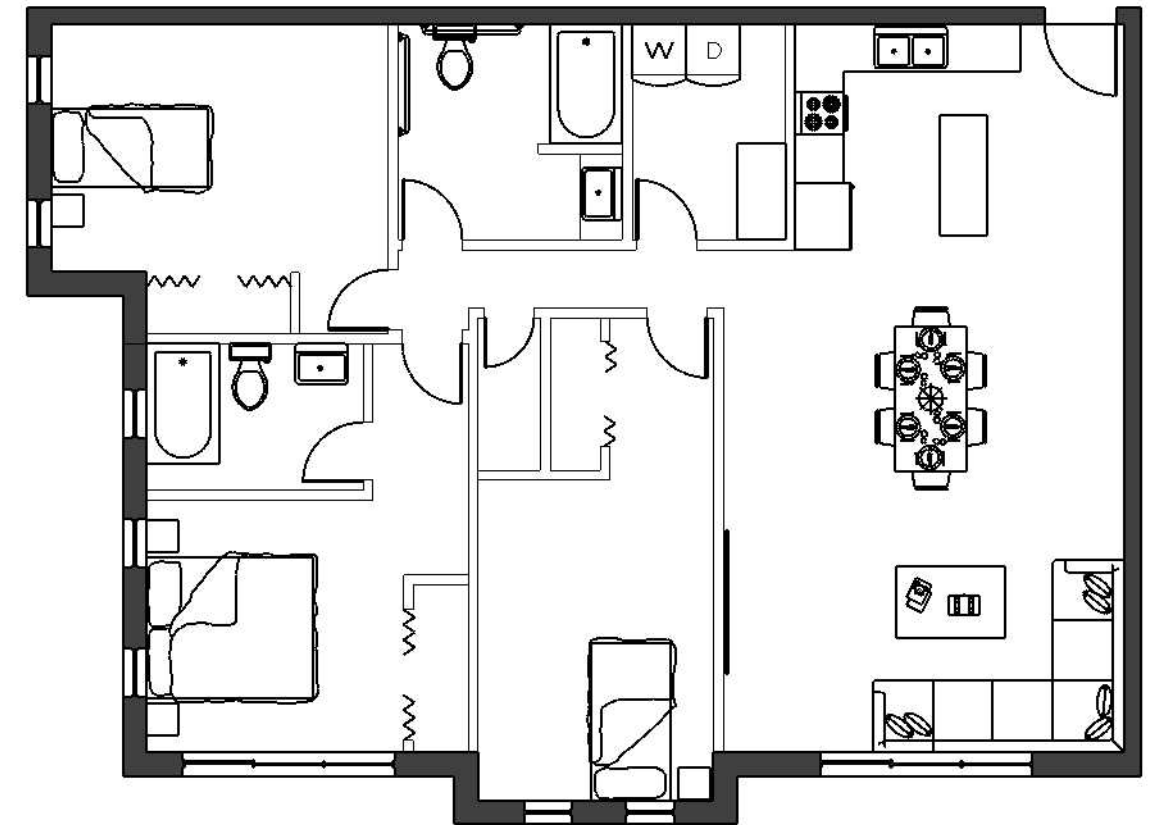
MAIN BUILDING - FIRST FLOOR
COMMUNITY AREA ← N



One Bedroom Unit
762 sf



Two Bedroom Unit
960 sf



Three Bedroom Unit
1290 sf



BIRD'S EYE: LOOKING NORTHEAST AT TOWNHOMES FROM PARKING LOT



BIRD'S EYE: LOOKING NORTHEAST AT MAIN BUILDING



BIRD'S EYE: LOOKING EAST AT MAIN BUILDING FROM PARKING LOT



HOUSING FOR ALL

REQUEST FOR PROPOSAL RESPONSE

Procurement Number: RFP 21-315	Procurement Title: AFFORDABLE RESIDENTIAL DEVELOPMENT PROPOSAL WITH PURCHASE OF CITY PROPERTY
Advertisement Date: September 23, 2021	Closing Date and Time: DECEMBER 13, 2021 AT 3:30 P.M. (CST)

EXECUTIVE SUMMARY/MISSION STATEMENT

Housing For All is focused on creating and preserving high quality affordable rental communities. As real estate professionals, the Housing For All team has a broad range of experience from identifying distinct opportunities, acquiring land and buildings, putting together a complex capital structure, successfully designing and constructing developments, all the way to leasing and managing. In one form or another, Housing For All team members have been involved in the successful development of a wide range of properties across the Midwest. Typical projects include ground-up development, acquisition and rehabilitation of existing apartment communities, and adaptive re-use of historic mixed-use buildings. Our highly experienced team of professionals consider each project's distinctive characteristics and identify and implement timely and cost-effective solutions to any challenge.

These affordable housing developments give residents the ability to live in amenity-rich apartment communities close to their family, friends and jobs and ease the rent burden on those who are either overloaded with paying a high percentage of their fixed income (or income) on rent or are typically priced out of market-driven, high-priced communities.

Housing For All's mission is to create dynamic affordable housing developments that provide positive impacts to communities, while utilizing designs that incorporate green building practices, sustainable materials and architecturally significant multi family living environments.

Housing For All's vision for the South 40 property is to develop two affordable housing projects on the one site – a 70-unit senior living residence containing mostly one- and two-bedroom apartments and a 30 unit I/DD residence containing one-bedroom apartments. The vision is to create a place of peace and security, and a place of renewal and vitality, where residents can grow, prosper and become the best version of themselves. It will be a destination where local community members can gather at the on-property greenspace that brings people closer. It will also be a place that people impact one another's lives and where community and care are the cornerstones and growth is the goal while meeting the demands of affordable senior housing and I/DD residences. This is created by using economic and financial strategies listed in the Housing Needs Assessment, conducted in 2020 by SBFriedman, by a team that has a track record of developing projects that utilize the economic, strategic and financial components of affordable housing and supportive living and has not only the strength and ability to implement the vision but also the wherewithal as well. That team is Housing For All!



(Section 5.1)
PROFESSIONAL AND TECHNICAL COMPETENCE
Project Team – Primary/Lead Entity:

Housing For All is a partnership between **Shelly Tucciarelli, MBA**, Visionary Ventures (a Native American tribal member of the Oneida Nation of Wisconsin with over 20 years of experience working for the Illinois Housing Development Authority – IHDA) ; **John Cordogan, AIA**, Cordogan Clark (an architect from Aurora, IL for over 40 years whose firm has designed and developed over 15 affordable and supportive living projects) ; **Michael Poulakidas, JD**, JTE Real Estate Services (an attorney from Naperville, IL with over 20 years of experience in real estate development, construction and management and who is currently developing a 152 unit - \$117.6mm residential community for Seniors over 55 and I/DD residents over age 22). The partnership is dedicated to bringing affordable housing and economic development to both under-served communities and low-income communities across the country. Led by Visionary Ventures, the team includes the above individuals – *all of which are authorized to enter into the Owner’s Acknowledgement and Acceptance Agreement at Phase V if selected.*

As a collaborative unit, Shelly, John and Michael will have the responsibility of visualizing, organizing, and carrying out the construction of the South 40 property to bring the vision of the city of Naperville – which is to expand quality affordable senior and I/DD Housing choices in Naperville - to life.

- They will negotiate with the city and local property owners, investors, lending institutions, insurance companies, architects, lawyers, general contractors, government officials, and other interested parties. They will be responsible for finding the best use of the property, sourcing funds, obtaining planning permission and building on raw land - all with the end goal of expanding quality affordable senior and I/DD Housing choices in Naperville. Shelly, John and Michael possess excellent people skills, communication and interpersonal skills; strong leadership skills, risk tolerance, creativity, and problem-solving skills. They have the ability to make hard decisions and spot potential; possess financial skills to manage development finances, and technical skills to help during the property development process.
- The tasks they collaborate on to bring a successful resolution to the project will be:
 - Working with lawyers, agents, and other professionals to draft contracts
 - Managing the development/overseeing any construction work to meet deadlines
 - Negotiating and obtaining planning permission and licenses
 - Ensuring that health and safety requirements are satisfied
 - Assisting in the marketing of the development and obtaining financing
 - Interacting with contractors, engineers, designers, municipal government officials, architects, zoning inspectors, lawyers, and other professionals
 - Securing adequate funding to develop the land
 - Collaborating with architects, engineers, and designers to establish the design and development plans and working with the management team
 - Employing and negotiating terms with contractors to carry out the development
 - Engaging community stakeholders and residents in a collaborative process to refine design concepts.

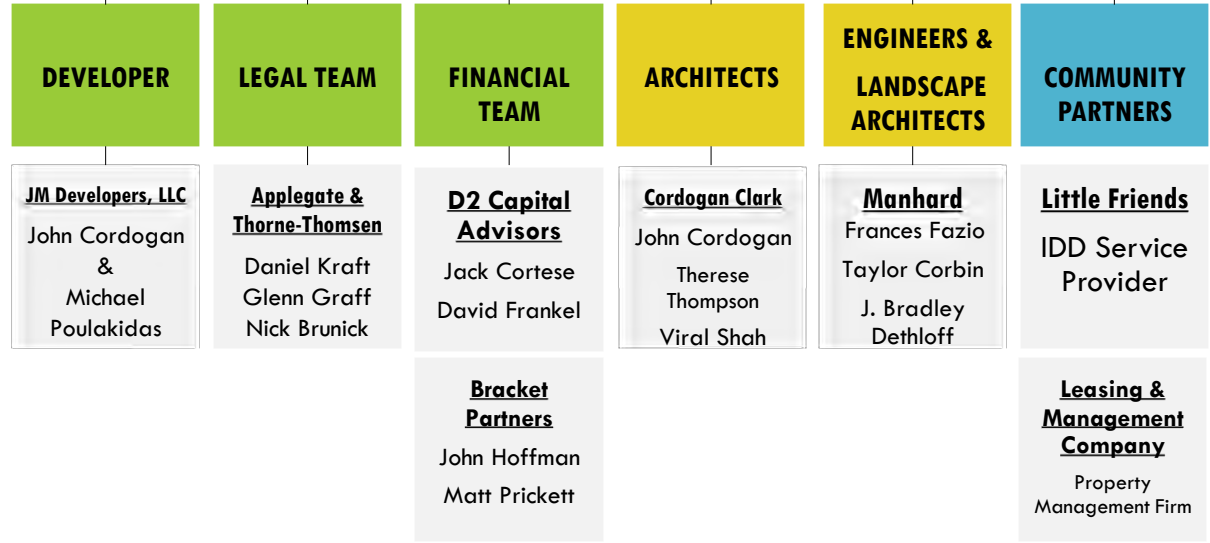
HOUSING FOR ALL ORGANIZATIONAL CHART
NAPERVILLE, ILLINOIS SOUTH 40 PROPERTY DEVELOPMENT

HOUSING FOR ALL

PARTNERSHIP — Visionary Ventures, NFP and JM Developers, LLC

VISIONARY VENTURES — primary/lead entity

SHELLY TUCCIARELLI —authorized to enter into the Owner’s Acknowledgement and Acceptance Agreement at Phase V if selected



■ Development ■ Design ■

Project Team (continued)

Biographical Data and Experience for key professional members of the firms and Description of the anticipated role and responsibility of each team member/firm

Project Lead and Developers:

Shelly Tucciarelli, MBA – Visionary Ventures and Turtle Clan Development Services, LLC (TCDS)

Biographical Data and Experience



SHELLY J. TUCCIARELLI, MBA

VISIONARY VENTURES NFP CORPORATION

Shelly Tucciarelli has over 28 years of experience in management, training, administration and development of affordable housing and community development. Shelly also worked for over 20 years for the State of Illinois' housing finance agency, the Illinois Housing Development Authority (IHDA). Shelly is a Native American tribal member of the Oneida Nation of Wisconsin, and owns Turtle Clan Development Services (TCDS). Shelly provides real estate development services and affordable housing consulting services. TCDS focuses on professional services to increase the supply and quality of housing and economic development in low-income and underserved areas nationwide.

EDUCATION

Master of Business Administration,
Real Estate Finance and
Investment, DePaul University

Bachelor of Accounting,
Governors State University

AWARDS

Candidate of the Year, Institute of
Real Estate Management

Rising Star Award, Institute of
Real Estate Management

Shelly is also the Executive Director of Visionary Ventures NFP Corporation (VVNFP), a 501(c) (3) Native American nonprofit with over 51% Native American board. VVNFP is working to development the first Urban Indian Housing project in Chicago using Low Income Housing Tax Credits.

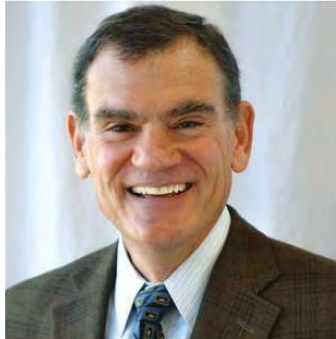
An instructor with the Native Learning Center (Seminole Tribe, Hollywood, Florida) introducing information on affordable housing (LIHTC) and economic development. She was an instructor for several conferences, Podcasts and over 20 webinars. She has also been an instructor at the National American Indian Housing Council Annual Conference and Legal Symposium and volunteered to work with the staff at these conferences.

Previously worked for over 20 years for the State of Illinois' housing finance agency, the Illinois Housing Development Authority (IHDA). While there she worked in the Asset Management Department overseeing IHDA's multifamily portfolio. Shelly also worked for the Multifamily Department where she managed and administered the federal Low Income Housing Tax Credit (LIHTC) and Illinois Affordable Housing Tax Credit (IAHTC) programs. During her tenure at IHDA Shelly allocated over \$900M in LIHTC and \$50M in IAHTC while working in the tax credit department. Was a key member of IHDA's team working on the \$53M Neighborhood Stabilization Program, a Federal Stimulus program. Shelly was the program manager responsible for programmatic, financial oversight, technical assistance and compliance of \$18M spread over 7 sub-grantees.

Anticipated Role and Responsibilities – as described above on page 2

John Cordogan, AIA – Cordogan Clark <https://www.cordoganclark.com/>

Biographical Data and Experience



JOHN CORDOGAN, AIA

CORDOGAN CLARK | PRINCIPAL

John Cordogan heads the firm of Cordogan Clark, founded by Louis Cordogan in 1951. John took over the firm after completing a Masters Degree at the University of Illinois and studies abroad. The firm has an extensive portfolio of institutional work including, college and university projects, performing art centers, museums and libraries. The firm has also completed over 300 financial institution projects over its 48 year history. John has served on building, design, historic preservation, and civic commissions, helping establish guidelines and procedures for the improvement of municipal architecture and design. His work has received awards from the American Institute of Architects, the Precast Concrete Institute, and has received Community Beautification Awards from Aurora, Illinois. His work is included in the permanent collection of The Chicago Historical Society and the Chicago Athenaeum Museum of Design.

EDUCATION

Master of Architecture,
University of Illinois

Ecole des Beaux Arts,
Versailles, Paris

Bachelor of Science in Architecture,
University of Illinois, Highest Honors

LICENSES/CERTIFICATIONS

Licensed Architect: Illinois,
Indiana, Missouri, Michigan

NCARB Registration

John maintains an active, daily involvement in the firm's operations. He reviews the development and production of the firm's projects; and has general management and administrative responsibility for quality control of the firm, including architecture, planning, building and site technology, and computer services.

John has served on building, design, historic preservation, and civic commissions, helping establish guidelines and procedures for the improvement of municipal architecture and design.

He devotes much of his time to thoroughly understanding client needs to help Ensure the firm responds effectively to those needs in all aspects of its service. He has specific expertise with a wide variety of building construction systems and materials, environmental, engineering, cost control, and scheduling.

His work has received awards from the American Institute of Architects, the Precast Concrete Institute, and has received Community Beautification Awards from Aurora, Illinois. His work is included in the permanent collection of The Chicago Historical Society and the Chicago Athenaeum Museum of Design.

Anticipated Role and Responsibilities – as described above on page 2

Michael Poulakidas, Esq. – JTE Real Estate Services <https://jterealestateservices.com/>

Biographical Data and Experience



MICHAEL J. POULAKIDAS, ESQ.

MANAGING PARTNER JTE REAL ESTATE SERVICES, LLC

Michael utilizes more than 20 years of experience in business, contract and real estate law and more than 20 years of experience in asset management to oversee all aspects of real estate development including development, construction, management, and leasing. He is well versed in working with municipalities, having invested in multiple properties and businesses and is currently working closely with the city Aurora on several redevelopment projects. Michael's market knowledge and years of real estate experience are strong assets and allow him to problem solve by creating effective alternatives for complex development issues. For the past 13 years Michael has hosted a fundraiser that raises over \$50,000 per year for local charities and in 2018 was awarded "Humanitarian of The Year" by the Hesed House.

EDUCATION

Bachelor of Arts in Finance and Political Science, North Central College, 1994

Juris Doctorate, Western Michigan University Law School, 1998

CERTIFICATIONS

Admitted to the Illinois Bar, May 1998

PROFESSIONAL ACTIVITIES

Board Member, Aurora Regional Chamber of Commerce

Michael currently owns and/or manages several commercial buildings and over 50 residential units in Aurora, Illinois and is a part of the team that is repurposing an old, abandoned hospital campus into multiple, in demand uses including senior living (independent, assisted and memory care), a residence for individuals with intellectual and developmental disabilities (I/DD) and a small healthcare center – a \$117.6m project. Michael's most recent project is a mix-used redevelopment in downtown Aurora, Illinois that was previously a school district administration building. The building consists of underground parking, ground floor commercial space and second floor residential units (21 units). The residential units are 100% leased up and the commercial space is 100% leased up.

Michael is the Managing Partner of JTE Real Estate Services - a full service real estate development and investment company. JTE Real Estate Services' mission is to create dynamic residential and mixed-use developments that provide positive impacts to communities, while utilizing designs that incorporate green building practices and sustainable materials. JTE Real Estate Services' investment strategy is to acquire, entitle, build and hold developments for cash flow and appreciation and prides itself on a value-add platform. In addition, JTE Real Estate Services can provide end-to-end property and asset management, marketing, contracting and construction management services to support its own projects and those of third parties.

Anticipated Role and Responsibilities – as described above on page 2

Legal Team (Legal Counsel)

Applegate & Thorne-Thomsen (Daniel Kraft, Glenn Graff and Nick Brunick) -
<https://www.att-law.com/>

Biographical Data and Experience

- o Applegate & Thorne-Thomsen's practice represents developers, tax credit syndicators, investors, lenders, public housing authorities and community development organizations, among others, in the acquisition, financing, rehabilitation, construction and preservation of affordable housing and the revitalization of communities. Serving this broad base of clients affords Applegate & Thorne-Thomsen a unique understanding of the varied business and legal issues that are an integral part of housing and community development. Applegate & Thorne-Thomsen understands the complexity of multi-layered finance transactions and works proactively with clients to structure transactions. Applegate & Thorne-Thomsen combines project management skills with the latest technology, including interactive web



based due diligence sites, in an effort to move transactions toward closing in the most expeditious and cost-effective manner possible.

- A few clients that Applegate & Thorne-Thomsen has represented in similar projects are as follows:
 - **The Alden Foundation** (just a sampling below- there are several other projects)
 - Warrenville Horizon, Barrington Horizon, Alden Gardens of Bloomingdale,
 - **The Residences of Lake in the Hills (Lake in the Hills, IL -- DKI)**
 - **Evergreen** - Martin Avenue Apartments (Naperville), Independence Library and Apartments (Chicago), Northtown Library and Apartments (Chicago)
 - **TACH** -- Martha Washington Apartments (Chicago -- TACH)
 - **Full Circle Communities** -- Milwaukee Avenue Apartments (Chicago - Full Circle)
 - **Full Circle Communities** -- 1212 Larkin (Elgin -- Full Circle Communities)
 - **Over the Rainbow Foundation** -- Des Plaines Senior Housing (Over the Rainbow)
 - **Library Lane Senior Residences** -- Grayslake, IL (The DeBruler Co.)

Anticipated Role and Responsibilities – The range of services and representation that Applegate & Thorne-Thomsen will provide for the project are in the following areas:

- Low-income, new markets, energy and donation tax credits,
- Affordable senior housing, including the HUD 202, assisted/supportive living facilities;
- Public housing revitalization, including HOPE VI mixed finance developments;
- Zoning and land use;
- FHA-insured multifamily finance programs;
- Tax-exempt bond financing; Tax Increment Financing;
- HOME and CDBG capital funding;
- State and local finance programs, including local trust fund loan and grant programs
- Section 8 and other forms of operating subsidies;
- Conversion of public housing operating assistance to RAD rental assistance;
- Supportive housing for special needs populations, the HUD Section 811 program;
- The Federal Home Loan Bank's Affordable Housing Program;
- Loan and mortgage restructuring, including Section 236 decoupling;
- Regulatory compliance; and Property tax exemption complaints.

Financial Team (1 of 2)

D2 Capital Advisors (Keith Delaney, David Frankel and Jack Cortese)

<https://d2organization.com/d2-capital-advisors>

Biographical Data and Experience

D2 Capital Advisors is the transaction advisory division of the D2 Organization that arranges and structures real estate capital transactions for the debt and equity needs of our clients as well as for D2O's own developments and investments. D2CA leverages its development experience and financing expertise to advise clients on efficient financing solutions for complex transactions. With over 35 years of experience, D2CA has arranged funding through each segment of the capital stack for all property types.

Services include - Debt Placement and Equity Raises: Acquisition Financing, Bridge Financing, Construction Financing, Land Financing, Mezzanine Financing, Permanent/Securitized



Financing, C-PACE Financing, Tax Credit Financing Common Equity, Preferred Equity, Joint Ventures

The D2 team has successfully provided debt and/or equity financing on the following types of projects:

- \$112.5 Mixed Use, \$82.5 Million Mixed Use Development Including Senior Living, I/DD Housing, & Commercial, \$70 Million Multifamily Mixed Use, \$60 Million Mixed Use Professional Campus, \$48.6 Million Boutique Hotel, \$34.7 Million Multifamily, \$31 Million Condominium, \$25 Million Multifamily, \$23 Million Multifamily, \$16.5 Million Multifamily.

Anticipated Role and Responsibilities

D2 has reviewed the proposed Sources and Uses for the Naperville project and fully vetted the project team. In addition to this D2 has successfully collaborated with the Team on multiple projects and are supremely confident in both their financial strength and ability to complete the project successfully. For the Naperville project, D2 will provide the following debt and equity services to the project team:

- Sell the LIHTC Credit Equity, Bridge Financing for the LIHTC Credit Equity, Construction Loan, Sell the Donation Tax Credit, Permanent Debt

Financial Team (2 of 2)

Bracket Partners (John Hoffman) <https://bracketpartners.com/>

Biographical Data and Experience

Bracket Partners is a boutique tax incentive consulting firm based in the Chicago area. The firm is led by John Hoffman, CPA, a 20+ year veteran with diverse tax incentive experience. John Hoffman, President, earned his undergraduate degree in Architectural Engineering, and earned an MBA from the University of Wisconsin Real Estate program. His work experience includes leadership roles in professional service firms and as a real estate development manager. John has worked on several billion dollars of real estate.

A list of Affordable and Market Rate Projects that Bracket Partners has consulted on: St. James Senior Apartments, Crete, IL; Water Tower View Senior Apartments, Greenfield, WI; Alta Mira Senior Apartments Menomonee Falls, WI; The Aspens Senior Condos Greenfield, WI; Buena Vista Senior Condos Menomonee Falls, WI; Francis Woods Senior Condos Franklin, WI; All Saints Catholic Retirement Center Madison, WI; Cedar Lake Village Senior Apartments Plainfield, IL; Woodfield Village Senior Apartments Howard, WI; Granville Heights Senior Apartments Milwaukee, WI; Former Copley Hospital Aurora, IL; Aurora Arts Center Aurora, IL; Hines III Hines, IL; Chase Bank Building Moline, IL; Adams & Oak Peoria, IL; Davis Theater Chicago, IL; Millennium on LaSalle Chicago, IL; Elgin Tower Elgin, IL; MIV Lofts Anniston, AL;

Anticipated Role and Responsibilities

Bracket Partners' focus will be to maximize tax incentives related to the real estate, renewable energy, and other fixed assets. They will consult on all tax credits and incentives such as renewable energy, low-income housing, new markets, opportunity zones/funds, TIF, and other state and local incentives. They will further consult on project finance and transactional issues, helping to manage the development process, manage risks throughout construction and financing, and provide guidance during acquisitions and dispositions.

Cordogan Clark is a full service architectural, engineering, interiors, planning and construction firm of innovative professionals committed to excellence. We are passionate about our work, inspired by our clients and committed to providing exceptional service through integrated and sustainable design and construction solutions. We believe that the best projects arise from a collaborative journey of discovery and overcoming challenges with our clients that reveals insights and spurs innovation. Cordogan Clark has designed and built a wide variety of award-winning development projects of similar characteristics to the City of Naperville's scope of work and will utilize our practical, cost effective design and construction expertise.

Louis C. Cordogan, AIA, founded the firm in Chicago in 1951 and added a second office in Aurora, Illinois in 1968 John Cordogan, Managing Partner, joined the firm in 1973. The office incorporated the two locations in 1984 under the direction of Principals John Cordogan, AIA, and John Clark, AIA, to become Cordogan Clark & Associates. Since then, the firm has grown with over 100 professionals, five offices, Chicago, Aurora, Fairfield Heights, Lafayette, Indiana and St. Louis, Missouri. Each office works together and combines industry expertise and personal attention to deliver exemplary customer experiences and innovative high value services.

MAIN OFFICE

960 Ridgeway Avenue
Aurora, Illinois 60506
P : 630.896.4678
F : 630.896.4987

ORGANIZATION

Corporation

POINT-OF-CONTACT

Therese Thompson
P: 312.943.7300 ext. 205
E: TThompson@cordoganclark.com

STAFFING

Architecture – 66
Mechanical Engineering - 4
Electrical Engineering - 2
Structural Engineering - 5
Project Development – 4
Construction Management - 13
Interior Design - 3
Technical Support Staff - 14

YEARS IN BUSINESS

122 Years

First Project
1899

110+
Full - Time
Employees

5
Office
Locations

You will get innovative professionals who are passionate about their work, inspired by their clients, and committed to providing excellent service.





THERESE THOMPSON

VICE PRESIDENT / PROJECT MANAGER

Therese Thompson joined Cordogan Clark after completing a Bachelor of Interior Architecture at the School of the Art Institute in 1986. Currently, Therese is serving as the Project Manager for 5150 Northwest Highway, a new 7-story mixed-income building for working families in Chicago, which will be LEED Silver certified; Harbor Square, an affordable housing project in East Chicago, Indiana that includes an on-site health clinic, and that is on track to be Net Zero certified through the Living Future Institute; and 1212 Larkin, a project that includes the adaptive reuse of two historic buildings for supportive housing, and twelve new multi-family buildings on the same site, which will achieve National Green Building Standard Certification. Therese has extensive experience managing multi-family projects in the affordable market, using a client-focused team approach to deliver high quality, energy and resource efficient buildings that satisfy the rigorous standards of multiple stakeholder agencies, while redefining the model for affordable housing to include thoughtful architectural design.

EDUCATION

Bachelor of Interior Architecture
The School of the Art Institute

NAPERVILLE PROJECT ROLE

Project Executive

Therese will oversee all aspects of project design and implementation, from concept development, community engagement and entitlements, to construction drawing production and construction observation. She will be the primary point of contact for municipal stakeholders.

RELEVANT EXPERIENCE

- Torrence Place, Lansing, Illinois
- 5150 Northwest Highway Apartments, Chicago, Illinois
- 1212 Larkin, Elgin, Illinois
- Harbor Square, East Chicago, Indiana
- Artesan Lofts, Aurora, Illinois
- 15th Street Apartments, Dubuque, Iowa
- Property Markets Group, X Chicago
- Maple Grove Apartments, Kalamazoo, Michigan
- Hearts Place, Arlington Heights, Illinois
- Pearl Street, McHenry, Illinois
- Creekview Senior Apartments, Richmond, Illinois
- Axley Place, Glenview, Illinois
- Milwaukee Avenue Apartments, Chicago, Illinois
- Greenleaf Manor, Glenview, Illinois
- Sugar Grove Senior Living, Sugar Grove, Illinois
- Myers Place, Mount Prospect, Illinois



VIRAL SHAH, LEED AP (BD+C)

PROJECT MANAGER

With both a Bachelor of Architecture and Bachelor of Fine Arts in Interior Design, Viral joined Cordogan Clark with 12 years of experience in the profession of Architecture. During her studies, in the Architecture program, she won first prize as group participation in a National Competition in India. In her Fine Arts program, Viral was recognized as a member of the Alpha Beta Kappa (ABK) Honor Society.

EDUCATION

Bachelor of Fine Arts,
Interior Design, Harrington College
of Design, Dean's List

Bachelor of Architecture,
Architecture, Sarvajanic College of
Engineering and Technology

NAPERVILLE PROJECT ROLE

Project Manager

Viral will work directly with Therese to supervise all aspects of the design and production process, and will serve as an additional point of contact for stakeholders.

RELEVANT EXPERIENCE

- Lincoln and Todd Adaptive Reuse
- Aurora Arts Center, School of Performing Arts
- Kane County, Multi-use Facility
- Aurora University, Spartan Field (Softball field)
- ATMI, Double T – Manufacturing Plant
- RCMG, Urgent Care Facility, Galena



WAI CHIANG, S.E., P.E.

SENIOR STRUCTURAL ENGINEER

Wai Chiang, S.E. is a registered structural engineer in the State of Illinois and a registered professional engineer in multiple states. Wai has an extensive structural design background in municipal facilities, industrial warehouses, retail buildings, theatres, schools, condominiums, equipment supporting platforms, telecommunication towers, single family residences and mid to high-rise mixed-use buildings from 14 to 40 stories in height.

EDUCATION

Master of Science and Bachelor of Science in Civil Engineering, University of Illinois at Chicago

NAPERVILLE PROJECT ROLE

Lead Structural Engineer

RELEVANT EXPERIENCE

- Jefferson Park, Mixed-Use Chicago Development
- Highland Park Mixed Use
- Westhaven Park
- Fifteenth Street Apartments
- Property Markets Group, X Chicago
- Harbor Square
- Luxury Style Waterfront Apartments
- Wuxi Mixed Use Complex
- Melrose Commons, Melrose Park
- Milwaukee Avenue Apartments, Chicago
- Sunset Woods Senior Living, Highland Park



DAVID ALLEN, P.E., LEED AP

SENIOR MECHANICAL ENGINEER

David is responsible for the implementation of all mechanical engineering design and coordination from schematic design through the completion of construction documents and final installation. David is directly involved in the mechanical systems design, development and coordination of every project the firm manages. His experience includes the design and renovation of building mechanical systems for a wide variety of user groups including municipal, educational, financial, commercial, medical, residential, institutional and industrial.

EDUCATION

Bachelor of Science in Mechanical Engineering, Southern Illinois University, Associate Degree in Science, Joliet Junior College

NAPERVILLE PROJECT ROLE

Lead Mechanical Engineer

RELEVANT EXPERIENCE

- Milwaukee Avenue Apartments, Chicago
- Creekevview Apartments
- Greenleaf Renovation
- Harbor Square
- Hearts Place
- Indiana Apartments
- Jefferson Park, Mixed-Use Chicago
- Larkin Center Affordable Housing
- Myers Place
- Sugar Grove
- Paramount Artist Apartments
- Pearl Street Commons
- Spruce Village



DOUG SCHOMER, LEED AP

ELECTRICAL SYSTEMS DESIGNER

With nearly 40 years of experience, Doug is a veteran of a diverse range of electrical design, management, and installation projects. He has direct knowledge of electrical construction methods and materials especially in the execution of lighting and power applications. Doug has been directly involved in the electrical systems design, development and coordination of every project the firm has managed. His pragmatic approach has been successful in a broad range of educational, recreational, public, residential, financial and both light and heavy industrial projects.

EDUCATION

Certificate of Completion Electrical Apprentice, Waubensee Community College & IBEW

NAPERVILLE PROJECT ROLE

Lead Electrical Designer

RELEVANT EXPERIENCE

- Aurora Country Club
- Rich Harvest, Lodge
- Spruce Multifamily facility, Summit.
- Jefferson Park, Mixed-Use Chicago
- Larkin Center Affordable Housing
- Farmington Lakes & Clubhouse, Oswego
- Paramount Artists Apartments

AFFORDABLE RESIDENTIAL DEVELOPMENTS



SUPPORTIVE HOUSING

Harbor Square
1212 Larkin
Heart's Place
Pearl Street Commons
Myers Place

East Chicago, Indiana
Elgin, Illinois
Arlington Heights, Illinois
McHenry, Illinois
Mount Prospect, Illinois

SENIOR LIVING

Creekview Apartments
Sugar Grove Senior Living
Melrose Park Senior Living

Richmond, Illinois
Sugar Grove, Illinois
Melrose Park, Illinois

WORKFORCE, FAMILY, AND VETERAN HOUSING

Torrence Place
Cleland Place
Aurora Arts Center Artisan Lofts
5150 NW Highway (Jefferson Park)
Greenleaf Manor
Axley Place
Milwaukee Avenue Apartments
15th Street Apartments
Spruce Village
Summit Park Apartments

Lansing, Illinois
Wilmette, Illinois
Aurora, Illinois
Chicago, Illinois
Glenview, Illinois
Glenview, Illinois
Chicago, Illinois
Dubuque, Iowa
Palatine, Illinois
Kalamazoo, Michigan





1212 LARKIN ELGIN, ILLINOIS

1212 Larkin is an integrated permanent supportive housing project in Elgin, Illinois that uses “New Urbanist” design principles to create a special “sense of place.” The development, now complete, consists of 48 units in 12 new-construction, multifamily apartment buildings, and the preservation and historic reuse of the former Larkin Center. It is targeted to serve populations with special needs, and working families, and to reach a broad range of Elgin renters in need of affordable housing.

The Larkin Center, built in 1912 as an orphanage and an Elgin landmark listed on the National Historic Register, gets new life as the focus of a new supportive residential development. The three-story historic building at 1212 Larkin Avenue dates to 1912 and sits on 3.4 acres with three other buildings, including a former dormitory. The Larkin Center building has been renovated in accordance with National Registry standards and now includes apartments, a community room, fitness center, library/study room, computer lab, laundry, storage and office space for the Association for Individual Development, with a full-time resident coordinator on site to help residents with financial counseling, tax preparation and connections to first-time home buyer programs for working families, officials.

Filling out the rest of the block are 12 new two-story residential buildings that recall an older, typical Elgin neighborhood. Constructed in Georgian Revival style compatible with Elgin’s historic architecture, these twelve buildings resemble single family homes but include 47 apartments. These residential buildings are unusual for the level of quality and detail they bring to workforce housing. The Larkin development is also distinctive for the way in which it separates apartments into smaller buildings that resemble single family homes. This merges the apartments with the scale of the surrounding community of single family residences. Also distinctive are the generous front porches, a key feature of “new urbanist” design but unusual for contemporary affordable housing.

CLIENT

Full Circle Communities, Inc.
Josh Wilmoth, President & CEO
310 South Peoria Street
Chicago, Illinois 60607
847.849.5300
joshua.wilmoth@1fullcircle.com

DATE CONSTRUCTED

Completed 2021

SCOPE OF SERVICES

New Construction
Affordable Housing
Historic Preservation



MYERS PLACE MOUNT PROSPECT, ILLINOIS

Myers Place is an innovative new four-story housing project in Mt. Prospect, Illinois featuring 18 studio units and 21 one-bedroom apartments for individuals with cognitive and mental health challenges. The first floor includes a retail space, community and computer centers, and laundry rooms. All units are spacious with generous natural light and ventilation. Other key design features include onsite management; 24-hour security; extensive ground landscaping; separate private storage areas for each resident; and bicycle storage. The building is easily accessible to public transit. Parks, services, and shopping are all nearby. In addition to providing affordable housing for people living with disabilities or facing homelessness, Myers Place also provides supportive housing for military veterans.

According to Jessica Berzac, Vice President of Acquisition and Development for Daveri Development Group, occupants of the living units will be self-sufficient and capable of living on their own. Staff will provide on-site case management services and substance abuse services. Vocational support will be offered helping people search for jobs, land jobs, and become more independent. Myers Place's designs are energy efficiency and meet LEED standards. Its design employs a vertical ground-source heat pump system to heat and cool residential units allowing this system to demonstrate a 30% reduction from typical energy use. Exterior walls are designed for maximum thermal efficiency and include sun screens on south and west-facing windows to reduce heating and cooling demand. Other sustainable features include locally sourced materials, recycled material content, and drought-tolerant landscaping. The architecture of Myers Place uses lively blend of cast stone and face brick, a variety of brick colors, and details that emphasize the different interior uses of the building all creating a "sense of place". Its design reinforces the Myers Place mission to provide access to high quality affordable housing for people with mental or physical disabilities as they move towards recovery or self-sufficiency. Daveri Development Group, LLC collaborated with the Kenneth Young Center, along with Cordogan Clark's architects and engineers.

CLIENT

UP Development
Jessica Berzac
407.896.1956
jessica@upholdings.net

DATE CONSTRUCTED

Completed 2013

SCOPE OF SERVICES

New Construction



CREEKVIEW SENIOR APARTMENTS RICHMOND, ILLINOIS

Located in historic downtown Richmond, adjacent to a walking trail, Creekview Apartments provide services focused on health and wellness for seniors 55 and older. Full Circle Communities, non-profit developer of Creekview, implements their signature services in one- and two-bedroom apartments including 25 units of housing for seniors 55 and older; four two-bedroom, and 21 one-bedroom units. Highlights include accessible, universally designed units; Green certified, energy efficient building; on-site case manager/community service coordinator; along with on-site services such as, medical screenings, therapists, transportation services, case management, health and fitness resources, community activities, community room, library, computer lab, patio area, trail access, and management office.

Novak Construction Company served as general contractor for this \$6 million, 22,000 SF senior apartment complex.

CLIENT

Full Circle Communities, Inc.
Josh Wilmoth, President & CEO
310 South Peoria Street
Chicago, Illinois 60607
847.849.5300
joshua.wilmoth@1fullcircle.com

DATE CONSTRUCTED

Completed 2017

SCOPE OF SERVICES

New Construction



MELROSE COMMONS SENIOR LIVING FACILITY MELROSE PARK, ILLINOIS

The Melrose Senior Housing Facility, located near North Avenue and 1st Avenue in Melrose Park, Illinois consists of 95 residential units. The five-story, brick-faced pre-cast concrete building incorporates both senior condo and rental units.

The facility also provides residents with a meeting room, offices, a day room, mail and receiving area, clinic area, laundry, tenant storage, and a multipurpose recreational area. The building is fully accessible in accordance with ADA and IHDA standards.

CLIENT

Brinshore Development
1750 Riverwoods Drive
Melrose, Illinois 60160

DATE CONSTRUCTED

Completed 2003

SCOPE OF SERVICES

New Construction



SUGAR GROVE SENIOR LIVING SUGAR GROVE, ILLINOIS

Sugar Grove Senior Living is a brand new independent living facility for ages 55 and older. Cordogan Clark worked with Pirhl Development and provided architecture and engineering services for the project.

In addition to being a new three-story building featuring affordable one and two bedroom apartments, the residences include appliances such as stoves, refrigerators, microwaves, and dishwashers, as well as laundry rooms on every floor. The building is cable and internet ready, has central air, and two elevators. Residents can also enjoy a community room with fireplace and community kitchen, 24/7 fitness room, wellness center, computer room, and library. Additional amenities and features include an on-site management office, handicapped units / adaptable units available, free outdoor parking, walking trail with benches, and patio area.



CLIENT

Sugar Grove Senior Living
119 W. Galena Boulevard
Sugar Grove, Illinois 605471
630.466.4347
sugargrove@ludwigco.com

DATE CONSTRUCTED

Completed 2016

SCOPE OF SERVICES

New Construction



Engineers

Manhard (Frances Fazio) <https://www.manhard.com/>

Biographical Data and Experience

Manhard's diverse client list ranges from the number one company on the Fortune 500 list to small, privately held developers. Manhard's current workload includes residential (multi-family and single family), retail/commercial, mixed-use, industrial, educational, healthcare and office developments across the country. Ms. Fazio has 30 years of experience in the civil engineering field. During her career, Ms. Fazio has been responsible for site feasibility studies, site investigation, drainage analysis and reports, engineering plans and documents preparation and coordination and management of projects. She has extensive expertise in preliminary and final engineering design of site improvements, including site redevelopment projects, building additions, parking lot expansions, earthwork and site grading, access to public roadways as well as highway widening and turn lane improvements.

Experience

1767 N. Milwaukee (Centrum 606) | Chicago, Illinois

3400 N. Lincoln Avenue | Chicago, Illinois

221 West Hubbard | Chicago, Illinois

412 North Wells Avenue | Chicago, Illinois

Anticipated Role and Responsibilities

Manhard will provide this development innovative engineering and surveying solutions ranging from land use planning and conceptual design to final engineering design and construction management. Each of their offices is backed by a nationwide network of more than 100 professional engineers, professional land surveyors, landscape architects, land planners, and LEED-accredited professionals. Their local team is familiar with Naperville, DuPage County and State of Illinois codes, requirements and procedures while their network of professionals stands ready to offer additional support. This process helps prevent bottlenecks, reduce costs, and accelerate project timelines. Manhard will provide buildable solutions for our multi-unit affordable housing development. Manhard Consulting will address land planning, entitlements, site optimization, traffic flow, site access, visibility, drainage, flood control, open space, landscape architecture, and other crucial issues for a successful development. Their goal is for the project to move from start to finish with outstanding results.

Landscape Architects

Manhard (J. Bradley Dethloff) - <https://www.manhard.com/>

Biographical Data and Experience

Mr. Dethloff has over 14 years of professional experience in landscape designing and planning. His primary responsibilities have included: assisting public and private clients in a variety of medium including AutoCAD, PhotoShop, PowerPoint, GIS, and hand-drawn graphics; landscape design of suburban and urban projects; review of landscape plans submitted to municipalities for approval; reviewing site inventory of installed landscape material; assist in Comprehensive and Streetscape Plans for municipalities; inspecting sites for stormwater and erosion control management; attending ASLA Annual Meetings and seminars



Experience

AMLI River North Apartments
1212 Larkin Apartments
Springs at Three Oaks Apartments
Cicero Senior Lofts
123 West Chicago Avenue Apartments
Jefferson Park Apartments
Civic Center Landscape Plan
Volo Village Hall and Park Site Landscape Plan
Hawthorn Woods Comprehensive Plan
Mastercard International Landscape Plan and Site Inventory Inspection
Mill Street Landscape Plan
Wauconda Comprehensive Plan
Grande Reserve North Landscape Plan
Aspen Drive North and South Site Concept Plans

Role and Responsibilities

The role of the Landscape architects will be to:

- Meet with developers, engineers, and building architects to understand the requirements of the project and prepare site plans, specifications, and cost estimates
- Coordinate the arrangement of existing and proposed land features and structures
- Prepare graphic representations of plans using computer-aided design and drafting (CADD) software and select appropriate landscaping materials
- Analyze environmental reports on land conditions, such as drainage and energy usage
- Inspect landscape project progress to ensure that it adheres to plans
- Design attractive and functional green space, gardens, and public spaces. They will help plan the locations of buildings, roads, walkways, flowers, shrubs, and trees within this

Community Partners

Little Friends - I/DD Service Provider <https://www.littlefriendsinc.org>

Biographical Data and Experience

The City of Naperville and Little Friends Inc. have had a decades-long partnership to address the unmet needs of children and adults experiencing autism, intellectual and emotional disabilities. The city helped found Little Friends nearly 50 years ago before society fully understood the impact of autism. Thousands of individuals and families have benefited from the services and support programs Little Friends has developed.

Today, Little Friends is a multi-faceted human services agency that provides various services for individuals and families. The agency provides support across the spectrum of life, enriching the lives of individuals from as young as 18 months old to providing end-of-life care.

Little Friends operates two schools, vocational training programs, community-based residential opportunities, and the Little Friends Center for Autism, a valued resource for diagnosis, comprehensive evaluations, therapies, and trainings for parents and professionals.



Of the 210,000 organizations across the country that assist children and adults with intellectual or developmental disabilities (I/DD), Little Friends is one of the top five percent of agencies, based on annual revenue, reflecting its unique breadth of programs and services.

Little Friends serves just under 1000 individuals and families from more than 50 school districts on an annual basis. At full staffing, Little Friends employs more than 400 individuals.

Little Friends is uniquely qualified to help facilitate an enriching community for I/DD residents at the proposed location. The organization has an excellent reputation and network within the Naperville community. Parents and families know that Little Friends provides groundbreaking programs, and its nationally renowned staff provide lifelong opportunities for growth.

No other provider or agency can bring the decades of experience operating within Naperville. By selecting Little Friends and Housing For All, the city council will gain a trusted partner with a track record of serving some of the community's most at-risk and underserved populations.

Unique Partnership to Meet Unmet Needs:

This RFP presents a unique opportunity for Little Friends. The agency cannot embark on a capital-intensive effort to develop additional agency-managed housing units, despite growing needs for these services.

In fact, over the past several years, Little Friends has sold some of its real estate holdings to maintain operations. The agency currently offers residential services at 39 homes throughout DuPage and Will counties.

Little Friends and Housing For All have agreed that if this proposal is selected, Little Friends will serve as the primary consultant and service provider for residents living in the I/DD portion of the campus. The agency will quickly gain access to 30 residential units and be able to offer expanded residential services.

The Housing For All team and Little Friends view this opportunity as a once-in-a-generation opportunity to leverage other governmental programs to attract capital and develop in-demand housing options for individuals across the I/DD spectrum.

Little Friends will gain access, at no risk to the organization's balance sheet, capital fund, or endowment, to modern, technologically equipped housing units where they can place and support individuals in a secure and safe environment.

Consistent with best practices, each I/DD unit would be a stand-alone residential unit, providing the resident with a secure and individualized place to call their home. Building stand-alone supportive housing makes the community accessible to individuals with various support needs rather than a narrowly defined scope.

Little Friends has had residents in their care for as long as 40 years. Having individualized units allows residents to age in place and have services increased over time.

The utilization of various technologies in the I/DD housing units will also help maintain the affordability of the units by creating efficiencies.



Anticipate Role and Responsibilities

Proposed Partnership Framework: Little Friends will be the consultant and primary service provider for the I/DD portion of the campus. It is envisioned that Little Friends will provide as-needed support services to residents in the I/DD housing based on the individual's unique needs.

This 'all-of-the-above' service delivery model by a trusted community entity will ensure that the city is helping facilitate the construction of a residential community that will serve the disparate needs of Naperville citizens or their family member in need of a supportive living environment.

The project team acknowledges the competing priorities in the RFP, building new housing that meets the definition of affordable and providing a supportive living environment for individuals across the I/DD spectrum. As the support needs of an individual rise, so do the costs of care and support.

To ensure that the development is available to individuals most at-risk, Housing For All proposes to utilize the Illinois Housing Development Authority Permanent Supportive Housing credits. Under this program, rents in the supportive housing will be between 30 and 60 percent of area median income (AMI), with an overwhelming majority of renters having rents in the 30 to 40 AMI range.

The additional support services provided by Little Friends to help residents live an enriched and rewarding life will be supported by the individualized governmental support available to each resident. Little Friends and Housing For All will also pursue additional grants as needed from state or federal grants, though do not propose any operating subsidies from the city.

As part of the initial submission to the RFP, Little Friends and Housing For All propose:

- Little Friends will serve as the primary consultant and service provider for the I/DD portion of the campus. This relationship will be memorialized as part of negotiating and finalizing the major business terms of the development agreement with the city.
- The supportive living residences should be open to individuals across the I/DD spectrum, from individuals requiring low support services as well as individuals requiring higher intensity care and support. Little Friends will help qualify, enroll and provide services to residents based on the evolving needs of Naperville's population.
- Based on the input and preferences of the city council, the management and consulting agreement between Little Friends and Housing For All, will be arranged in a manner that maximizes the amount of governmental support programs accessible to residents of the community.
- Little Friends and Housing For All propose that the I/DD component will be developed and built at no financial risk to the Little Friends organization, and development costs and risks will be borne exclusively by the Housing For All entity and investors.



Community Partners (continued)

Leasing and Management Company – Property Management Firm

Biographical Data and Experience

MICHAEL LEVINE - President, Leasing and Management Co., Inc., A privately held, third party management company engaged in the management of residential real estate throughout the State of Illinois and Indiana with a concentration on affordable housing. The firm started in 1980 managing 680 units with 20 employees and has grown to over 180 employees with almost 5,000 units ranging in size from 20 units to 500 units. The firm has also worked with developers and not- for-profit groups in providing feasibility studies and developing marketing programs for new development efforts and the turn-around of troubled projects. A list of senior living properties that are managed by Leasing and Management Company:

Development Name

Al Thomas	Gary, Indiana 46402	IHCDA
Anglers Manor	Bloomington, Illinois 61701	IHDA
Cambridge Manor Apartments	Chicago, Illinois 60616	HUD Insured
Edith Spurlock	Chicago, Illinois 60614	IHDA
Florida House Apartments	Urbana, Illinois 61802	IHDA
Lake Vista Apartments	Chicago, Illinois 60605	IHDA
Melrose Commons	Melrose Park, Illinois 60160	IHDA
Residences of Riverwoods Condominium	Melrose Park, Illinois 60160	IHDA
Sunnycrest Manor Apartments	Urbana, Illinois 61801	IHDA

Anticipated Role and Responsibilities

Understanding the intricacies and nuances of property management, Leasing and Management Company recognizes it is imperative to keep up with technological advances, both from a central office and an on-site standpoint. Leasing and Management Company has continuously incorporated improved technology in their systems to help increase productivity, keep overhead costs down, and provide more timely and accurate information.

Leasing and Management Company will not only be concerned with the day-to-day operations of the development but will advise our team on long- term considerations such as proper reserve funding, capital needs assessments, mortgage financing and marketing analysis. Given today’s affordable housing crisis, long-term strategic planning is essential in preserving the current affordable housing stock as well as the development of new affordable housing units. With long experience in working with HUD-financed developments, Leasing & Management Company, Inc. is in an excellent position to advise our team with respect to these matters. Leasing and Management Company has developed positive working relationships with experts in HUD policy and financing that will work with the team to explore all alternatives on complicated technical matters to ensure sound business decisions are made for each asset.

Financial Capacity

The ownership team has significant financial strength and net worth, including both hard real estate assets and liquid assets, to satisfy the requirements of the various investors and lenders to finance the project. The collective financial strength of the team has accumulated over the years because of having successful businesses throughout several industries which include real estate development, architecture, law, and hospitality industries.

The development capabilities of the team are significant and wide ranging. The team has vast experience with complex capital/financing stacks including low-income housing tax credits (LIHTC), supportive living tax credits, donation tax credits, new markets tax credits, state and federal historic tax credits, C-Pace Property Assessed Clean Energy Financing, renewable energy, opportunity zones/funds, TIF financing and other state and local incentives. To complement its experience in complex capital/financing stacks the team also has extensive experience is designing and developing affordable housing, mixed use residential & commercial properties, middle market rate senior living, market rate apartments, student housing, public schools, universities, healthcare campuses, office buildings, casinos, and much more.

Over the last twenty-four months the team has obtained approval and financing on a \$117.6 million historic adaptive reuse project, a \$22 million Affordable Housing Project, and a \$5 million market rate mixed use residential and commercial building. This demonstrates the team's ability to obtain approvals and to finance a variety of projects and be able to perform successfully in the middle of a global pandemic. The projects included diverse sources of financing which includes City Grants, City Forgivable Loans, TIF Funds, Low Income Housing Tax Credit Equity, Permit/Impact Fee Waivers, Deferred Developer Fee, State Funds, Home Funds, CDBG Funds, Utility Grants, Property Assessed Clean Energy Financing, and Bank Financing. The team's ability to problem solve on each of these projects as unforeseen events occurred is a testament to the strength of the team and their ability to pivot and reach solutions.

The anticipated sources of financing for the development concept will include the low-income housing tax credit equity, deferred developer fee, State of Illinois discretionary funds, donation tax credit, permit/impact fee waivers from the City, First Mortgage, Land Donation from the City, and City Incentives to be negotiated with the team should we be selected. All affordable housing projects have complex capital stacks as the LIHTC itself is rarely sufficient to finance the entire project. See Page 37 for a proposed capital stack table.

Our intention is to finance both the Senior and I/DD with separate sources and uses because each project will be a separate project / application to the IL Housing and Development Authority ("IHDA"). However, the types of sources and uses will be similar for both projects as shown in the proposed capital state table mentioned above (excluding specific numbers as requested in the RFP). Further, the Team has already begun to reach out to capital advisors and lenders and have received expressions of interest in the project after talking through with the lenders the project proposals and the anticipated sources and uses. Having the experience and knowledge of sources and uses from past similar projects allows the team to speak to lenders as to this proposal and to obtain and gauge initial interest from the lenders. Letters of interest follow this page:



December 6, 2021

JTE Real Estate Services
346 N Lake Street
Aurora, IL 60506
Attn: Michael Poulakidas

Re: Naperville Project Financing

Dear Mr. Poulakidas,

Let me begin by thanking you on yet another opportunity to work together and we look forward to arranging financing for your acquisition and development of South 40 Property (the “Project”) located in Naperville, IL.

Based upon our previous underwriting of JTE Real Estate Services and the initial information you provided regarding the Project, D2 Capital Advisors (“D2CA”) will provide the following services: first mortgage construction and permanent financing for the Project, bridge financing for the LIHTC Equity, and sale of the LIHTC Equity and Donation Tax Credit.

D2CA is aware that the City of Naperville is requesting an RFP for the Project and that there is no guaranty that you will secure the winning proposal. However, should you secure the winning proposal D2CA will provide formal financing terms for your review. D2CA reserves the right to request additional due diligence items as needed.

Respectfully,

A handwritten signature in cursive script that reads 'Keith Delaney'.

Keith J. Delaney
President

Cc: D. Frankel
J. Cortese



December 10, 2021

Ms. Shelly Tucciarelli
c/o Housing 4 All
232 S. Oak Street
Itasca, IL 60143

Re: **Naperville Senior Living & Supportive Living
Naperville, IL**

Dear Ms. Tucciarelli:

We at Regions Affordable Housing, LLC (“RAH”) are pleased to propose the following business terms set forth in this letter of intent pursuant to which RAH will provide equity capital for the purchase of the limited partner interest in a Low Income Housing project for Seniors and developmentally disabled adults in Naperville, IL in an Illinois limited partnership (the “Partnership”). RAH or an assignee (the “Investor Partner”) will acquire a 99.98% limited partner interest, and Sterling Corporate Services LLC (the “Special Investor Partner”), will retain a 0.01% Special Investor Partner interest in the Partnership. The basic business terms outlined herein will be incorporated into an amended and restated limited partnership agreement (the “Amended LPA”).

1. **Apartment Development Information and Parties Involved**

Housing For All Naperville Entity TBD (the “Apartment Development”) will consist of the new development of 100 units in Naperville, IL. The Apartment Development will consist of the new construction of 70 units of senior affordable rental housing plus another building of 30 units of supportive living for adults with intellectual disabilities at the Tower Court adjacent to the intersection of Route 59 and 103rd Street in Naperville scheduled to begin construction in 2023.

(a) The parties involved with the Apartment Development are as follows:

Partnership: A to be formed LP

(i) **General Partner:** A to be formed Limited Partnership consisting of members from Housing 4 All

(ii) **Developer:** Housing 4 All

(iii) **Guarantor:** The owners of the developer will jointly and severally guaranty the obligations of the General Partner up to the date of Final Closing,

2. **Debt Sources** As a condition to RAH funding its equity capital contributions, the General Partner will deliver the loan commitments and/or financing sources described in (a) below. The terms of these loans are subject to RAH’s consent and all loans will be made from the lender(s) to the Partnership. Regions will provide the loans as shown below, or another lender approved by Regions may also make the loan.

(a) **Construction / Permanent Loan:**

Loan Type: Conventional

Lender: Regions Bank or lender approved by RAH

Proposed Amount: Construction: \$X,XXX,XXX; Permanent: \$X,XXX,XXX

Interest Rate:	Construction: Variable (4.750% estimated); Permanent: Fixed (3.75% estimated)
Term:	Construction: 36 months; Permanent: 16 years
Amortization:	Construction: N/A; Permanent: 30 years
Type:	Construction: Recourse; Permanent: Non-recourse
Collateral:	First mortgage lien

3. **LIHTC** The Partnership will be awarded a reservation of LIHTC in the annual amount of \$X,XXX,XXX from the Illinois Department of Housing Development (“IDHA” or the “State Agency”) for the senior project and for the Supportive living project.

4. **Purchase Price** RAH will acquire its Investor Partner interest in the Partnerships for a total equity capital contribution of \$XX,XXX,XXX, which is based on the Apartment Development receiving the LIHTC described in paragraph 3 of this letter of intent and represents a price per LIHTC of \$0.80. RAH’s equity capital contributions will be paid in installments upon the achievement of certain benchmark conditions to be determined at a later date. Regions will also purchase any donation tax credits awarded to the project.

This letter of intent serves as an outline of the principal terms and conditions of the proposed equity investment by RAH, and is subject to (i) the receipt and satisfactory review of all due diligence materials by RAH; and (ii) change or withdrawal, if in RAH’s judgement, changes in market conditions and/or investor requirements would adversely affect the transaction. RAH cannot extend a legally binding commitment until formal investment approval has been obtained.

We look forward to working with you on this and future projects. Please feel free to call me at any time.

Very truly yours,

REGIONS AFFORDABLE HOUSING, LLC

By: ***Eric J Speichinger***

Eric J Speichinger
Vice President



Project Experience and Capacity

Fox Valley Apartments	100 Oak Street, Aurora, IL 641 S Lake Street, Aurora, IL
Development Overview	2 Sites of Workforce Housing Utilizing the 9% State of Illinois Low Income Housing Tax Credit. The project team was awarded the State Credit after a competitive process. The project includes 47 residential units with a unit mix of 24 Three Bedroom, 9 Two Bedroom, 9 One Bedroom, and 5 Studio Units. The project includes the renovation of two historic school buildings - Lincoln School and Todd School. Both sites are eligible for Federal and State Historic Tax Credits. The Lincoln site will include a new construction component with new building mirroring the renovated historic building.
Property Management Experience	Leasing and Management Company - the property management company. They are a privately held, third party management company engaged in the management of residential real estate throughout the State of Illinois and Indiana with a concentration on affordable housing. The firm has grown to over 180 employees with almost 5,000 units ranging in size from 20 units to 500 units. More biographical data in above sections.
Structure with City Partnerships	Our team is entering into a Development Agreement with the city which recites the terms of the agreement with the city. In essence the city is donating the property to our team and in exchange we will redevelop the properties into Workforce Housing. The city is providing sizeable grants through HOME and CDBG funds along with the donation of the property.
Financing Details	9% State of Illinois LIHTC Credit HOME Funds & Community Development Block Grant Funds (CDBG) Donation Tax Credit, Federal Historic Tax Credits, State Historic Tax Credits, and Construction Loan/Private Lending
Planning & Design	Lincoln - Includes the renovation of the existing school building into 14 housing units. This site has excess land and consequently a new two-story, 27,800 SF newly constructed building will be built on this site and will contain 22 housing units The spaces will also include a community room, library/computer lab and gymnasium. The 25,000 square foot Todd School is located at 100 Oak Avenue which is just northwest of downtown Aurora. Will be remodeled into to 11 work force housing units. Will serve working families and include a gym/fitness center and computer lab.
Start and Completion Dates	Anticipated Start Date May of 2022 and Completion Date May of 2023
Affordability Standard	Affordable Housing - mix of 30% and 60% AMI and a mix of studio, one-, two- and three-bedroom units. The affordability period will by minimum of 30 years.
Age Restrictions	Over 18
References	1. City of Aurora Mayor Richard C. Irvin - 44 E Downer Place, Aurora, IL 60507. 630-256-3010 2. Aurora Director of Economic Development David Dibo 77 S Broadway, Aurora, IL 60505. 630-256-3100
Comparison to RFP Proposal	1. Both serve/will serve a community need of Affordable Housing 2. Both located near amenities on major thoroughfares 3. In both projects one of the project leads/developers has played and will play an instrumental role in all aspects of the project from acquisition to formation of the partnership with the city and state to entitlements to design and development to construction management to lease up and operations.



<p><u>Bloomhaven Innovative Living Community</u></p> <p>Weston Bridges – 53 I/DD Residences</p> <p>Bardwell Residences – 99 Senior Living Units</p>	<p>323 Weston Avenue, Aurora 301 Weston Avenue, Aurora 502 S Lincoln Avenue, Aurora</p>
<p>Development Overview</p>	<p>Bloomhaven is an 8.5-acre campus that was formerly a hospital campus. Upon construction completion it will have three pillars - Bardwell Senior Living Residences, Weston Bridges Independent Apartment Community (IAC) for Adults with Intellectual or Development Disabilities, and easily accessible commercial and medical space dedicated to education and wellness. Also on campus is a large greenspace donated by the developer</p>
<p>Property Management Experience</p>	<p>JTE Real Estate Services – Currently over 50 units managed, with over 20 years in property management and legal real estate experience.</p> <p>Gardant Management – Currently manages more than 5,900 senior living units across 7 states with over 20 years of senior living property management experience (independent, assisted and memory care). They are the 29th largest senior housing operator in the country and have received countless awards from industry associations for innovation, effective practices and exceptional leadership in the senior living industry – such as the 2016 Best of the Best Award for the <i>Speaking Out for Supporting Living Program</i></p>
<p>Structure with City Partnerships</p>	<p>Development Agreement with the City of Aurora providing a total of \$9 million in grants and forgivable loans as part of the campus redevelopment project. The City of Aurora also provided a \$3 million grant to the Developer upon completion of the remediation phase of the project in 2019. Total City Grants and Loans of \$12 million. The city also approved a 23 year pay as you go TIF</p>
<p>Financing Details</p>	<p>Federal & State Historic Tax Credits Property Assessed Clean Energy (PACE) Loan Construction Loan and Bridge Loan New Market Tax Credits and City of Aurora Grants and Forgivable Loan Total Project Financing of \$82 million and Total Project Cost \$117.6 million</p>
<p>Planning & Design</p>	<p>Weston Bridges is an Independent Apartment Community (IAC) for Adults with Intellectual or Developmental Disabilities with low support needs and will include 45 One Bedroom Apartments and 8 Studio Apartments. Weston Bridges is a residential option for high-functioning, post-transition adults looking to live their best life. Weston Bridges provides individual secure apartments with amenities including high-speed internet, daily meal programs, transportation, and campus green space. The developer partnered with St. Louis Life (a similar IAC) in O’Fallon, Missouri to design a best-in-class residential option. Bardwell Residences is a Senior Living Community that will include 99 Residential Units offering Independent Living, Assisted Living, and Memory Care living options. Gardant Management has been involved in the project since late 2019 providing the necessary guidance for the proper design and amenities needed to lease up the community and provide a strong return on investment.</p>
<p>Start and Completion Dates (incl milestones)</p>	<p>Construction commenced in October 2020 with an anticipated completion date of March 2022</p>
<p>Affordability Standard</p>	<p>Weston Bridges - Market Rate Bardwell Residences – Middle Market Rate</p>



Age Restrictions	Weston Bridges – 22 and older Bardwell Residences - 55 and older
References	1. City of Aurora Mayor Richard C. Irvin - 44 E Downer Place, Aurora, IL 60507. 630-256-3010 2. Aurora Director of Economic Development David Dibo 77 S Broadway, Aurora, IL 60505. 630-256-3100 3. Enhanced Capital Ian McCulley and Richard Montgomery - 201 St. Charles Avenue, New Orleans LA 70170 - 504-569-7900
Comparison to RFP Proposal	1. Both serve/will serve a community need of housing 2. Both located near amenities and green space incorporated in the design 3. Both projects serve the senior and I/DD communities. 4. Bloomhaven is 152 units. The proposed unit count for the Naperville project is approximately 100 units. 5. In both projects one of the project leads/developers has played and will play an instrumental role in all aspects of the project from acquisition to formation of the partnerships with the city and state to entitlements to design and development to construction management to lease up and operations.

Esser Lofts	80 S River Street, Aurora, IL / 37 W Benton Street, Aurora, IL
Basic Development Details	21 Residential Apartments including 19 one-bedroom units and 2 studio units. 3 Commercial Units totaling 11,000 SF. 1 office condo owned by unrelated third party. Underground temperature-controlled parking with 21 stalls, balcony apartments overlooking Fox River. Fitness Center and Community Room offered as amenities. Property constructed and leased up during the Covid Pandemic shutdown following all state and federal protocols and procedures showing the ability of the team to shift strategies during the development to solve any problems that arise.
Property Management Experience	JTE Real Estate Services – Currently over 50 units managed, with over 20 years in property management and legal real estate experience.
Structure with City Partnerships	\$850,000 City of Aurora Grant. 23-year TIF with the City of Aurora providing the developer 80% of the tax increment. The property is back on the tax rolls after having not been in over 30 years.
Financing Details	\$2,000,000 Construction/Mini Perm Loan and \$850,000 Grant from City of Aurora. \$5,000,000 total project costs
Planning & Design	The two buildings date back to 1920 and were built by Engelbert Esser, an Aurora Businessman and Alderman. The Developer executed a mixed-use development concept with commercial space on the first floor and ground level with residential apartments units on the second floor. Residential occupancy began in June 2020 with Commercial Units opening in July 2021. All 100% leased.
Start and Completion Dates	Construction 9/2019 to 8/2020
Affordability Standard	Market Rate
Age Restrictions	18 or older
References	1. City of Aurora Mayor Richard C. Irvin - 44 E Downer Place, Aurora, IL 60507. 630-256-3010 2. Aurora Director of Economic Development David Dibo 77 S Broadway, Aurora, IL 60505. 630-256-3100
Comparison to RFP Proposal	1. Both Serve/Will Serve a community need of Housing 2. Both located near amenities on major thoroughfares 3. In both projects one of the project leads/developers has played and will play an instrumental role in all aspects of the project from acquisition to formation of the partnership with the city and state to entitlements to design and development to construction management to lease up and operations.



(Section 5.2) DEVELOPMENT CONCEPT DESIGN AND APPROACH

Design Overview: The development team with Housing For All appreciates that several recent proposals in south Naperville have become sources of community controversy and that this proposal would be the first of several projects needed to help the city close its affordable housing gap. Cordogan Clark & Associates has decades of experience designing and seamlessly integrating affordable housing developments into communities and the design concept proposed reflects those decades of learned experience and best practices.

Understanding the unique characteristics of this site, adjacent parcels and recent attitudes and trends in Naperville, the team established three core design values that guided the development of the Housing For All Proposal. They are:

- The community must provide dignity and functionality for residents living in the 100 individual residential units.
- The community must integrate with the adjacent neighborhood and overall community and respect that single family homes are adjacent to the property.
- The community must function as a demonstration project for Naperville that builds the reputation and acceptance that affordable housing communities elevate and improve the quality of life for the entire community.

Rather than propose an overly dense use, seek variances, or attempt to wedge market-rate and subsidized units into a development at this parcel which could attract negative reaction from nearby residents, the Housing For All /Little Friends team proposes a code and zoning-compliant design concept.

The concept is divided into three distinct zones with the Senior Living Community on the north end of the site and the Little Friends I/DD Supportive Living Residences at the south end of the parcel. A shared outdoor recreation space links the two communities together through a cohesive, attractive, and functional design.

To ensure that the community is available, accessible, and useful to the widest selection of Naperville residents we propose building types that will offer individuals the opportunity to choose the living environment that will best meet their needs and goals. This allows the community to serve senior and I/DD populations with a wide range of cognitive and physical abilities and limitations.

Senior Living: The Senior Living Community includes six, two-story, four-unit buildings suitable for seniors who want to shed the responsibilities of home ownership, but who may not be ready for a larger congregate living environment.

The large one bedroom and two-bedroom apartments in these buildings offer a transitional experience for individuals and couples with a range of physical abilities. The second-floor apartments are accessed by an interior stair, and ground floor apartments are designed either to ANSI 117.1 standards for Type A accessibility, or to The Illinois Accessibility Code standards for Adaptable units.



All four-unit buildings include generous covered porches reminiscent of the homes that many seniors may be leaving, that will facilitate casual social interactions among neighbors within the building and between neighboring buildings.

Residents in these buildings have easy access to all the services and communal amenities that will be available in the more conventional multi-unit building. This building will feature property management and social service offices, a large community room with soft seating, tables, and television; a fitness center with ability-appropriate fitness equipment; and a large flexible multi-purpose space that will accommodate events for residents of both the senior and I/DD residences, but that can be partitioned for smaller events.

A large rooftop terrace on the third floor overlooks the entire development and features a covered arbor and raised garden beds. The forty, one-bedroom and six, two-bedroom apartments are generous but slightly smaller than the four-unit apartments, for those who have already winnowed personal belongings and are ready for less space that is easier to maintain.

Among the apartments in the multi-unit building, ten percent of units will be designed to ANSI 117.1 standards for Type A accessibility and twenty percent will meet the Illinois Accessibility Code standards for Adaptability. Elevator access will ensure that a representative selection of unit types, locations within the building, and views will be accessible. All units will have access to accessible common laundry facilities and storage spaces on each floor.

Little Friends I/DD Community: The Little Friends I/DD Supportive Living Residences are a mixture of buildings on the south end of the property comprised of four smaller format buildings designed to look like single family homes or townhomes, as well as a 14 multi-unit facility for individuals with higher support needs.

The stand-alone small format buildings have been designed for individuals with lower support needs and the appropriate life skills to manage a more independent and autonomous living environment.

These two-story buildings will each include four one-bedroom apartments and a common room for social gathering, group meetings, or for service providers to meet privately with individual residents. Ground floor apartments are designed either to ANSI 117.1 standards for Type A accessibility, or to The Illinois Accessibility Code standards for Adaptable units, to address the needs of individuals with physical limitations.

These buildings also feature large front porches and shared patios for residents to gather in small groups, spacious apartments, and shared laundry facilities. These residences also have convenient access to services and communal amenities in the I/DD multi-unit building located on the north side of the parking lot.

The I/DD multi-unit building contains fourteen, one-bedroom apartments on two floors, for individuals who need more frequent support than those living in the stand-alone units. These apartments are fully self-contained, but smaller and easier to maintain, with more direct access to amenities and services within the building. This building will include elevator access to second floor units, five of which will be designed to the same accessibility standards as units in the smaller format buildings.



Amenities will include a community room with soft seating, tables, and television, and a resource center with computers and library.

Consistent with best practices, each I/DD unit will be a stand-alone residential unit, providing the resident with a secure and individualized place to call their home.

The utilization of various technologies in the I/DD housing units will also help maintain the affordability of the units by creating efficiencies. Little Friends is advising Housing For All on best practices to incorporate into the design.

Amenities & Open Space: The outdoor recreation space linking the senior and I/DD residences provides a variety of opportunities for organized and spontaneous recreation. A system of paved paths connects all residences to all site features, with concrete pavement signaling direct routes between communities and buildings, and asphalt pavement alerting residents to more meandering paths.

Benches along both types of routes are frequent for resting, meeting, and people-watching.

A large, covered gazebo anchors the center of the site, serving as a venue for musical and theatrical performances, and community-wide social events, as well as a place to rest and get out of the weather enroute to other destinations.

The existing stormwater swale will be expanded to serve this site and will become a focal point from all corners of the outdoor space, with native wetland grasses and perennials that will filter stormwater and attract butterflies and birds.

A raised bridge with benches will traverse this nature-scape, offering closer observation and another route connecting the senior and I/DD residences. Each of the communities will include nearby terraces or patios with raised beds for communal gardening. Locating these beds in proximity to the different building types will encourage participation and accommodate a variety of gardening interests.

In addition to providing ample opportunity for leisurely strolling, the interior paths connect residents with parkour-style fitness parks that include rails, bars, poles, and benches designed for seniors and those with mobility limitations to use for strengthening, flexibility, and balancing exercises. Adjacent open space can be used for outdoor tai chi, yoga, or lawn games like bocci and croquet.

Design Standards: The preliminary design of the Housing for All and Little Friends concept is intended to comply with all standards set forth in Naperville's Zoning and Planned Development ordinances. Site parameters have assumed that the underlying zoning requirements of the R3A District will apply with respect to floor area ratio (FAR), building height, lot line setbacks, and setbacks between buildings.

In addition, with 100 total units, the project respects the 2,600 SF lot area per unit threshold for multiple unit types on a single site. And with over 100,000 SF of outdoor space for exercise, walking, gathering and entertainment, the project exceeds the requirement that 35% of the lot area be devoted to outdoor recreation.

Site Context and Transportation: The site is well located for convenient access to shopping, medical care, worship, and recreation opportunities via a range of transportation modes. Route 59 provides those who drive with connections to everything that Naperville and the wider community have to offer. Residents who do not own vehicles have a short walk to Pace Bus 559 at the corner of Route 59 and 103rd Streets, which, in addition to providing access to nearby amenities and services, connects with Pace Route 530 and the Route 59 Metra station for access to Chicago, Aurora, and everything in between.

Site Access: The site is accessed at the northeast corner via Tower Court, with an interior street connecting the two communities along the west side of the site. This pavement concept will allow for a potential future connection to Route 59 in alignment with English Rows Avenue on the west side of Route 59. This concept also minimizes vehicular paving while allowing for access by fire department, sanitation, and transit-related vehicles, and preserving and expanding the existing stormwater basin for use as site detention with abundant bio-appropriate natural landscaping.

Parking: Parking for both the senior and I/DD communities has been designed to strike a balance between the Naperville ordinance requirement for two spaces per residence, and the vehicle needs of these specific populations. The Senior community includes slightly more than 1.5 parking spaces per unit, distributed throughout the community for convenient access. Of these, 19 spaces are tucked under the multi-unit building to help minimize site pavement. Our experience with affordable senior developments suggests that a reduction in the number of parking spaces would be worth considering. Parking for the I/DD community is accessed at the south end of the interior street to avoid through-traffic. This community is served by slightly more than 1 parking space per unit in a central parking lot that is convenient to all buildings.

Building Materials & Finishes: The variety of building types and sizes on the site are unified by a common architectural vocabulary and limited material and color palettes that are compatible with the adjacent single-family homes to the East and South of the site and are mindful of Naperville's historic housing stock more broadly. Building forms and details are meant to suggest familiar vintage homes more than they aim to replicate any one architectural style. The multi-unit buildings are clad in brick masonry and fiber-cement siding and trim, and include simple hipped roof forms, bays, balconies, and gables. The 4-unit buildings are clad either in brick, or in one of the three fiber-cement siding colors of the multi-unit buildings. A variety of front porch configurations and porch column designs provide variety at the pedestrian level and will help distinguish between buildings.

Accessibility and Usability: As noted previously, the Housing For All team is committed to providing an inclusive residential environment that is designed to the highest accessibility standards. With all ground floor units in the 4-unit Senior and I/DD buildings designed to Type A or Adaptable standards, and the larger buildings including the ratio of accessible units required by law, the number of accessible units in each community will be greater than required by Federal, State, and Naperville laws and ordinances. Understanding that all residents can benefit from even minor ergonomic improvements to their living space, all units will incorporate a variety of universal design features intended to make daily tasks easier and more comfortable. Such



features include lever hardware on all doors, rocker switches for all light fixtures, extra-wide hallways, appliances with controls at the front of the appliance, accessible pulls on all cabinet doors and drawers, single lever handle kitchen and bath faucets, toilet and bath accessories within accessible reach ranges.

It goes without saying that all site elements, building entrances and common spaces will be ADA-compliant, but our team will strive to make these places as easy to find and navigate as possible, with carefully considered adjacencies, and the considered use of materials and colors to provide visual and textural cues as to place. The outdoor recreation space incorporates these devices with the use of concrete, asphalt, brick pavers, and wood to differentiate between walking routes and places. The placement of carpet, tile, and vinyl materials in interior spaces will be used to similar effect, and further enhanced through the use of color and pattern.

Sustainability: The importance of sustainable practices in affordable housing design cannot be overstated. These serve the Owner in the form of reduced operating costs and maintenance, and benefit the community, demanding less from municipal and utility systems than conventionally designed projects. With dozens of projects certified under a variety of sustainable design programs including LEED, Enterprise Green Communities, and the National Green Building Standard, the Housing For All team will employ a range of strategies to make this development as resource efficient and as healthy as possible. As previously noted, the site concept minimizes vehicular paving using covered parking and efficient vehicle circulation to reduce the amount of stormwater entering the municipal system. The generally flat site will be graded to take advantage of existing stormwater infrastructure and will further enhance that infrastructure to create a nature-scape that can be enjoyed by residents from a variety of vantage points.

The buildings themselves will be thermally efficient beyond the requirements of the current International Energy Conservation Code, with underslab insulation, continuous wall insulation to reduce thermal bridging, and wall cavity insulation installed to Resnet Grade 1 standards. Energy Star-certified vinyl windows in fixed and casement formats, will be used in all buildings, and rigorous interior and exterior air-sealing details will be implemented. Reductions in energy and water use will be achieved with high-efficiency closed combustion furnaces with occupancy-sensing thermostat technology; Energy Star certified appliances; LED lighting with occupancy-sensing controls in common spaces; and low-flow WaterSense-certified plumbing fixtures.

A healthy indoor environment is the natural extension of a sustainably designed building. Every apartment will include a continuously running bath fan with smart timer to continuously refresh indoor air. Kitchen exhaust hoods will be ducted to the exterior of the buildings to remove cooking smoke and particulates. Finishes and fixtures like paints, sealants, flooring, cabinets, and doors will be certified by appropriate testing agencies- FloorScore, Green Label Plus, and others- as emitting low or no volatile organic compounds, including formaldehyde. Cost-permitting, materials will be sourced in consultation with the Living Building Challenge Red List to further reduce exposure to chemicals and irritants.

(Section 5.3) PUBLIC BENEFIT

Concept Financial Structure

As noted here within this proposal, we propose to develop two separate affordable housing projects on this site: the senior housing portion (“Senior”) and the supportive housing for adults with cognitive disabilities (“I/DD”). Both projects will be rental housing and there will be an extended use agreement to keep the properties affordable for a total of 30 years. No children will reside in either project.

For the Senior project, we propose to develop 70 units containing mostly one bedroom with a few two-bedroom apartments. This part of the project will have units designated mostly for residents at the 80% and 60% of AMI range with some units at the 50%, 40%, and 30% range. It will be independent living (no assisted living, memory care, nursing, etc.) for adults over 55 years of age.

For the I/DD project, we propose to develop 30 units containing one-bedroom apartments. This part of the project will have units designated mostly for residents at the 80% and 60% to 30% of AMI range. It will be supportive living with services for adults with cognitive learning disabilities aged 21 to 62. The supportive living residences will be open to individuals across the I/DD spectrum, from individuals requiring low support services as well as individuals requiring higher intensity care and support. Little Friends will help qualify, enroll and provide services to residents based on the evolving needs of Naperville’s (and surrounding communities’) population.

I/DD Defined: Intellectual and developmental disabilities (I/DDs) are disorders that are usually present at birth and that negatively affect the trajectory of the individual’s physical, intellectual, and/or emotional development. Many of these conditions affect multiple body parts or systems. Over 7 million people in the United States have intellectual or developmental disabilities. Intellectual disability starts any time before a child turns 18 and is characterized by problems with both intellectual functioning or intelligence – which includes the ability to learn, reason, problem-solve, and other skills – and adaptive behavior, which includes everyday social and life skills. The term “developmental disabilities” is a broader category of often lifelong disability that can be intellectual, physical, or both. “I/DD” is the term often used to describe situations in which intellectual disability and other disabilities are present. Examples of developmental disabilities include autism, behavior disorders, brain injury, cerebral palsy and Down syndrome.

Our proposed timing is as follows for each project:

- Submit a Preliminary Project Application to IHDA immediately after we are notified as the RFP winner in 2022
- Submit the 9% LIHTC application to IHDA in January of 2023
- Assuming a successful 9% LIHTC award by IHDA, close on the financing in late 2023 or early 2024 and immediately start construction
- Complete construction and have residents move into the buildings in late 2024 or early 2025

IHDA has a variety of energy efficient guidelines that we will be required to comply with. This includes components such as insulation, windows, plumbing, HVAC, elevators, appliances etc.



and we propose to balance energy efficiency along with keeping the construction costs reasonable. Our intention is to finance both the Senior and I/DD with separate sources and uses because each project will be a separate project / application to the IL Housing and Development Authority (“IHDA”). However, the types of sources and uses will be similar for both projects as shown in this table (excluding specific numbers as requested in the RFP):

Uses		Sources	
Item		Item	
Land Cost		Land Donation	
Construction Costs		Donation Tax Credit	
Soft Costs		City Incentives*	
Reserves		Permit/Impact Fee Waivers	
Developer Fee		LIHTC Equity	
Contingency		Senior Debt (First Mortgage)	
		Deferred Developer Fee	
		IHDA Discretionary Funds	
Total		Total	
		*Combination of Home Funds, CDBG, Forgivable Loans	

As shown in the table, the financing is combination of a variety of sources detailed below.

- **Land Cost & Donation Tax Credit**

We request that the City of Naperville donate the land to the project. This provides two primary benefits. First, it reduces the overall costs of the development. Second, IHDA will award a donation tax credit in the amount of 50% of the fair market value of the land. We will then syndicate the donation tax credit to a tax credit equity investor.

- **City Incentives and Permit/Impact Fee Waivers**

We request that the city provide us an incentive package and permit / impact fee waivers of up to 10% of the total development cost. We propose that these incentives could be permit / impact waivers and a combination of HOME funds, CDBG funds, forgivable loans, tax increment financing, and/or other incentives depending what the City has available and feels is important for this project. We will work creatively with the City to structure these incentives to both benefit the project and mitigate risk for the City.

- **Equity**

We will apply to IHDA for the competitive 9% Low Income Housing Tax Credit (“LIHTC”). This LIHTC equity amount will be the largest single source of financing for the project. We have a strong network of tax credit equity investors that will provide the LIHTC equity for this project. The amount of permanent developer equity in the project will be minimal.

- **Senior Debt (First Mortgage)**

The amount of the first mortgage will be based upon the net operating income and value of the property. This first mortgage will be maximized to the amount possible but will likely not be greater than 85% loan to value and will likely need to satisfy at least a 1.15 debt coverage ratio. Typically, LIHTC projects have a value significantly less than the cost to build and consequently the permanent mortgage amount is much less than the total development cost.

- **Deferred Developer Fee**

IHDA has a formula based on how much developer fee can be paid on a project. IHDA also has a formula requiring a portion of that developer fee be deferred and be paid out of cash flow during the first 12-15 years that the project is operational. Our plan is to



maximize the deferred developer fee.

- **Discretionary Funds**

If necessary, IHDA has discretionary funds they received from the federal government that they can provide to various projects that have a gap in financing. If needed, we will request these funds. They will either be grants or forgivable loans. Much of these Funds are used to help projects that have been subject to increases in construction costs because of Covid 19 and related supply chain and employment issues.

Construction costs significantly increased in 2021. We don't know if construction costs will go down, stay the same, or go up once construction would start on this project in 2024. However, our plan is to be flexible and creative with all financing parties including IHDA, equity investors, lenders, grant providers, and the City of Naperville to ensure the project has adequate sources to complete construction and be well capitalized with appropriate reserves.

Both projects will pay property taxes. The amount of property taxes will be based on the assessed value and the mil rate. The state of IL has recently enacted legislation to help provide property tax relief to affordable housing projects and we plan to take advantage of this legislation to the extent possible.

Rental Development: The Team intends to develop the property as a rental development. As mentioned in the Community Partners section, the Team has a strategic partnership with Leasing and Management Company who started in 1980 managing 680 units with 20 employees and has grown to over 180 employees with almost 5,000 units ranging in size from 20 units to 500 units – the majority being affordable housing. See the Community Partners section for the excellent credentials.

Management Plan: The management plan will be in conformance with the IHDA management plan guidelines that adheres to their management philosophy which is to implement fair and appropriate housing management practices and comply with applicable program requirements when managing an IHDA financed development. The plan sets out significant protocols from the relationship between the development sponsor and managing agent to procedures for tenant eligibility and processing to rent collection to maintenance and repairs to financial accounting. All detailed out which holds the management team accountable

Understanding of the financial risks and challenges: The Team believes in completing a Strengths, Weaknesses, Opportunities, and Threats (“SWOT”) Analysis when looking at a project opportunity. A SWOT analysis allows the team to look at a project objectively while identifying the risks and challenges mentioned above while assessing weaknesses and threats. This allows the team to devise risk mitigation strategies on the front end of the project to ensure success at the back end.

SWOT Analysis

Strengths (How we Mitigate Risks and Challenges Internally)

- The team completed a mixed-use project with 21 residential units, & 4 commercial units during the COVID-19 Pandemic. The team completed construction on time and leased the project up quickly. The property is 100% leased.

- The team was able to obtain financing for a \$117 million mixed use adaptive reuse project with a complex capital stack, including both historic tax credits and new markets tax credits, while simultaneously completing construction on the second phase during COVID. This project will welcome new residents in Spring 2022.
- The team has extensive experience mitigating construction risk. The strategies the team has employed include but not limited to;
 - Bonding the general contractor and crucial subcontractors to guarantee the timely completion of construction work
 - Establishing sufficient contingencies to reduce construction and operational risks
 - Partnering with a sophisticated architect to complete upfront design work to minimize design risk saving time and money on construction due to fewer design changes being needed during construction minimizing costly change orders
- The team has a strong track record building relationships with the cities where they complete real estate development projects. These relationships are built with key City leaders and staff members and start with a high level of communication and transparency from the team that lead to positive outcomes for all parties.
- One of the partners on the team is a design firm which allows the team to have total control over the design process and creates value engineering opportunities that are not available when using a third-party design firm.
- The Team doesn't have a General Contractor who is a financial partner allowing the team to hire the most qualified GC and negotiating pricing at favorable terms instead of having to use a partner.
- We use only the highest quality experienced credentialed third-party consultants

Weaknesses (External Weakness are Part of the Threats Analysis Below)

Opportunities (How we Leverage Internal Strengths) (External)

- Strong demand for affordable housing in the community
- Strong city government support for affordable housing needs
- Partnership with Little Friends for supportive living services
- Demonstrating Naperville can promote inclusion by bringing in high quality affordable housing
- Other suburban cities have been able to provide affordable housing opportunities and Naperville must find a way to support the growing need
- Two-thirds of the ownership team live in Naperville and adjoining communities and have close ties to the community which ensures local voices are heard
- Another advantage of the local ownership team is their commitment to the community and looking at this project as a long-term investment that will be maintained at the highest standards
- The team has a track record of working with local communities to make sure we listen and address their concerns to generate strong community support behind our projects
- Help the city develop strong relationships with Local and State Agencies to maximize the sources of funding available for the project
- The city can use the team's prior IDHA experience to work with IDHA to help guarantee a high-quality successful development

Threats (& Weaknesses) (External)

- Potential Neighborhood Opposition to an Affordable Housing Project
- Lack of City Experience Working with Affordable Housing Project Teams
- Political Factors
- Social Issues
- High Cost of Land
- High Cost of Permits, Impact Fees, etc.
- Pre-Construction Cost Risk
- Timing of Obtaining Proper Permits
- Construction Material Cost Inflation
- Disputes with General Contractor and Other Trade Contractors
- Unforeseen Environmental Issues
- Construction Cost Overruns Due to Unforeseen Conditions
- Adhering to Project Timelines and Monitoring Property Development Costs and Contingencies
- Future Economic Slowdown
- Overall Inflation of External Products and Services
- Lease-Up/Market Risk
- Interest Rate Risk

Concept Opportunity Statement

Our proposal includes a land donation from the City of Naperville which will help provide enough sources to fund the project. By having the land donated by the city, the project will receive a donation tax credit which will also be source for the project. Without these sources the project would have a financial gap that would not make it feasible. The Low-Income Housing Tax Credit (LIHTC) has limitations with how much equity the credit can provide to the project. LIHTC projects typically don't provide much in the way of excess cash flow and the senior lender won't allow a LIHTC project to have a higher debt service coverage ratio than a market rate project. Therefore, a LIHTC developer has limitations on the number of sources available to finance a project. The great thing about LIHTC is that it allows affordable housing projects to become a reality; however, effectively no special lending programs exist so a LIHTC project must adhere to standard lending practices.

Affordable housing contributes to significant economic impacts, including increase in local purchasing power, job creation and new tax revenues which provides a great public benefit. Affordable senior and I/DD housing allows individuals to be able to live in communities they have lived in for many years and often their entire lives. If Housing For All is awarded the project, seniors and individuals with Intellectual and Developmental Disabilities can continue living around their friends and family while keeping their social network close and allowing for healthy generational family relationships. Affordable housing provides a great public benefit and will bring the vision to reality - to create a place of peace and security, and a place of renewal and vitality, where residents can grow, prosper and become the best version of themselves.



Request for Proposal

Naperville: Affordable Residential Development
Proposal with Purchase of City Property

December 13, 2021

Mercy Housing Lakefront
120 S. LaSalle St Suite 1915 Chicago, IL 60603
(312) 447-4500 | www.mercyhousing.org/lakefront

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*Design Concept Images uploaded separately as supplemental documents

Cover Letter

December 10, 2021

Joe Catalano, Procurement Manager
Naperville Municipal Center
Procurement Services
400 South Eagle Street
Naperville, IL 60540

Re: Naperville Affordable Residential Development Proposal with Purchase of City Property

Dear Mr. Catalano:

Mercy Housing Lakefront (MHL) is pleased to submit this response for RFP 21-315 to the City of Naperville. MHL is the lead entity for this response and will be entering into any and all agreements pertaining to this and any future responses or agreements pursuant to the RFP process for selection as developer of the RFP site.

Our design concept and approach takes a "what if" view of the site to maximize achievement of RFP goals. With the support of the City regarding parking, size and exterior requirements, we intend to leverage the financing tools and opportunities available for development. We imagine up to a 97-unit building surrounded by walking paths, transitional spaces, and a 3 season space accessible to the residents.

We seek to propose an attractive and thoughtfully-designed affordable rental housing development for seniors and individuals with IDD that promotes quality, healthy living for residents of all abilities. Building and site design will utilize environmentally friendly and sustainable construction and design practices (including open space design and native landscaping, utilization of renewable energy, electric vehicle charging capability, indoor environmental quality materials and stormwater management best practices). Interior and exterior spaces and amenities consider the elderly and IDD residents and we look forward to engaging with our specialized service providers, the City, community, and stakeholders to inform the final physical design, development mix, and affordability, as well as service supports for the residents.

Our development team includes accomplished firms in their respective capacities all having experience with affordable housing and senior developments.

Developer/Owner:	Mercy Housing Lakefront
Property Manager:	Mercy Housing Management Group, Inc
Resident Services:	Mercy Housing Lakefront
Architect & Design Team lead:	Canopy Architects
Civil Engineer:	Manhard Consulting
General Contractor:	Walsh Construction
Transaction and Financial Consultant:	Baker Tilly
Legal Council:	Applegate & Thorne-Thomsen

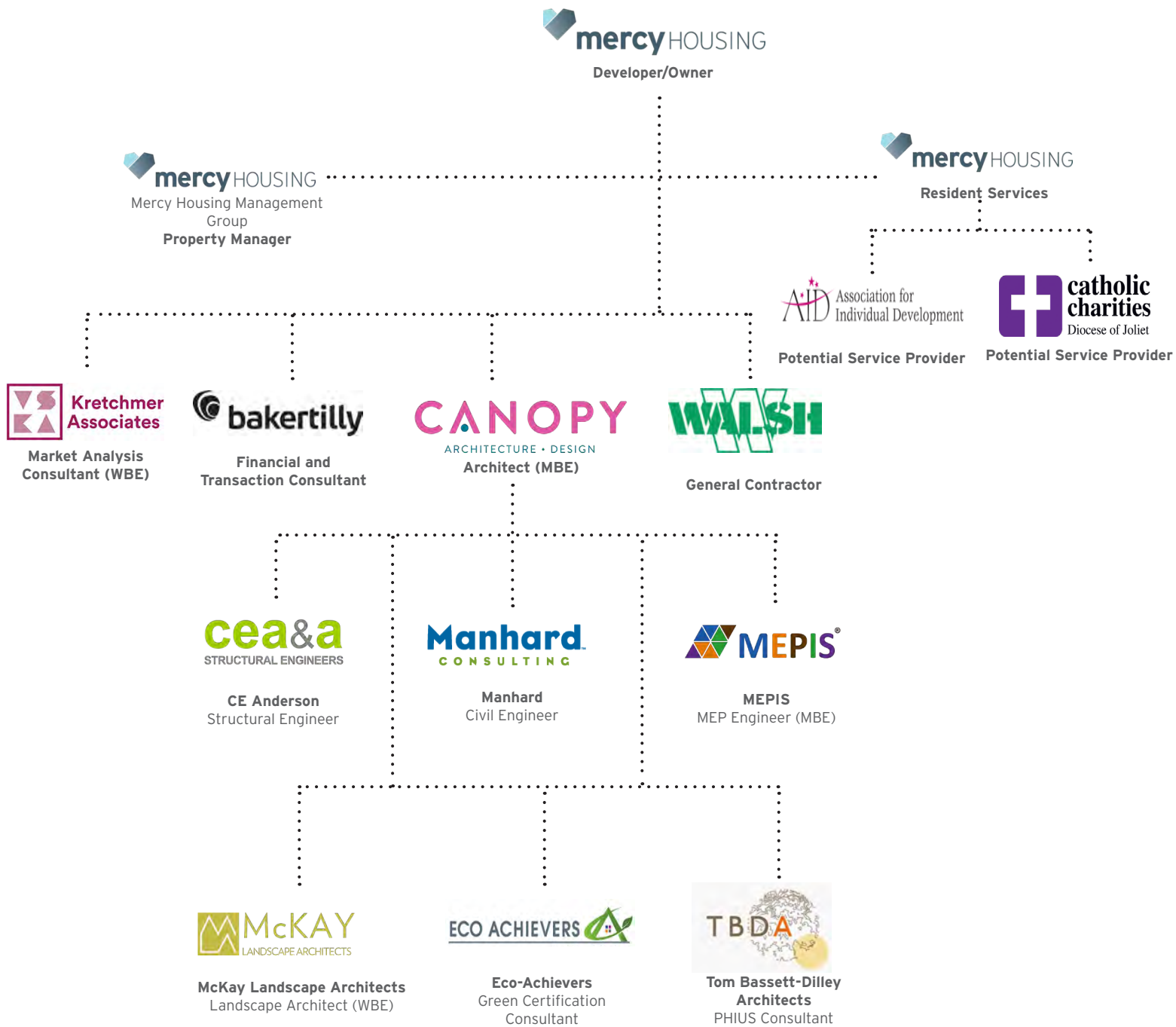
We are excited about the potential to develop this site and the positive impact it will have on the City. As evidenced in our application, we are prepared and capable of executing this development concept. We appreciate your consideration and invite further dialogue regarding our collaborative approach for this development.

Sincerely,



Mark Angelini
President
Mercy Housing Lakefront

Team Organizational Chart



Mercy Housing, a national nonprofit organization, is working to build a more humane world where poverty is alleviated, communities are healthy, and all people can develop their full potential. We believe that affordable housing and supportive programs improve the economic status of residents, revitalize neighborhoods and stabilize lives.

Mercy Housing is one of the nation's largest affordable housing organizations. Mercy participates in the development, preservation, management and/or financing of affordable, program-enriched housing across the country and serves a variety of populations with housing projects for low-income families, seniors and people with special needs. Mercy acquires and renovates existing housing, as well as develops new affordable rental properties. Mercy Housing partners nationally and regionally with public, private and government partners to combine the best affordable housing development practices to build our communities

Mercy Housing has served more than 152,000 people and has participated in the development, preservation and/or financing of more than 48,200 affordable homes. Mercy is one of only a few national organizations that provide affordable housing for all low- and moderate-income populations, serving families, seniors, and people with special needs with the full spectrum of affordable housing, including supportive housing for the formerly homeless, transitional housing, permanent rental, and affordable homeownership opportunities.

For more than 35 years, Mercy Housing has been committed to developing affordable, program-enriched housing for low-income families, seniors and people with special needs who lack the economic resources to access quality, safe housing opportunities. Regardless of the scale and population served, each Mercy Housing community is built with an unwavering commitment to dynamic partnerships, creative vision and extensive community planning.

As one of the largest and most experienced nonprofit affordable housing developers in the country, Mercy Housing can handle every aspect of affordable real estate development including project financing, community outreach and planning, construction management, property management and

asset management. We are one of only a few national organizations that provide affordable housing for all low- and moderate-income populations.

Mercy Housing Lakefront (MHL) is the Midwest geographic business center and currently owns and manages 52 multi-family properties located throughout Illinois and southeast Wisconsin, representing 5,632 total units region wide.



Our Core Values of respect, justice, and mercy are the foundation of our work. What these values mean is that we take concrete and deliberate action to listen and act in ways that will foster respect, justice, and mercy for all of us.

Respect

A basic perspective and behavior which is attentive, considerate and shows special regard for the inherent dignity of persons.

Justice

Ensure fair and equitable access, opportunity and advancement for all. Identify and eliminate barriers, including but not limited to racial discrimination, that prevent full participation of marginalized groups.

Mercy

The ability to see need and respond with compassion.

Developer
120 S. LaSalle St Suite 1915
Chicago, IL 60603
(773) 575-6663
mercyhousing.org/lakefront

Main contact:
Edgar Flagg
Regional Director of Real
Estate Development
edgar.flagg@mercyhousing.org
org

Mercy Housing not only helps provide quality, affordable housing programs to those in need, but also offers Resident Services that help improve the community one resident at a time. We help individuals and families learn skills and gain perspectives that make dreams of stability and hope a reality.

Services at Mercy Housing’s properties are focused on the areas of housing stability, health, community building and employment.

RESIDENT SERVICES IMPACT AREAS



Mercy Housing Management Group (MHMG) was established in 1983 to provide property management services for Mercy Housing’s affordable housing communities. Today, MHMG manages hundreds of properties across the United States for multiple ownership groups with a wide variety of product, regulatory and population types. MHMG is a proven leader in the national market for affordable housing property management. With regional management offices located in five cities across the nation, MHMG offers a national support structure in Denver, Colorado which includes: real estate accounting, compliance, insurance, information technology, human resources and resident services.

MHMG currently manages over 300 properties serving 22,500+ affordable apartment homes in 21 states including Arizona, California, Colorado, Florida, Georgia, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Missouri, Nebraska, North Carolina, Ohio, South Dakota, Tennessee, Texas, Utah, Wisconsin and Washington.

At each property we manage, we hold true to our operating objectives which include:

- Maximizing financial results
- Maintaining the property to the owner’s standards
- Creating and sustaining a challenging and rewarding work environment for employees
- Delivering superior customer service by exceeding expectations

With over 30 years of experience and a strong local and national presence, MHMG is the best choice for managing your properties.

Operational Excellence is a consistent, measurable and systematic approach to the various components of Mercy Housing Management Group’s (MHMG) structure and on-going business model, including Standardized Practices (Policies and Procedures), Educational Programs, Pay

and Incentive Compensation, Management and Financial Oversight and Employee Recognition.

By following the principles and guidelines of Operational Excellence, onsite staff can focus on achieving results. Operational Excellence includes a compilation of policies and procedures ranging from Operations and Administration to Maintenance and Human Resources.

The following model shows the basic structure and components of the Operational Excellence.

In order to achieve Mercy Housing’s mission, MHMG has identified four key management objectives. They are:

- Maximize financial results
- Maintain the property to the owner’s standards
- Create and sustain a challenging and rewarding work environment for employees
- Deliver superior customer service

In order to achieve the management objectives, MHMG focuses on certain Key Performance Indicators as a measure of success. The Key Performance Indicators are driven through the five systematic components of the Operational Excellence structure.



Property Management Experience Summary by State

Sheet	State	Total Project Units	Income Restricted Units	LIHTC Projects	LIHTC Units
		2546	2515	26	2515
S1	IL - Illinois	2226	2212	22	2212
S2	IN - Indiana	130	130	1	130
S3	WI - Wisconsin	190	173	3	173
S4					



Mark Angelini
President
Developer/Owner

Mark has over 30 years of experience in economic, community, and real estate development, including predevelopment project planning, property disposition, developer negotiation and development management. Mark's efforts in public, private, and non-profit firms and institutions have revitalized numerous communities in Chicago, its suburbs and downstate Illinois.

In addition, Mark worked as practice leader for development advisory services at SB Friedman & Co.; Vice President at the Illinois Institute of Technology; Executive Assistant for Economic Development to U.S. Senator Paul Simon and as an aldermanic aide and staff director for economic development in the Chicago City Council.

He graduated cum laude from the University of Notre Dame with a degree in engineering, and earned a master's degree in engineering from Northwestern University. He is a member of the Economic Club of Chicago and Lambda Alpha, the honorary land use economics society.



Todd Wolcott
Senior Project Developer
Developer/Owner

Todd is the Senior Developer for Mercy Housing Lakefront, responsible for development in Illinois and Indiana. Todd has nearly 20 years of experience in real estate and community development. Previously, Todd supervised the planning and development of affordable housing and economic development in North Lawndale for Lawndale Christian Development Corporation. He has led the development of over \$200 Million dollars of affordable housing in the City of Chicago, including the Lofts on Arthington, which is an award winning development providing 181 units to the West side of Chicago. He has strong knowledge of information systems and uses his skills to empower communities.

He has a Bachelor's degree in Social Relations from James Madison College at Michigan State University and a Masters of Urban Planning and Policy from the University of Illinois at Chicago.



Edgar Flagg
Regional Director of Real Estate
Development
Developer/Owner

Dedicated to affordable housing solutions Edgar Flagg is currently the Regional Director of Real Estate Development for Mercy Housing Lakefront. He leads their development department and its strategy for Illinois, Wisconsin, and Indiana. MHL is the largest nonprofit provider of service-enriched housing in the Great Lakes region that owns 52 properties with more than 5,500 units serving more than 8,000 residents.

Edgar has worked both for and with private and nonprofit real estate development entities to assess, structure, and execute real estate transactions. His experience encompasses acquisition, community engagement, entitlement, financing, and construction. Edgar has over 20 years of development experience creating or preserving over 3,000 affordable housing units with development costs in excess of \$500M.

Edgar holds a B.A. in Urban and Regional Planning from the University of Illinois at Urbana Champaign and a Masters of Business Administration, with a concentration in Real Estate, from Roosevelt University. He is a board member of the Illinois Housing Council and member of the Ely Chapter Of Lambda Alpha International.



Felix Matlock
Vice President of Resident Services
Resident Services

Felix Matlock is the Vice President of Resident Services at Mercy Housing Lakefront (MHL). With more than 40 years of experience in the nonprofit sector, Felix brings a wealth of understanding regarding services design, implementation and delivery. Services areas overseen by Felix include economic development, education initiatives, community participation, and health & wellness.

Previously, Felix served as the Associate Executive Director for the Chicago Christian Industrial League, and as an adjunct faculty member for Spertus Institute. Felix is active in the community, including his present position as President of the Board of Director for the Supportive Housing Providers Association.

Felix holds a bachelor's degree in education from Tennessee State University and a master's degree in Education Administration from Springfield College. He is currently pursuing a Ph.D. in applied management and decision sciences from Walden University.



Grayslake Senior/Lakefront Residence

Property Type: Supportive, Senior
Land Use Mix: Residential
Size of site: 22,875sf
Number of Units: 70
Type of Units: 7 2-bedrooms, 63 1-bedrooms
Project Cost: \$21Million
Dates: 11/2011 start construction 12/2012 complete
Affordability Standard: 7 units at 30% AMI and 63 at 60% AMI

Lakefront Residences of Grayslake features 70 brand new apartments for seniors (age 55+) in the town of Grayslake, located in central Lake County, IL about 50 miles north of Chicago. In addition to 63 one-bedroom apartments and 7 two-bedroom apartments, the property includes an elevator, a community room with warming kitchen and fireplace, fitness center, library and more! Lakefront Residences of Grayslake also features resident activities to promote healthy and independent senior lifestyles.

Reference contact: Mary Pat Paruszkiewicz
Regional Vice President - Operations
Mercy Housing Lakefront
120 S. LaSalle #1850 | Chicago, IL 60603
(414) 939-7002

Countryside Senior

Property Type: Supportive, Senior
Land Use Mix: Residential
Size of site: 47,099sf
Number of Units: 70 1-bedroom units
Project Cost: \$16Million
Dates: Start 8/2009, Complete 11/2010
Affordability Standard: 7 at 30% AMI, 21 at 50% AMI, 35 at 60% AMI, and 7 units at market rate.

Mercy Housing Lakefront's Countryside Senior Apartments (age 55+) provides 70 units of housing for the senior community in Countryside, Illinois. Countryside Senior Apartments, like many independent senior living communities, features onsite amenities including an activity room and a large community parlor for community events and parties. Residents have access to a patio and courtyard, onsite property management and a laundry room centrally located on each of the four floors. Onsite staff is available to help plan social events such as holiday parties, community outings and other special events. Countryside Senior Apartments includes 7 fully accessible units. There are 7 additional units that are adaptable to become fully accessible, and two units accommodated for the hearing impaired.

Building Features: The Countryside Senior Apartments design concept provides a sense of community for its residents in a healthy, environmentally sensitive setting. In an effort to achieve this, the community includes sustainable or "green" features in the building's design in an effort to achieve a U.S. Green Building Council Leadership in Energy and Environmental Design (LEED) Silver Certification. Features include green spaces with native plantings, high-efficiency heating and air conditioning systems, solar thermal panels on the roof used for heating water, Energy Star lighting fixtures and a community recycling program.

Reference contact: Mary Pat Paruszkiewicz
Regional Vice President - Operations
Mercy Housing Lakefront
120 S. LaSalle #1850 | Chicago, IL 60603
(414) 939-7002



Constitution House

Property Type: Supportive, Senior
Land Use Mix: Residential
Number of Units: 232 1-bedrooms
Dates: Acquired in 2016
Affordability Standard: 100% of units to serve 30% AMI seniors as a Project Based Section 8 Development

Constitution House, located in Aurora, Illinois, offers apartments for income, eligible persons referred from the Aurora Housing Authority age 62 years and older. Constitution House has beautifully manicured landscaping and scenic views of Aurora's west side from the patios located on floors 2-6. There is a courtyard area with tables, umbrellas and a grill for resident use. It is remarkably convenient for shopping, doctor's offices and restaurants. All are within walking distance or you may choose to use convenient public transportation. The building has elevators, easily accessed laundry, storage areas, and a community room. Activities such as cards, music, potluck and catered dinners and educational and social programs are provided. In addition, a Resident Service Coordinator is on staff to assist you in linking to the community services available in the area.

Reference contact: Mary Pat Paruszkiewicz
Regional Vice President - Operations
Mercy Housing Lakefront
120 S. LaSalle #1850 | Chicago, IL 60603
(414) 939-7002

River Station Senior Apartments

Property Type: Senior
Land Use Mix: Residential
Size of site: 61,000sf
Number of Units: 71 1-bedroom units
Project Cost: \$16Million
Dates: Close in 2016, Complete in 2017
Affordability Standard: 14 units at 30% AMI, 21 at 50% AMI, 35 at 60% AMI, and 1 at market rate.

River Station Senior Residences is a brand-new community for low-to-moderate income seniors age 55 and up in Kankakee, Illinois. The building, developed in partnership with the City of Kankakee as well as Kankakee County, is a cornerstone of neighborhood stabilization and revitalization efforts in Kankakee's West Downtown District. The Energy Star Certified building adjoins a planned greenway along the Kankakee River, which will provide opportunities for active recreation, and is within walking distance of a grocery store, commercial businesses, and religious institutions.

A local hospital, now part of the AMITA Health System, also partnered with Mercy Housing Lakefront on the project and will operate a planned onsite health clinic on the ground floor of the building. The building's 70 one-bedroom apartments house low-income seniors at or below 60% of the Area Median Income (AMI). Partnership with the Kankakee County Housing Authority ensures that residents previously in mixed-age communities are able to move into high-quality, affordable senior housing. The Housing Authority subsidizes 14 units reserved to house extremely low-income seniors at or below 30% AMI and an additional 21 units for seniors at or below 50% AMI. The remaining 35 apartments are affordable to seniors at or below 60% AMI.

Reference contact: Mary Pat Paruszkiewicz
Regional Vice President - Operations
Mercy Housing Lakefront
120 S. LaSalle #1850 | Chicago, IL 60603
(414) 939-7002

Sponsor Development Experience Certification

Sponsor: Mercy Housing Lakefront
 State: IL - Illinois

LIHTC Project Experience				
	Approved	Under Construction	Complete	Total
Projects:	0	0	23	23
Units:	0	0	2292	2292

Indicate all housing development projects in IL - Illinois in which Mercy Housing Lakefront has, at any time, had an ownership interest in the cells below.

Incomplete	State	Project Name	IHDA Loan Number (if in IHDA's Portfolio)	Primary Project Address	Project Municipality(ies)	Total Project Units	Income Restricted Units	LIHTC Units	Project Status	Completion Date
						3968	3968	2292		
	IL	Carlton Apartments	HTF-228	4626 N. Magnolia, Chicago, IL 60640	Chicago	70	70	70	Complete	11/1/1993
	IL	Miriam Apartments	HTF-6	4707 N. Malden, Chicago, IL 60640	Chicago	66	66	66	Complete	11/23/1992
	IL	Malden Arms Apartments	HTF-2721, FAF-13	4727 N. Malden, Chicago, IL 60640	Chicago	83	83	83	Complete	7/13/2009
	IL	Major Jenkins	HTF-337	5012 N. Winthrop, Chicago, IL 60640	Chicago	160	160	160	Complete	3/1/1995
	IL	Delmar Apartments		5042 N. Winthrop, Chicago, IL 60640	Chicago	163	163	163	Complete	2/1/1994
	IL	Belray Apartments	HTF-499	3150 N. Racine, Chicago, IL 60657	Chicago	70	70	70	Complete	11/1/1996
	IL	Margot & Harold Schiff Residences	H-2209, HTF-2209	1244 N. Clybourne Ave., Chicago, IL 60640	Chicago	96	96	96	Complete	2/15/2007
	IL	South Loop Apartments	HTF-799, FAF-17	1521 S. Wabash, Chicago, IL 60605	Chicago	207	207	207	Complete	1/1/2000
	IL	Englewood Apartments	H-2856	901 W. 63rd St., Chicago, IL 60621	Chicago	99	99	99	Complete	12/31/2011
	IL	Roseland Place Apartments	1001209	10426 S. Michigan Ave., Chicago, IL 60640	Chicago	60	60	60	Complete	3/14/2011
	IL	Roseland Village Grand Families Apartments		63 E. 104th St., Chicago, IL 60628	Chicago	10	10	10	Complete	11/1/2010
	IL	Holland Apartments	H-400, HTF-1238	240 W. 107th Place, Chicago, IL 60628	Chicago	81	81	81	Complete	10/25/2001
	IL	Wentworth Apartments		11045 S. Wentworth, Chicago, IL 60628	Chicago	51	51	51	Complete	6/23/2005
	IL	Danville Veterans Housing		1900 E. Main St., Danville, IL	Danville	65	65	65	Complete	12/31/2016
	IL	Harold Washington Apartments	SRO-1	4946 N. Sheridan Rd., Chicago, IL 60640	Chicago	69	69	69	Complete	9/23/2011
	IL	Whitmore Apartments		421 S. Central Ave., Chicago, IL 60644	Chicago	54	54	0	Complete	7/1/1998
	IL	Parkside Terrace	007-04	143 N. Parkside Ave., Chicago, IL 60644	Chicago	62	62	62	Complete	8/2/1996
	IL	Washington Court		5424 W. Washington, Chicago, IL 60644	Chicago	101	101	0	Complete	4/1/1998
	IL	Laverne Court		4938 W. Quincy, Chicago, IL 60644	Chicago	158	158	0	Complete	5/1/1981
	IL	Countryside Senior Apartments	296208	6406 Joliet Rd., Countryside, IL 60525	Countryside	70	70	70	Complete	2/1/1994
	IL	Grayslake Apartments	1039210	160 Hamelitz Ct., Grayslake, IL 60030	Village of Grayslake, Lake County	70	70	70	Complete	11/17/2011
	IL	Pullman Wheelworks	CDT-FAF-10368	901 E. 104th St., Chicago, IL 60628	Chicago	210	210	210	Complete	10/30/2013
	IL	Lofts on Arthington (Sterling Park Apartments)		3301 W. Arthington St., Chicago, IL 60640	Chicago	181	181	181	Complete	3/1/2017
	IL	River Station Senior Residences		245 S. 6th Ave., Kankakee, IL 60901	Kankakee	70	70	70	Complete	10/27/2017
	IL	Batavia Apartments		1259 E. Wilson St., Batavia, IL 60510	Batavia	290	290	0	Complete	7/19/1993
	IL	Constitution House		401 N. Constitution Dr., Aurora, IL 60504	Aurora	232	232	0	Complete	10/3/1995
	IL	Colony Park		550 E. Thornhill Dr., Carol Stream, IL 60131	Carol Stream	284	284	0	Complete	9/3/1995
	IL	LaSalle Manor		1135 10th St., LaSalle, IL 61301	LaSalle	48	48	48	Complete	5/17/2011
	IL	Assisi Homes of Gurnee		3495 Grand Ave., Gurnee, IL 60031	Gurnee	60	60	0	Complete	2/1/1994
	IL	Assisi Homes of Illinois		26W105 Roosevelt Rd., Wheaton, IL 60187	Wheaton, Volla Park, Addison, Lombard	65	65	0	Complete	2/2/1994
	IL	Canticle Place		26W105 Roosevelt Rd., Wheaton, IL 60187	Wheaton	12	12	0	Complete	3/2/1994
	IL	Marian Park		2126 W. Roosevelt Rd., Wheaton, IL 60187	Wheaton	210	210	0	Complete	4/26/1972
	IL	Colonnade		512 Hendelmeyer, Effingham, IL 62401	Effingham	92	92	0	Complete	9/26/2001
	IL	Highland Manor		4200 22nd St., Moline, IL 61265	Moline	78	78	0	Complete	9/25/2015
	IL	Sanders Apartments		4201 22nd St., Moline, IL 61265	Moline	40	40	0	Complete	9/25/2015
	IL	850 Eastwood		850 Eastwood Ave., Chicago, IL 60640	Chicago	231	231	231	Complete	9/23/2011
	IL									
	IL									
	IL									
	IL									



Founded in 1898, The Walsh Group is a fourth-generation family owned company, headquartered in the West Loop neighborhood of Chicago, providing design, build, finance, operation and activation services. We are the 15th largest contractor in the United States, operating out of 21 strategically-located regional offices across North America. Our three companies, Walsh Construction, Archer Western and Walsh Canada are united by a shared dedication to deliver exceptional customer service, while upholding the highest standards of ethics, quality and safety.

Walsh Construction operates out of multiple regions, working with union labor and union subcontractors. Archer Western is an open shop contractor that primarily operates in the southern and western regions of the United States. In 2009, we entered the Canadian market and expanded our track record of success in the building, civil, transportation and water sectors.

With more than 8,000 employees and annual revenues in excess of \$5 billion, we deliver some of the most complex building and infrastructure projects in North America. Our market focus spans a vast range of project types - each one demanding unique, client-focused solutions. We integrate the lessons learned from our diverse portfolio, applying this superior knowledge base from one project to the next. The result: a cross-market approach offering multi-faceted, highly informed solutions. To integrate with the communities where we live and build, we make a point of partnering with municipalities. We take pride in our influence on cityscapes across the country. From Millennium Park in

the city of Chicago to a massive expansion of LAX Airport, we make an impact on places with significant public interest.

In support of diversity, we assertively facilitate minority participation on both public and private projects. We strive to not only fulfill, but also to surpass, the MBE/WBE requirements established by the client. Recognized as a true champion of minority participation, community-based organizations, advocacy groups and trade organizations alike have honored us with numerous affirmative action awards. We have also created many Community Relations and Residency Hiring Programs, further weaving our work with daily lives of our constituents - many of whom experience and enjoy our buildings, highways, and bridges.

We have a proven reputation in delivering the highest quality building projects, with broad and varied sector experience including: renovation, nonprofit, and local agency projects. We have completed more than \$17.5 Billion worth of projects throughout our history in the Chicagoland area and being based in Chicago for over 120 years, we have a strong commitment to this community as seen through our extensive experience.

Senior living facilities are unique projects that require specialized expertise. The Walsh Group has completed more than \$800 million in senior housing contracts, both for public and private clients. With project experience that includes renovation and new construction in a variety of independent living, assisted living, memory care and skilled care facilities.

General Contractor

929 W Adams St
Chicago, IL 60607
(312) 563-5400
walshgroup.com

Main contact:

Ryan Keefe
Project Executive
rkeefe@walshgroup.com
(312) 617-0672

LOCAL STATISTICS:



Eric Larsen

Vice President, Multi-Family Center of Excellence

As Vice President, Multi-Family Center of Excellence, Eric is directly responsible to Ownership for all aspects of preconstruction and construction operations. Eric will maintain close oversight over the project in progress, project management staff, estimating, design management, value engineering, scheduling, and the preparation of quality control programs.

With over 34 years of experience, he brings to the team innovative ideas from experiences across projects of different sizes and complexities. Eric interacts with project ownership throughout the duration of the project.



Ryan Keefe

Project Executive

As Project Executive, Ryan is responsible for efforts including managing preconstruction efforts based upon information from Owners and Architects, engaging subcontractors for qualified pricing, supervising Walsh trade estimators in generating project budgets, and directing value analysis efforts to achieve project goals as efficiently as possible. He will also be involved in the establishment of the project specific quality and safety programs, as well as supervision of the management staff assigned to the project, ensuring client satisfaction.



Broadview Senior Apartments

Property Type: Senior, Affordable
 Number of Units: 70
 Type of Units: 17 2-bedrooms, 53 1-bedrooms
 Contract Price: \$18Million

Broadview Senior Apartments includes 53 one bedroom and 17 two bedroom units. There will be a mix of ADA, adaptable and non-ADA units. The design and construction of the facility will follow National Green Building Standard requirements for energy efficiency. The parking lot adjacent to the new construction building contains 46 spaces, along with an additional 14 spaces behind the building in the courtyard.



Countryside Senior

Property Type: Supportive, Senior
 Number of Units: 54 units
 Type of Units: 15 studios, 21 1-bedrooms, 18 2-bedroom units
 Contract Value: \$13Million

The project is a mixed-use development was built on the site of an old theater in the Rogers Park community to make way for a new 58,286sf 4 story building with 54 affordable housing units. The building consists of at grade parking- 20 spaces along with retail and floors 2-4 will consist of 15 studios, 21 1-bedroom and 18 2-bedroom units. On the exterior, there is a small resident courtyard with a tot-lot along the south side of the building. The building façade features fiber cement siding and brick veneer. The structure consists of structural steel and precast for the first floor and cold form metal framing with concrete topping on metal deck for floor 2-roof.



Lawn Terrace Apartments

Property Type: Senior, Affordable
 Contract Price: \$3.8 Million
 Size: 105,563sf

Lawn Terrace was the renovation of a five story 105, 563 SF existing senior living facility on the south side of Chicago. The building was fully occupied and was renovated with tenants occupying the units at the end of each business day. The scope of the unit renovation included new flooring, cabinets, countertops, appliances, lighting, and toilet accessories. The main building renovation also included new flooring, cabinets, lighting, entry vestibule, as well as exterior installation of a new roof, new solar hot water heating unit, a new storage shed, and a new generator.



Prairie Green at Fay's Point

Property Type: Supportive
 Number of Units: 120 units
 Contract Value: \$12.5 Million

This project was a 120 unit, 80,675 SF supportive living facility consisting of a wood structure with masonry veneer and concrete siding exterior. The building contains both studio and deluxe Section 504 Full Accessible Units, Type A Accessible units, and adaptable units. The building contains a number of amenities including a full service kitchen, private dining room, multi-purpose media room, on-site physical therapy, a fitness center, computer lab, art studio and beauty salon. The Blue Island SLF is a wood structure with masonry veneer and cement board siding on the exterior. All the floors are plywood decked with a 3/4" topping slab. All units are carpeted with vinyl flooring in both the kitchens and bathrooms.



State	Project Name	Primary Project Address	Project Municipality(ies)	Total Project Units	Project Status	Construction Complete Date	Contract Value	Capacity of Involvement
				2151				
IL	Oak Trace Phase II	250 Village Drive	Downers Grove	163	Under Construction	12/1/2024	\$86,000,000	General Contractor
IL	Misericordia Rosemary Park	1925 W. Thome Ave.	Chicago	16	Under Construction	6/1/2023	\$36,000,000	General Contractor
IL	Park Boulevard Phase 3B	41 W. 36th Street, 42 W. 37th Street	Chicago	80	Under Construction	12/1/2022	\$32,000,000	General Contractor
IL	Broadview Senior Apartments	2111 S 17th Ave	Broadview	70	Under Construction	11/1/2021	\$15,000,000	General Contractor
IL	The Sheridan at Oak Brook	2055 Clearwater Drive	Oak Brook	200	Complete	8/1/2021	\$62,000,000	General Contractor
IL	Artis Senior Living Wilmette	335 N. Ridge Road	Wilmette	64	Complete	9/1/2020	\$19,000,000	General Contractor
IL	Clark-Estes Apartments	7044 N. Clark St.	Chicago	54	Complete	1/1/2020	\$13,000,000	General Contractor
IL	The Sheridan at Green Oaks	29330 N. Waukegan Rd	Lake Bluff	198	Complete	12/1/2018	\$42,000,000	General Contractor
IL	Artis Senior Living of Lakeview	3535 N. Ashland Ave	Chicago	136	Complete	10/1/2018	\$30,000,000	General Contractor
IL	The Sheridan at Park Ridge	501 Busse Highway	Park Ridge	100	Complete	8/1/2018	\$24,000,000	General Contractor
IL	Beacon Hill Renovation	2400 S. Finley Rd	Lombard	50	Complete	11/1/2016	\$18,000,000	General Contractor
IL	Lutheran Home Olson Pavilion	849 West Concordia Lane	Arlington Heights	240	Complete	9/1/2016	\$52,000,000	General Contractor
IL	The Sheridan at Tyler Creek	508 N. Mclean Blvd.	Elgin	96	Complete	7/1/2016	\$15,000,000	General Contractor
IL	Park Boulevard Phase IIB	3611 S Dearborn	Chicago	108	Complete	6/1/2015	\$32,000,000	General Contractor
IL	Covenant Village of Northbrook	2575 Techny Road	Northbrook	45	Complete	1/1/2015	\$29,000,000	General Contractor
IL	Prairie Green at Fay's Point	1546 West Water Street	Blue Island	120	Complete	12/1/2014	\$12,500,000	General Contractor
IL	Norwood Park Senior Suites	5700 N. Harlem Avenue	Chicago	84	Complete	11/1/2014	\$16,000,000	General Contractor
IL	Churchview Manor Preservation	2626 W. 63RD STREET	Chicago	60	Complete	5/1/2013	\$2,600,000	General Contractor
IL	The Mercy Homes for Boys and Girls	6853 S. Ridgeland Avenue	Chicago	20	Complete	2/1/2013	\$3,000,000	General Contractor
IL	Country Club Hills Wellness Center	4411 W. Gatling Blvd	Country Club Hills	77	Complete	9/1/2012	\$14,000,000	General Contractor
IL	Park Boulevard Phase IIA	17 W. 36th Street	Chicago	80	Complete	10/1/2012	\$32,000,000	General Contractor
IL	Senior Suites at Fay's Point I	13201 S. Ashland Ave	Blue Island	90	Complete	3/1/2010	\$13,500	General Contractor

Whether it's a home or multi-use facility, the context, the element that connects people together, is important. Canopy/ Architecture + Design, LLC (Canopy) lives to imagine, develop and create places where people live, meet, learn, and, ultimately, connect together.

Founded in 2009 on the principal that good design can be achieved in any context, Canopy's projects range from residential to commercial to planning and urban design. This broad scope is elemental to our practice - and successful for our clients - because our guideposts are not only embedded in the specifics of each market type, but also in the client and end user - the people who will inhabit, work and play in the environment we create.

Our firm brings over 80 years of professional experience in roles ranging from pre-development, community engagement, design, documentation, and construction administration.

In addition to building design we are experienced in the associated design areas of master planning, programming, building assessment, building envelope upgrades, renovation projects, interior design, landscape architecture, and community-based strategy/planning. Our combined strengths and evolving portfolio of successfully delivered projects demonstrate our collective design process and community engagement, all of which provides the foundation for positive impact in all of our work.

Every community has its own specific housing needs based on it's social context and demographics, but local policy and the project's financial structure also heavily influence a project's development. Our experience with past affordable housing projects provide us with a diverse range of experiences working under just as many diverse finance mechanisms and evolving public policies. Understanding these complexities, we successfully navigate the project through development with the ability to deliver quality of life improvements to affordable multifamily housing of any type or scale. It is our past project experience and valued relationships with the affordable housing community upon which we build each project's success one at a time.

1 Diverse Portfolio of Projects

Our portfolio contains examples of successful residential projects with both new construction such as; OSO Apartments and Encuentro Square demonstrating successful projects developed from ground up, but also successful occupied rehabilitation projects for multifamily affordable housing projects such as the Salud Center or Albany Terrace, and others.

Other project experience to highlight is our Urban Design and Master Planning projects exploring the relationship of development and its impact on community development and affordability. Projects such as Encuentro Square studies the economic impact the project could have on community development while also studying environmental solutions, such as storm water management, to site specific concerns.

2 Engagement with Affordable Housing Community

Canopy understands affordable multifamily housing project goals are often larger than what is stated on a client's brief. As a firm, we continually nurture relationships and build bridges with local stewards of affordable housing development. Our active engagement with the local affordable housing community within Chicago provides us with policy awareness at the different levels affecting affordable housing development. Close relationships with organizations such as the Illinois Housing Council help us stay in tune with policy changes occurring at the state level. We also volunteer with the Metropolitan Planning Council (MPC) in workshops where they develop reports highlighting the needs individual communities, as well collaboration and consistent communication with Illinois Housing Deveopment Authority, Chicago Housing Authority, and Department of Housing with a shared belief in the positive role architecture can play in community development.

Architect

180 W Washington St Suite 200
Chicago, IL 60602
(312) 763-8005
canopy-chicago.com

Main contact:

Jaime Torres Carmona
Principal and Founder
jtorres@canopy-chicago.com



Jaime Torres Carmona, AIA

Principal and Founder

Baker and Ryerson Fellow Jaime Torres Carmona is Founder and Principal of Canopy / architecture + design, LLC, an award-winning architecture and urban design practice based in Chicago. Recognized for his approach and sensitivity towards the end user, social impact and the environment, Jaime explores the role of design as a vehicle for positive change. Through projects ranging in scale from community and health centers to housing, schools, mixed-use buildings, and urban design, Jaime is drawn towards the urban and civic realm and its impact on the human experience.

Engaging in this approach, Jaime's firm has produced some of Chicago's most recognized neighborhood-based architecture, including the 1111 W. 16th Home (LEED Gold) in Pilsen, the Enlace Headquarters in the Little Village, the Newberry Park Apartments renovation in University Village, and the New OSO Apartments in Albany Park.



Vanessa Wiltshire, AIA, LEED GA

Associate Principal
QA/QC

Vanessa Wiltshire is an experienced project manager, architect, and designer with 12 years of experience in the field. In her previous roles, Vanessa worked with clients throughout the U.S. and in various parts of the world. Her previous work focused primarily in the commercial, retail, hospitality, and restaurant industry, with experience in LEED sustainable design and historic preservation.

Vanessa received her Bachelor of Science in Architectural Studies from the University of Illinois in Urbana-Champaign as well as a Master of Architecture from the School of the Art Institute of Chicago. Vanessa is a registered architect in the state of Illinois, a member of the American Institute of Architects (AIA), and a LEED Green Associate.



Armando Tobias, AIA

Associate Principal
Project Manager

Armando is an architect with over twenty years of experience providing the full range of architectural professional services. His career's work includes projects in the public and private sectors and span across numerous building typologies including higher education, institutional, K-12, corporate, and housing.

Armando has a career long interest in using architectural practice as a tool to positively affect social equity. To this effect, Armando has championed not-for-profits, affordable housing, barrier free design, and the Principles of Universal Design in his practice. He has presented his work at local and national conferences and is a recognized national figure in field of universal design.

Armando is a graduate of the University of Illinois at Chicago and holds a State of Illinois architectural license. He is also a member of the American Institute of Architects.



Andreea Micu, AIA, CDT

Project Architect

Joining Canopy in 2017, Andreea Micu is a licensed Illinois Architect, and has a passion for architecture that engages social and urban issues.

Originally from Romania, Andreea also grew up in Chicago and has previously lived in Barcelona where she attended ETSAV, Escola Tecnica Superior d'Arquitectura del Valles. She holds a Master of Architecture from the University of Michigan Taubman College of Architecture and a Bachelor's of Science of Architectural Studies at the University of Illinois Urbana-Champaign.

At Canopy, Andreea works on projects in all phases from programming, schematic design, construction documents, permit submission, and architectural visualizations. While working on various projects, Andreea continues to focus on sustainability, historic preservation, and research based design to develop solutions to architectural problems at all project stages.



Oso Apartments

Property Type: Affordable
 Size of site: 45,290sf
 Number of Units: 48
 Project Cost: \$11.5Million
 Completion Date: August 2019

OSO Apartments serves as a catalyst for innovative affordable housing in Chicago. This project was initiated as part of Chicago Housing Authority’s commitment to combating systemic housing displacement and extend to surrounding communities. OSO is a new construction, 5-story 48-unit affordable housing project in the Albany Park neighborhood.

Reference contact: David Block
 Director of Development, Evergreen Real Estate
 (312) 382-3259 | dblock@evergreenreg.com



Albany Terrace Apartments

Property Type: Affordable, Senior
 Size of site: 206,635sf
 Number of Units: 350
 Project Cost:
 Construction Start: 2020

The Albany Terrace Apartments, owned by the Chicago Housing Authority (CHA), is a senior apartment building offering affordable housing in Chicago since its construction in 1974. The building includes 350 residential units, along with amenities including a community room, sitting room, exterior patios. It is a 206,635 SF, 17-story (148 ft high) building, located on a 6-acre site.

Reference contact: Greg Olson
 Regional Vice President, Michaels Development
 (312) 4550 0502 | golson@tmo.com



Salud Center

Property Type: Affordable, Senior
 Size of site: 150,000sf - Number of Units: 101
 Project Cost: \$8Million
 Completion Date: 2020

The new Salud Center Project will provide renewed amenities and base building functions for 101 units of existing senior housing apartments in the South Chicago neighborhood. Preservation of Affordable Housing working alongside Claretian Associates as joint project partners will own and operate an 150,000SF building formerly owned and operated by the YMCA. Enhanced amenities will include new vegetative gardens, exercise pool, gymnasium, walking paths, and seating areas as well as a fitness center, multi-purpose room, interior lounges for senior tenants.

Reference contact: Claudia Rodriguez
 Senior Construction Project Manager, Preservation of Affordable Housing
 (617) 635-2438 | crodriguez@poah.org



Encuentro Square Apartments

Property Type: Affordable, Multi-Family, Mixed-Use
 Size of site: 127,820 sf area - Number of Units: 196
 Project Cost: \$30Million for (2) Phase 1 Buildings
 Construction Start: 2021

The new construction of 3 apartment buildings in the Logan Square neighborhood for a total of 196 units, as well as a 122 parking spaces, 19 overflow spaces and a public park. The site has been programmed to include a mix of 1-, 2- and 3-bedroom apartments reserved for households at or below 60% AMI, a community space, an early childhood family support program and a private courtyard featuring community gardens and play spaces.

Reference contact: David Block
 Director of Development, Evergreen Real Estate
 (312) 382-3259 | dblock@evergreenreg.com

Request for Proposals Naperville

State	Project Name	Primary Project Address	Project Municipality(ies)	Total Project Units	Project Status	Construction Complete Date
				832		
IL	Solo Towers - New construction	850 W. Blackhawk	City of Chicago	200	Complete	7/10/2007
IL	Palmolive Building - Renovation	919 N. Michigan	City of Chicago	99	Complete	8/10/2007
IL	1707 Racine - Renovation	1707 S. Racine	City of Chicago	3	Complete	12/10/2010
IL	821 Winchester - Renovation	821 N. Winchester	City of Chicago	2	Complete	12/15/2010
IL	NSP2 - 4744 Loomis - Renovation	4744 S. Loomis	City of Chicago	2	Complete	11/12/2012
IL	NSP2 - 4716 Throop - Renovation	4716 S. Throop	City of Chicago	4	Complete	12/7/2012
IL	1709 Racine - Renovation	1709 S. Racine	City of Chicago	3	Complete	11/10/2012
IL	3506 Wilson - Renovation	3506 W. Wilson	City of Chicago	6	Complete	1/20/2013
IL	1111 W. 16th - Renovation	1111 W. 16th Street	City of Chicago	2	Complete	11/1/2015
IL	111 Chestnut - Renovation	111 E. Chestnut	City of Chicago	1	Complete	11/5/2015
IL	8131 Maryland - Renovation	8131 S. Maryland	City of Chicago	6	Complete	4/3/2016
IL	1900 Loomis - New Construction	1900 S. Loomis	City of Chicago	4	Complete	10/10/2009
IL	1702 Dayton - Renovation	1702 N. Dayton Street	City of Chicago	3	Complete	10/10/2010
IL	4842 Ellis - Renovation	4842 S. Ellis	City of Chicago	2	Complete	12/10/2010
IL	Newberry Park Apartments	1353-1357 S. Blue Island	City of Chicago (with IHDA)	84	Complete	7/31/2016
IL	Congregation Mita - Renovation	1710 N. Central Park	City of Chicago	1	Complete	10/1/2018
IL	2121 N. Albany - Renovation	2121 N. Albany	City of Chicago	4	Complete	8/1/2017
IL	PFC Supportive housing - N. Lawndale	1428 S. St. Louis Ave.	City of Chicago	4	Complete	9/1/2018
IL	3333 West Pensacola - Renovation	3333 West Pensacola	City of Chicago	1	Complete	9/1/2017
IL	2929 N. Moody - Renovation	2929 North Moody	City of Chicago	1	Complete	7/1/2017
IL	5309 N. Berenice - Renovation	5309 North Berenice	City of Chicago	1	Complete	11/1/2017
IL	Anathoth Gardens - Evergreen	34 N. Keeler	Chicago (with IHDA)	40	Complete	7/1/2017
IL	TRP Casa Veracruz - Renovation	Multiple Sites (SW Chicago)	Chicago (with IHDA + CHA)	155	Under Construction	6/1/2021
IL	OSO Apartments - New Construction	3435 W. Montrose Ave.	Chicago (IHDA, CHA)	48	Complete	10/15/2019
IL	1630 W. Cullerton - Pisen LEED Homes	1630 W. Cullerton	Chicago	4	Under Construction	5/1/2021
IL	2128 W. Melrose - Single Family Home	2128 W. Melrose	Chicago	1	Complete	6/30/2018
IL	POAH Salud Center	3039 E. 91st	Chicago (IHDA, DCH)	101	Complete	9/1/2021
IL	FCC - Lawrence and Austin Apartments	6008 W. Lawrence	Chicago (with IHDA)	48	Under Construction	10/1/2022

Firm Qualifications - Association for Individual Development



Since 1961, The Association for Individual Development (AID) has served individuals with developmental, intellectual, physical and/or mental health challenges, those who have suffered a trauma and those at risk. Vital, life-enriching services that promote the highest level of independence and community participation include: autism programs; permanent supportive housing; in-home support; developmental and vocational training; job placement and on-the-job coaching services; crisis intervention; victims services; mental health treatment; behavioral intervention; health and wellness; community education; and advocacy.

Serving over 5,600 children and adults, AID operates community day centers in Elgin, Aurora, Batavia and Yorkville; mental health outpatient clinics throughout the Fox Valley; supports over 500 individuals living in their own apartments; and more than 200 individuals in group homes scattered throughout the greater Fox Valley. AID also administers the Ride in Kane paratransit program in partnership with RTA, Pace, Kane County, and local municipalities and social service agencies.

AID's mission is to empower people with physical, developmental, intellectual and mental health challenges to enjoy lives of dignity and purpose. They are a recognized leader providing best quality outcomes for individuals served in areas of housing, employment, community integration, health promotion, recovery and crisis prevention. AID serves more than 230 individuals in nearly

100 different community living sites.

In their Supported Community Living, intermittent services based on the individual needs of client.

Services Provided:

- Support in activities of daily living including: cooking, self-care, laundry, budgeting, housekeeping, etc.
- Community integration opportunities including: banking, shopping, barber/hair salon services, dining out, sporting events, etc.
- Support to develop socialization and communication skills.
- Transportation services that meet specialized needs of individuals served.
- Nursing services including assessment, and monitoring of medications.
- Registered Dietician develops menus and recipes to accommodate a variety of dietary guidelines.
- Mental health professionals and behavior analysts provide behavior support services including developing strategies to teach adaptive behavior replacement.
- Individual and group counseling services.

AID believes that people can live and work in their communities with the proper supports. AID strives to meet clients where they are and support them in moving where they want to be.

Developmental Disabilities Services

309 New Indian Train Ct.
Aurora, IL 60506
(630) 966-4000
aidcares.org

PRIMARY CONTACT
Lore Baker
info@aidcares.org



Lore Baker

President/ CEO

Lore Baker is the President and CEO of the Association for Individual Development, which provides serves to individuals with developmental, intellectual, physical, and/or mental health challenges.

Baker brings nearly 20 years of experience in services and housing for individuals with various disabilities. Prior to her tenure at AID, Lore was the Illinois Statewide Housing and Employment First Coordinator.

Firm Qualifications - Catholic Charities

Today, the agency employs over 250 persons and operates on a budget a little over 21 million dollars.

Catholic Charities is a diocesan agency and maintains close contact with the Bishop of Joliet. Catholic Charities is also governed by a Board of Directors.

The agency has grown tremendously in over 50 years. But the dedication of serving needy and vulnerable members of the community that was present 50 years ago is still present today and can be witnessed in any of the programs and services offered at Catholic Charities.

Aging & Disability Services at Catholic Charities offer Options Counseling, Information & Assistance, Care Coordination, Crisis Intervention and volunteer opportunities for older adults and persons with disabilities.

All services for older adults and those with disabilities are designed to encourage and support independence while protecting the participant's dignity. Catholic Charities works collaboratively with many organizations to accomplish this goal.



Service Provider

3130 Finley Rd. Suite 520
Downers Grove, IL
60515
catholiccharitiesjoliet.org

Primary Contact

Kathleen Langdon
(815) 774-4663 x3104
klangdon@cc-doj.org



Kathleen Langdon

Executive Director

Prior to serving as Executive Director of Catholic Charities, Diocese of Joliet, Kathleen was the Agency's Director of Development and Communications for the past eight years.

Not only does Catholic Charities provide basic needs to their clients, but they also help plan for the future. The Agency works with each individual and family to help break the cycle of poverty, and in her work at Catholic Charities in the past decade, Kathleen has witnessed this countless times.

Firm Qualifications - Manhard Consulting



Manhard Consulting (Manhard) is a full-service consulting civil engineering, surveying and land planning firm offering comprehensive professional services. Established in 1972, Manhard has been solving tough engineering challenges for nearly 50 years.

Manhard has worked with land development and real estate firms across the country, providing buildable solutions for multi-unit affordable housing, multi-family and single family residential homes, commercial and

mixed use developments nationwide. From small redevelopments to master planned communities covering thousands of acres, the engineering teams at Manhard Consulting can address land planning, entitlements, site optimization, traffic flow, site access, visibility, drainage, flood control, open space, landscape architecture, and other crucial issues for a successful development.

Civil Engineering

700 Springer Drive
Lombard, IL 60148
(312) 824.3801
www.manhard.com

Primary Contact
Kevin Coughlin
(312) 824-3801
kcoughlin@manhard.com



Kevin Coughlin, PE

Senior Project Manager
Associate Vice President



Diane Bouckaert, PE, CFM, CPESC

Stormwater Project Manager

Kevin is managing the major multi-phase Eastgate Crossing redevelopment project, involving extensive zoning and infrastructure planning and coordination with Naperville staff. He possesses a wide range of civil engineering and project management experience focused in land development, new development, redevelopment/brownfield projects including multi-family residential, commercial, and mixed-use. This design experience paired with significant bid and construction administration experience provides the foundation for well-rounded consulting on project life cycles. He has a track record of client satisfaction and projects executed on time and under budget.

With 25 years of experience in Stormwater Management, Diane is Manhard's Director of Natural Resources responsible for projects with stormwater related challenges. Working mainly in the Northern Illinois area, she has a keen understanding of the DuPage County's Stormwater Ordinance. She has successfully obtained numerous permits from the County, and maintains a good working relationship with key reviewing agents at the County. Finally, Diane currently serves as one of twelve Commissioners on the DuPage County Water Commission.



McDowell Point Senior Apartments

Size of site: +/- 7.4-acres
Number of Units: 74
Project Cost: \$63M
Completion Date: In construction, June 2023
TWG Development; Michael Taft, Development Associate; (312) 264-1833



East Gate Crossing (Formerly Ogden Mall)

Size of site: +/- 22-acres
Project Metrics: New Costco, Dollar Tree, CVS & Multi-Restaurant Building
Project Cost: \$75M
Completion Date: 3-phases 2009-current
Newcastle Properties, Sean Devine, Sr. VP, (847) 685-9800; sean@newcastleproperties.com



TOPGOLF - Naperville

Size of site: +/- 13-acres
Project Metrics: 65,000 s.f. entertainment complex.
Project Cost: \$18M
Completion Date: 2015
ARCO/Murray National Construction Co.
Emika Marinacci, Project Manager (331) 251-2726 emarinacci@arcomurray.com

Firm Qualifications - CE Anderson

C.E. Anderson & Associates, PC was established in 1995 as a full-service structural engineering consulting firm, benefiting the architectural community. Our firm prides itself in the distinctive education and experience in both architecture and structural engineering of our staff. This background provides us with an appreciation of the unique needs of all disciplines involved in the building design process. The result is innovative, cost effective and collaborative solutions to complex structural and architectural challenges.

Our clients appreciate our ability to be sympathetic to both aesthetic requirements and program functions in designing structures. In addition to the two licensed architects in the office, all of the engineers have a strong background in architecture. Because of this background, we are able to offer suggestions for architectural detail development as well as

simplification. Our dual education enables us to conceive and develop the most appropriate solution for the architectural challenges we encounter. Our project involvement, beginning in conceptual design phase, assists our clients in developing architecturally pleasing, yet realistic, constructible, and cost effective designs.

Our project experience is varied and extensive, with experience in the design of high-rise and low-rise structures. We have provided structural engineering services on educational facilities, numerous municipal buildings, hospitals, medical research facilities, commercial office buildings, retail buildings, restaurants, condominiums, multi-family housing projects, churches, hotels, and banks. We analyze each project to determine the most appropriate building material for the required function, aesthetics and budget.

Structural Engineer

175 N Franklin St Suite 410
Chicago, IL 60606
312.279.1185
cea-se.com

PRIMARY CONTACT

Chuck Anderson
ceanderson@cea-se.com
(312) 492-4761



Charles E. Anderson
S.E., P.E., AIA

President

Chuck has over 45 years of experience in structural engineering, architectural design, building construction and project management. He began his career with Perkins & Will upon graduation from the University of Illinois at Urbana-Champaign, with a Bachelor of Architecture Degree, and a Master of Science in Architectural Engineering. He founded CE Anderson & Associates in 1995. He is a licensed Structural Engineer and Architect in the State of Illinois as well as a licensed Professional Engineer in 26 states.



Michael S. Fagerson
S.E.

Senior Project Engineer

Mike has over 20 years of experience as a structural engineer. He is a May 2000 graduate from the University of Illinois in Urbana-Champaign where he earned his Bachelor of Science in Architectural Studies followed by a Master of Architecture with a concentration in structural engineering. Mike joined C.E. Anderson & Associates in 2000. Since that time, he has been involved on a variety of projects including retail, residential, office, educational, healthcare, and government facilities.



Oso Apartments

Property Type: Affordable, Multi-Family
Size of site: 45,290sf
Number of Units: 48
Project Cost: \$11.5Million
Completion Date: August 2019
With Canopy / architecture + design, LLC.



Lawrence and Austin Apartments

Property Type: Affordable, Multi-Family
Size: 48,000sf
Project Cost: \$12.9Million
Completion Date: 2021
With Canopy / architecture + design, LLC.

Request for Proposals Naperville

Firm Qualifications - MEPIS



MEPIS is a full-service architecture & engineering firm with combined expertise in Architecture, Mechanical, Electrical, Plumbing, Fire Protection, Technology, Acoustics and Infrastructure Solutions. MEPIS is an evolving brand that believes in “reverse engineering” with fundamental excellence in healthcare facilities. We are a Company committed to long-term partnership and commitment.

innovative designs for new construction and renovation projects. We ensure comprehensive investigations for existing systems, while utilizing individualized solutions per project, reinforcing the MEPIS commitment to reverse engineering and unlimited design potential.

MEPIS recognizes that learning and understanding the owner’s building systems is critical to successfully implementing

When working with MEPIS you can rely on proven experience, extensive knowledge/innovation, and out-of-the-box creativity to bring clients a new level of engineering excellence.

MEP Engineer

36 S. Wabash Ave. | Suite 310, Chicago, IL 60603
312.279.1185
www.mepisinc.com

PRIMARY CONTACT

Santos Torres
storres@mepisinc.com
(312) 279-1184



Santos A. Torres

Principal in Charge
Founder & CEO

Mr. Torres is the Founder & CEO of M.E.P. Infrastructure Solutions, Inc. (MEPIS). Mr. Torres’ responsibilities include develop new business, manage projects and staff, design, review and ensures quality of multiple complex projects. He also directs the strategic planning and implementation of all business growth and development campaigns. He has over 30 years of engineering experience with the last seventeen spent integrating technical disciplines and managing complex designs for Hospitals, Universities, Research Facilities, Corporate, Institutional, Civic, Municipal and Hospitality and Industrial clients throughout North America for both new construction and renovation projects.



Douglas Brewer

Project Manager

Mr. Brewer is the Vice president of Operations at M.E.P. Infrastructure Solutions, Inc. (MEPIS). He is a degreed Mechanical Engineer with over 35 years of professional experience in the building design and construction industry. He has a thorough knowledge of all building systems and components but specializes in MEP systems.

He has a proven track record of building cohesive teams and providing overall leadership, vision, strategic planning, business development and operations for growth-oriented businesses while providing high quality services and personal attention to details and the clients.



Taylor Street Library & Apartments

Size of site: 16,000 GSF public library, 2 2,000 GSF of retail space, and 3 new 7-story, 88 units
Number of Units: 88 Units
Project Cost: \$32,000,000
Completion Date: May 2019
Reference contact/ Owner: Patrick Jasha Clay | Skidmore, Owings & Merrill, LLP



Roosevelt Square Housing

Size of site: Two story units 1,870 GSF, three story units 2,500 GSF
Number of Units: 23 units
Project Cost: \$12,000,000
Completion Date: May 2018
Reference contact/ Owner: Nicol Chrvenak | Related Midwest

Firm Qualifications - McKay Landscape Architects



McKay Landscape Architects was founded by Michele McKay in 1982. We are certified as a Women's Business Enterprise, practicing throughout Illinois, Michigan and Indiana.

Our practice is focused on affordable, supportive and senior housing; non-profit institutions; and private residences. Almost all of our projects include green infrastructure and ecological planting design. We have been the lead landscape designer for many LEED projects and are experienced participants in large scale projects involving well-coordinated teams of consultants. Our approach to the design of a

project involves in depth discussion with the client to determine vision, program needs, budget considerations, cultural influences and aesthetic.

We believe that the environment that a person experiences on a day to day basis is of the greatest importance to his or her mental and physical health and wellbeing. Particularly in a city, green spaces are critical for the oases they provide from the built environment and for their therapeutic value. It is our goal to create beautiful green spaces that are socially and environmentally responsible.

Landscape Architect

5215 N Ravenswood Ave #306
Chicago, IL 60640
(773) 561-1227
mckaylandarch.com

PRIMARY CONTACT

Mimi McKay
mimi@mckaylandarch.com
(773) 561-1227



Michele McKay

Founder

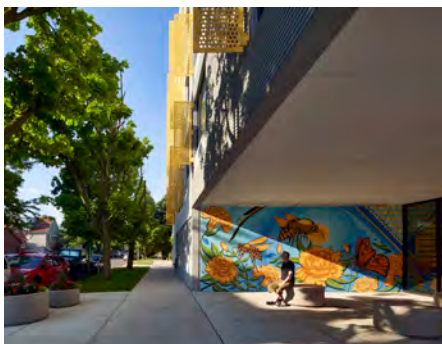
A member of the ASLA's Council of Fellows, Mimi McKay has been nationally recognized for her contributions to landscape architecture and society at large. In over three decades of private practice, Mimi McKay has transformed socially and environmentally challenging sites into productive landscapes, places of food production and catalysts for social interaction and community building.



Dana Kraus

Project Manager

Dana Kraus is passionate about creating healthy landscapes for communities and ecosystems. At McKay Landscape Architects, Dana has worked on various housing projects, schools and other institutional facilities. She has experience with large scale projects involving many other consultants and is a team player. She is completely fluent with LEED requirements.



Oso Apartments

Property Type: Affordable, Multi-Family
Size of site: 45,290sf
Number of Units: 48
Project Cost: \$11.5Million
Completion Date: August 2019
With Canopy / architecture + design, LLC.



City Gardens

Size of site: 3.1 acres
Number of Units: 76 units
Project Cost: \$21m
Completion Date: 2016
Reference contact/ Owner: Greg Olson,
The Michaels Organization



Southwick Place

Size of site: 2.6 acres
Number of Units: 40
Project Cost: \$8m
Completion Date: 2015
Reference contact/ Owner: Eric Huffman,
Over the Rainbow

Firm Qualifications - Tom Bassett-Dilley Architects



Tom Bassett-Dilley Architects, Ltd. was founded in Oak Park, IL in 2006 to pursue sustainability as place-based contemporary design. Tom brings over 30 years of architectural experience to the firm's work and mission, which is to affect positive change by creating beautiful, efficient, and healthy environments. Past projects include many certified LEED, Passive House, Source Zero (net zero energy) and DOE Zero Energy Ready Home projects. TBDA is the leading Passive House practitioner in the Chicago area.

As an Architecture 2030 Signatory, TBDA is committed to a carbon-neutral building

sector by 2030, bringing this mission to bear on project types ranging from historic renovations to new buildings, both residential and commercial/institutional. We're proud to have met the ambitious energy reduction targets portfolio-wide in the last three reporting years.

In addition to full architectural services, TBDA provides Passive House (Phius) energy modeling consulting services to firms pursuing PHIUS certification, whether as a stand-alone certification, or as a path to meeting the Illinois Clean Energy Community Foundation Net Zero Building Grant program.

Energy Modeler, PHIUS Certification

216 Harrison St
Oak Park, IL 60304
tbdarchitects.com

Primary Contact

Tom Bassett-Dilley
(708) 434-0381
tom@tbdarchitects.com



Tom Bassett-Dilley, AIA

Principal, CPHC

Qualifications / Memberships:

Registrations: Licensed Architect, California 1994, Illinois 2003
Certified Passive House Consultant, 2011
American Institute of Architects, Chicago Chapter, since 2001
Passive House Alliance, Board Member, since 2011
Member, Illinois Green Alliance (formerly USGBC-IL), since 2012



Denny Burke, AIA

Project Manager, CPHC

Qualifications / Memberships:

Certified Passive House Consultant, 2021
Registrations: Licensed Architect, Illinois since 2015
American Institute of Architects, Chicago Chapter, since 2018
National Council of Architectural Registration Boards, since 2015



Austin Gardens Environmental Education Center

Size of Building: 2,332 SF
Certifications: LEED Platinum
ILFI Net Zero Energy
Completed: 2020
Reference: Chris Lindgren
Park District of Oak Park



OPRC 7 Van Buren

Size of Building: 43,733 SF
Number of Units: 44
Certifications: PHIUS+ 2018 (pending)
Illinois Clean Energy Foundation Zero Energy Building Grant
Status: In Permitting
Reference: David Pope
Oak Park Residence Corp.



Carroll Center

Size of Building: 9,500 SF
Certifications: PHIUS Source Zero Energy
PHIUS+ 2018
Illinois Clean Energy Foundation Zero Energy Building Grant
Completed: 2016
Reference: Chris Lindgren
Park District of Oak Park

Firm Qualifications - EcoAchievers



With offices in Chicago and Detroit, Eco Achievers supports project teams throughout the Midwest, and across the country, in achieving their green building goals. Our peer network has also crossed international borders as we've partnered with colleagues in Mexico, Latin America, and the Caribbean to expand the presence of high-performance buildings around the globe.

experts across the residential and commercial building spectrum. Since 2002, we have been providing enhanced code and performance testing, green building certification, and green finance consulting for residential projects, large and small. Our experience on hundreds of homes and multi-family buildings makes us uniquely qualified to assist on any residential green building platform, affordable or market rate, from design through successful completion.

Eco Achievers' team consists of efficiency

Environmental Consultant

1647 W Fulton St
Chicago, IL 60612
ecoachievers.com

Primary Contact

Lindsey Elton
(248) 310-7808
lindsey@ecoachievers.com



Lindsey Elton

President



Jamie Carr

Vice President

Lindsey Elton is certified in advanced building science and building diagnostic testing. She started her career with the Chicago Green Homes Program, then moved to the HEET Weatherization Program, which provided workforce training and weatherization improvements to lower-income homes throughout Chicago. Lindsey currently oversees client services and company-wide project management, supporting teams in the design, development, and construction of high-performance, healthy buildings. Lindsey is a credentialed LEED for Homes Green Rater, RESNET and ENERGY STAR Rater, NGBS Verifier, and PHIUS+ Rater/Verifier and Certified Passive House Consultant (CPHC).

Jamie Carr assists developers, architects, and contractors in accessing financing incentives and meeting regulatory requirements tied to green building. He has extensive prior work experience in multifamily architecture, multifamily real estate development, and green construction. Jamie directs company operations and uses his skills as an NGBS Master Verifier, PHIUS+ Certified Builder, LEED AP BD +C, Green Globes Professional, and other credentials to help guide project teams through the intricacies of construction details, HVAC design, and certification compliance.



Creekview Senior Apartments

Size: 22,000 sf
1 Building, 25 units
Completed: Spring, 2018
Reference:
Lindsey Haines -
Full Circle Communities, Inc.



Alden of Huntley

Size: 15 Acre Campus
4 buildings: 16 villas (3 buildings), 64 MF units (1 building)
Completed: Winter, 2017
Reference:
Beth Demes - Alden Foundation
beth@aldenfoundation.org

Firm Qualifications - Kretchmer Associates



We're a WBE-certified business that delivers comprehensive service and data-driven advice. With extensive experience in affordable, senior, and market-rate housing - as well as across the commercial, retail, and industrial sectors - we help public, private, and non-profit clients obtain approvals, secure financing, and enhance marketability. Working to your deadlines, we can help you with:

- Real estate project feasibility analysis
- Business district and commercial corridor strategies
- Real estate development and redevelopment strategies
- Community planning and zoning
- Economic development strategies
- Transit-oriented development planning
- Consumer research and surveys

For the Naperville project, Kretchmer performed an initial analysis of the property based on the information provided so far to help understand the market demand for

affordable senior apartments in southwestern Naperville, near the intersection of 103rd Street and Illinois Route 59. The property will be geared to serve those with incomes less than 30%, 50%, and 60% of the AMI.

The unit mix of one- and two-bedroom apartments is appropriate for the target population, the apartments are well sized, and it will be located in a desirable community. They will be affordable to the target population. Naperville only has three affordable senior properties, and two of these are Section 8 only, not mixed income like the proposed development. Only one other is mixed income, and a portion is older (though recently renovated). Occupancies are strong, and there are wait lists. Our demographic analysis indicates that Naperville can support more than the number of units planned.

In summary, we think there is a market for your proposed development and that it would serve a need that exists in Naperville.

Market Analysis Consultant

807 Davis St #2004
Chicago, IL 60201
kretchmerassociates.com

Primary Contact

Valerie Kretchmer
(847) 864-8895
vsk@kretchmerassociates.com



Valerie Kretchmer

President

Valerie is a real estate and planning consultant with 40+ years of experience. Particular expertise in real estate market analysis for affordable, and market-rate housing, senior housing, retail, office, and industrial development. Formerly responsible for acquisitions and due diligence market analysis for real estate investments nationwide. Served on Evanston Plan Commission for 7 years and as public member of city TIF Joint Review Board.



Ryan Holmes

Project Manager

Ryan is an urban planner with 11 years of public & private experience. Conducts market studies for market rate, affordable, supportive, & assisted housing for families, seniors, & people with special needs. Analyzes retail, office & industrial markets for comprehensive, downtown, corridor & economic development plans for municipalities, regional planning and transportation agencies.

Senior Housing Needs Assessment for Five Chicago Suburbs

Prepared analysis of existing senior housing and future needs in five northwest suburbs - Arlington Heights, Buffalo Grove, Palatine, Rolling Meadows and Mount Prospect. Determined the number of new units by type and income target for each.

Market Studies for New Residential Developments

Studies for market-rate and affordable apartments, condos, townhouses, single-family homes and senior housing for developers, lenders, public housing authorities, state housing finance agencies, and municipalities throughout the Midwest.

Homes for a Changing Region - Housing Analysis for Three Chicago Suburbs

As part of a regional housing initiative, analyzed current issues and future housing needs in Hanover Park, Glendale Heights and West Chicago. Focused on each town's key concerns with recommendations to deal with them.

Firm Qualifications - Baker Tilly



The affordable housing services team's primary objective is to assist clients in financing and developing quality affordable housing. Your engagement team provides financial advisory services to private and public sector developers, owners, managers and affordable housing financing institutions in both rural and urban markets.

plans and assist in determining the appropriate level of participation.

We implement a transaction-oriented service approach. Our team will help the Authority structure – and close – market-proven transactions. In addition, we will bring innovative and creative ideas to address challenges such as financial risk, credit quality and regulatory barriers.

The development will benefit from Baker Tilly's experience in assisting clients through each stage of the LIHTC development process. We prepare the preliminary development and operating budgets, apply for and obtain tax credits, structure and negotiate financing terms with lenders, investors and other stakeholders. Baker Tilly's specialists are experienced with obtaining many layers of financing and they understand the complexity of compliance that comes with using mixed and tax credit financing. The table below highlights our recent affordable housing activity.

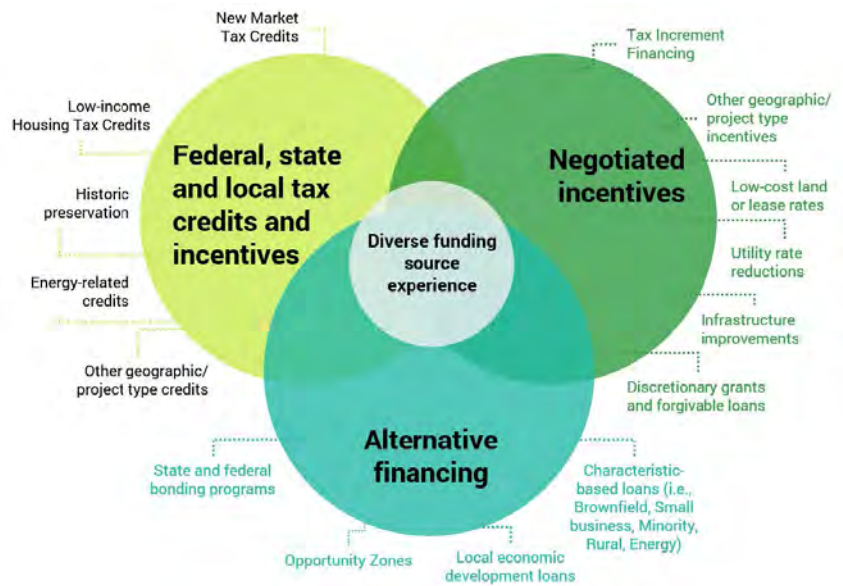
Our firm's ability to secure funds for housing authority projects using various competitive funding programs at the federal, state and local levels is evidenced by our success with the following programs.

Financial and Transaction Consultant

205 N Michigan Ave
Chicago, IL 60601
bakertilly.com

Primary Contact
Don Bernards
(608) 240-2643
donaldbernards@bakertilly.com

We provide various services to public sector clients pursuing development projects including analyzing project components, reviewing financing alternatives, implementing financing plans and reviewing the performance of completed projects. Alternatively, public sector clients may pursue a public/private partnership approach to affordable housing development. In these cases, Baker Tilly will evaluate developer proposals and financing



Don Bernards

Partner in Charge - Affordable Housing Team

Don Bernards has been active in the industry for more than 24 years. Don works with public housing authorities, not-for-profit and for-profit sponsors of affordable housing projects across the nation. He provides solutions and strategies from project conceptualization to applying for scarce resources and advising on various debt, equity, and grant options. In addition, as LIHTC projects approach year 15, Don advises clients on exit strategies, including resyndications. Don also volunteers his time as chair of the Affordable Housing Fund Committee for the United Way of Dane County, which is receiving donations to build a revolving loan fund to provide subordinate gap financing for affordable housing projects throughout the county.



Chris Tritsis

Senior Managing Director - Real Estate Transactions Service Team

Chris Tritsis is a seasoned professional with more than 20 years and \$4.4 billion worth of comprehensive development experience. He provides advisory services on real estate transactions that typically involve tax incentives such as the LIHTC, tax-exempt bonds, HOME, CDBG, seller financing, FHLB, trust fund or others. Services include reviewing financial feasibility of transactions, layered financial structuring and modeling, preparing and consulting on various tax credit and soft funding applications, securing equity and debt, reviewing relevant legal documents, and providing technical or strategic consultation.

Mercy Housing Inc.

The organization's overall financial health is a direct reflection of its ongoing support in creating affordable housing through such activities involving, development, financing, and operations. The consolidated picture of Mercy Housing's financial strength is strong, as evidenced by our audited financials. These financials include its major affiliate regions in California, Lakefront, Northwest, Southeast, and Mountain Plains as well as its Community Development Financial Institution (CDFI), Mercy Community Capital, that exclusively serves affordable housing communities.

Mercy Housing has seen a steady increase in cash and cash equivalents over the past five years as the organization continues to experience substantial growth, with preliminary year end financials estimating this amount to be near \$100m for 2020. While a good portion of this cash gain has been directly related to major transactions, such as sale proceeds on sold properties and resyndication deals, it is heavily supported through several revenue sources; including rent revenue of \$277m, developer fee income of \$25m, fundraising revenue of \$24m and capital grants of \$25m.

Parallel to this movement, during 2020, Mercy Housing has also encountered increased expense as it relates to compensation and administrative costs of \$152m associated with hiring and onboarding new staff members across the organization.

Other major expenses would include facility costs of \$94m and depreciation and amortization expense of \$129m, that are primarily connected with the property and operations department, as this is the core function of the organization. The net income derived from this activity can vary year to year, depending on numerous factors (development pipelines, project funding, property management, government regulations, etc.).

Mercy Housing has been fortunate to experience increased profitability for most years, expecting to report an estimated net income of \$34m, which bodes

well for the organization's ability to continue its mission and expand its outreach to additional communities in need.

It is important to note that the spread of COVID-19 has had a significant impact on the organization, as it has required Mercy Housing to prioritize its staff-time and resources in unique ways to center on the health and wellbeing of its residents and staff. There has been a tremendous amount of support from the organization and its partners to provide rental assistance, as well as additional residential services, for tenants that have experienced a decrease of income and/or unemployment.

In looking forward, Mercy Housing has set forth a hefty strategic plan for the years to come and anticipates further expansion of its portfolio and all subsequent events that could be included with such progress. The financial stability of the organization is promising, and persistent evaluation of this standing will be ongoing as Mercy Housing moves forward with its mission.

Mercy Housing Lakefront

Mercy Housing Lakefront as the owner of the development is an IL non-profit and also affiliate/business unit of Mercy Housing Inc. (MHI) a national non-profit housing developer and owner. Mercy Housing Lakefront (MHL) is proud to own and operate 52 properties with more than 5,500 units serving more than 8,000 residents in Illinois, Indiana, and Wisconsin. Please find the cover page to the 2020 audit for MHI which summarizes our organizations relationship with MHL and highlights our individual strength in terms of cash and assets. We utilize and work under MHI to be a strong yet nimble developer of affordable and well managed and in position to leverage the highest investment of tax credit equity and to secure best terms for the long term debt needed for low income housing tax credit transactions.



Memorandum

Date: April 26, 2021
To: All Interested Parties
From: Mark Angelini, President
Regarding: Mercy Housing Lakefront 2020 Audited Financials

Mercy Housing Lakefront's 2020 audit is included within the full Mercy Housing, Inc. consolidated Financial Statements. The majority of the 295-page audit of Mercy Housing, Inc. does not apply to Mercy Housing Lakefront, as such, we have included only our auditor's unqualified opinion and pages 150-174 containing the Mercy Housing Lakefront consolidating financial results for your review.

Mercy Housing Lakefront ended the year with no assets in unrestricted cash and cash equivalents. Mercy Housing, Inc. (MHI) nationally, including all geographic business centers and over 300 properties nationwide, ended the year with \$101.6MM in cash and cash equivalents and is able to support the cash needs of Mercy Housing Lakefront's operations. As of December 31, 2020, Mercy Housing Lakefront had \$22,597,653 in total net assets.

In order to achieve cost and administrative efficiency, MHI acts as a custodian of cash for Mercy affiliated corporate entities. Cash and cash equivalents and restricted cash is held within MHI controlled bank accounts. Restricted cash is used for donor intended purposes only. As of December 31, 2020 Mercy Housing Lakefront had \$ 3.3MM in restricted cash held on call at an MHI controlled bank account.

Mercy Housing Lakefront had a surplus in 2020. Services revenue was approximately \$2MM higher in 2020 than in 2019 due to an approved cap that was lifted on distributable net cashflow with HUD approval. The increase represents a onetime payment because reserves have been growing over the life of the impacted properties. Other revenue includes approximately \$5.7 MM related to the re-syndication of the Major Jenkins Apartments. Other transfers to (from) net assets include a repayment to MHI for infusing cash into MHL's Lofts on Arthington project during construction.

If you wish to obtain a full copy of the audit, or if you have any additional questions about the audit, please call Fatmah Farraj, Vice President of Operations, at 312.447.4535.

120 South LaSalle Street, Suite 1915, Chicago, Illinois, 60603
Ph: 312-447-4500 Fax: 877-228-5662

Financial Capacity

Mercy Housing Lakefront is an experienced and financially capable affordable housing developer and owner. Within the RFP we have included our latest developer experience form completed for our last IHDA submission which provides a listing of all Illinois development project experience. Following you will find a listing of some Credit References for our experience and capability to secure financing and execute complex affordable housing transactions.

Mercy Housing Lakefront Credit References:

Debbie Burkart

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Track record of award and completion of low-income housing tax credit development:

Mercy Housing Lakefront has a proven track record for obtaining awards and closing Low Income Housing Tax credit transactions. The following is a list of completed properties all financed with Low Income Housing Tax Credits that Mercy solely developed and currently own as example of track record to execute similar type/size projects. Not reflected in this list below is our 2020 LIHTC year award of 9% IHDA LIHTC's for preservation of 68 units of permanent supportive housing in the uptown community of Chicago. The Carton Apartments is under construction and will be complete summer of 2022.

Miriam Apartments (9% LIHTC)

Rehab , Permanent Supportive Housing
66 Units
TDC - \$20,514,608
Placed in Service 4/2020

River Station Senior Housing (9% LIHTC)

New Construction, Senior
70 Units
TDC - \$16,439,405
Placed in Service 10/2017

Lofts on Arthington (4% LIHTC)

Rehab, Multifamily
181 Units
TDC - \$63,269,067
Placed in Service 3/2017

Greenwich Park Apartments (9% LIHTC)

New Construction, Multi-Family with Integrated Permanent Supportive Housing and Market Units
53 Units
TDC - \$13,830,399
Placed in Service 10/2016

Cannon Place (9% LIHTC)

New Construction, Veterans Supportive
65 Units
TDC - \$17,585,622
Placed in Service 1/2017

Pullman Wheelworks (4% LIHTC)

Rehab, Multifamily
210 Units
TDC - \$30,136,000
Placed in Service 8/2013

Lakefront Residences of Grayslake (9% LIHTC)

New Construction , Senior
100 Units
TDC - \$20,800,099
Placed in Service 10/2012

Legal Action Narrative

12/10/2021

City of Naperville
Joe Catalano
Naperville Municipal Center
400 South Eagle Street
Naperville, IL 60504

RE: Naperville RFP 21-315 - Mercy Housing Lakefront Submission

Pursuant to RFP 21-315 submission requirements, this letter certifies that Mercy Housing Lakefront (MHL) has not been involved with any legal actions over the last 36 months in connection with the issues below.

1. A debtor in bankruptcy; or
2. A defendant in a lawsuit for deficient performance under a contract or violation of a statute or related to service reliability; or
3. A defendant in an administrative action for deficient performance on a project or violation of a statute or related to service reliability; and
4. A defendant in any criminal action. Please feel free to contact me if there are any further questions or further information is required.

Sincerely,



Mark Angelini
President
Mercy Housing Lakefront

The overall vision for the site is a space that encourages interaction with the outdoors, speaks to the existing architectural vernacular of Naperville, and sponsors a tranquil yet enlivening community for seniors and individuals with intellectual and developmental disabilities.

Upon pulling into the site, residents and visitors will be greeted by an inviting lobby, nestled between the front and back courtyard with open window walls that visually draws the eye through the space. First floor amenities include a fitness room, laundry room, communal kitchen, administrative office space, and an activity room. There is a covered porch for residents to sit and look out onto the courtyard, visit with each other.

Overall, the building has eighty-two 1-bedroom and fourteen 2-bedroom units. The central 4-story building with solar panels is denser, meant to emulate an activated urban feeling, and its flanking 2-story and 3-story buildings with gabled roofs with shared 2nd story porch and individual balconies, respectively, a more suburban vernacular.

In order to preserve Naperville's architectural heritage, our design is guided by the recommendations outlined by the Naperville Building Design guidelines. This includes contextually matching the surrounding neighborhood area with building mass transition - 3 different heights throughout the one building, arranged to frame a central courtyard. The building façade has articulation through window and balcony placement - which serves to break down the overall scale of the building and creates a rhythm within the large overall building mass. With the architectonics of windows and materials, the result is a blending of suburban tranquility and urban energy - with a site that contains these guidelines with a density more often seen in urban environments.

In considering the overall design, we wanted to create a resident experience centered around three key core principles:

1. Health and Wellness

A top priority of this project is to ensure the health and wellness of its residents in a variety of contexts: social health and connectivity, physical fitness, safety and comfort. Cultivation of strong community can be achieved through ample small and larger-sized gathering

spaces. The property will have a range of communal areas for different types of interaction - common areas with both active and quiet spaces. There will be a space for residents to meet with their families separate from the central living area as to increase privacy and safety. A central shared space for mailboxes, message boards, etc. encourages small amounts of social interactions. These common areas will be near one another to share a high degree of connectivity. In addition to these opportunities for social exchange, there will also be places for privacy and solitude, transitional spaces for benches and quiet nooks in the halls and shared spaces.

To promote physical health, the site includes a walking path and fitness room, and a healing garden that serves as a place of refuge and retreat.

The building's finishes will create a homey atmosphere which will promote feelings of safety and comfort within the space. This consists of comfortable seating, neutral finishes, integration with the surrounding landscape, etc.

2. Designing for Everyone

Seniors and people with Intellectual and Developmental Disabilities (IDD) will benefit greatly from a built environment that is universally accessible, secure, and familiar. The proposed design will meet local and state accessibility codes and comply with mandated federal regulatory standards. Beyond such minimum requirements, the proposed design will draw elements from the Principles of Universal Design to foster inclusivity and independence for residents, visitors, and staff. For residents with IDD and for others that need added support with daily living, the building layout will maintain clear and intuitive lines of sight while centered around a secured site surround.

Circulation to and through the building will be intuitive and will use framed views to the various exterior spaces as visual anchors. The arrival sequence to the building will feature clear sightlines through the entrance of the building to the west court. The linear circulation in each building wing, each terminating with openings with views to the exterior, will serve as natural place marking for orientation. On the ground floor, communal areas will face the west court.

A covered porch facing the courtyard and the entry canopy will serve as interstitial space to ease light adaptation

for residents as they exit the building. Interior finishes will be soft and absorbent of sound reverberation. Built in wayfinding methods using low-glare surfaces and placement of visual cues will be implemented. Lighting will be indirect and will avoid glare on hard surfaces.

The security, safety, and ease of the residents and staff is of utmost importance. The project will have a central monitored entry point, secured doors, and a security camera system. The interiors palette will be neutral and rely on visual cues to provide orientation and familiarity. The scale of the building, in three sections, will result in densities and spaces that are not overwhelming and easier to navigate. Transitional spaces like the exterior porch or elevator lounge lobbies will provide spaces for residents with special needs to decompress and transition from one activity space to another.

The west exterior court will provide privacy for exterior activities and the amenities located there will provide opportunities for socialization for residents. As the court will be bounded on three sides by the building, it is also designed to be a safe zone away from the primary vehicular access roads. The walkway system will connect this exterior area with the north walking paths. Along exterior walking paths, healing gardens and a constructed wetland will provide a variety of calming sensory triggers for visitors.

Accessible apartment units will comply with applicable local and state codes and federal regulations. Beyond that, apartment units will feature private balconies with zero-level floor transitions. Controls that are easy to use for doors, appliances, and even light switches will be utilized. Ground surfaces will be firm, to allow wheelchair wheels to roll easily but soft enough to absorb ambient sound and footfall noise. Roll-in showers will be considered and sized to accommodate a resident and, as applicable, their assistant.

The project design's application of universal design principles is a key benefit for seniors and people with IDD. Subtle environmental design elements like intuitive place marking, quality of light, and regulating sensory triggers will be integral and non-institutional. The design will champion individuals' dignity and will endeavor to provide everyone, regardless of their physical or cognitive ability, the same and best use and enjoyment of the premises.

3. Sustainability

A key principle of any design is emphasis on improved energy performance to deliver the benefits of healthier, more comfortable indoor living environments. Our approach focuses on three principal categories: Health and Safety (indoor air quality), Air Sealing and Insulation (integrity of the building envelope), and Mechanical Systems. By understanding the relationship between these three, we can determine cost effective strategies based on where optimum energy efficiency savings can be achieved. The building construction will use durable materials for flooring and finishes to ensure longevity. With two additional subconsultants, our team is well-equipped to make this project as sustainable as Tom Bassett-Dilley Architects for Passive House consulting primarily during design stages and Eco Achievers for third-party green certification and blower door testing during the construction phase.

Phius (Passive House Institute US) is a rigorous building energy standard which requires careful design and quality-assured execution. Its principles are simple—to reduce wasted energy through a well-insulated building, and then to use efficient mechanical systems, appliances, and fixtures to ensure low energy use. An energy model helps design teams find optimal amounts of insulation and performance levels of windows and mechanical systems particular to the local climate and site. Hallmarks of Phius buildings are great comfort (cold spots and drafts are eliminated), excellent air quality (an energy recovery ventilation system exhausts stale air and provides fresh, filtered air to bedrooms and living spaces), and very low energy bills. The Phius approach is regarded as a cost-effective way to reduce energy while increasing quality of life.

The proposed design concept fits well with the Phius approach: the natural density of the building means insulation levels only need be slightly above code requirements, but this optimization means that the HVAC systems can be significantly smaller than typical. An important part of optimizing the thermal envelope is the window-to-wall ration, and Canopy's concept is an excellent starting point. Essentially we find multifamily projects to be a natural fit with Phius.

Design Considerations - IDD and Senior Resident Experience

Design Considerations

Adults with IDD

Seniors

- Clear Signage
- Sense of “home”
- Using half-walls, cut-out to allow IDD folks ability to preview a space before entering
- Clearly defined spaces per function
- Change of material/color to signal change of use

Familiarity/Clarity

- Clear Signage
- Homelike Imagery
- Local Tradition (per demographic) such as front porch, gardens, grilling areas

- Places for activity
- Secure locking of doors, presence of front desk
- Space for physical movement such as jumping/pacing. Width of halls, and rooms will accommodate
- Social interaction through gardens, communal areas
- Accessibility through universal design
- Durable materials
- Community kitchen
- Bicycle parking, picnic tables

Health and Wellness

- Places for gathering and activity (communal kitchen, fitness room, gathering balconies, covered porches, community rooms, green spaces)
- Low VOC materials
- Sunlit units, oriented for optimal light
- Fall Protection (smooth flooring transitions, non-slip rugs and tile, low-pile carpeting)
- Provide walking paths and bike paths to promote activity
- Staff on call to assist in an emergency, design staff lounge/office

- Home-like finishes to minimize institution feel
- Courtyard and protected outdoor spaces connected to Naperville Community
- Security Camera system

Independence and Dignity

- Universal Design aspects
- Adequate ADA parking stalls
- Aging in place considerations
- Elevators that can fit a stretcher in case of medical emergency
- Sense of security without intrusive monitoring
- Larger text in common areas and unit numbers
- Courtyards which feel more like a neighborhood park than large open space
- Connected to Naperville community
- Security Camera System

- Transitional spaces/benches
- Muted Colors/soothing color palette
- Simple/decluttered space with clean lines and simple furniture
- Low noise (HVAC, light fixtures, wall insulation, etc.)
- Separate high stimulus areas with transitional spaces

Sensory Sensitivity

Financial Structure of Proposal

Narrative Overview of Transaction:

We envision the leading source of financing for this development to be equity from syndication of low-income housing tax credits. The tax credit equity would be leverage with first mortgage debt, soft funds from IHDA and other sources to be identified based on project characteristics of specific targeting or preferencing of units and affordability levels.

We will explore the site as a 4% and 9% transaction. It is believed that the cost of development and availability of soft funds will necessitate an application for competitive 9% Low Income Housing Tax Credits but we do find occasions where projects with sufficient units can have a similar gap as a 4% or a 9% LIHTC transaction given limits on the total award of LIHTC in a 9% competitive round. Utilizing our team expertise for comparing building and site options, financial structures, and other factors for structuring we would propose and execute the transaction which best achieves closing/construction start and meets as many goals of the City as listed in the RFP as possible.

Sources of Equity Investment

Predevelopment Financing:

Mercy Housing Lakefront has access to all the predevelopment funding required through - Mercy Housing, Inc. We have in place predevelopment funding credit lines which can provide all capital needed to take our projects from concept to the closing table. Typical affordable projects can have expenditures of over \$1M before the financial close of the transaction. We are prepared for that amount or more if selected by the City in order to see the project to financial closing.

Development costs when exploring the maximum units are projected between \$31-37M based on green standard, materials and amenities and the uncertainty of the rising cost of construction and labor. Depending on final costs and unit mix it is possible that a 4% LIHTC development could yield as much LIHTC equity as a 9% transaction given the cap of credit imposed on 9% transactions. Our financial approach would be to further develop the design and possibility of the site with options for density in order to compare financing structure and to determine the best option to pursue which minimize the overall need for soft funding to fill the gap.

Potential Sources of Funding:

Source	% of Capital Stack	Assumptions
Low Income Housing Tax Credit Equity	40-55%	Will explore use of 4% and 9% credits. Given site qualifies for basis boost of 4% credits it may be possible to finance without competing for 9% LIHTCs. Quantity of units and control of costs which do not generate tax credits is critical.
First Mortgage Debt	8-10%	The concepts considered have all units 100% affordable for incomes 60% or less. It is not typically expected to afford a mortgage of significant amount of the total capital stack without 150+ units financed in a affordable transaction.
IHDA Soft Funding	25-35% of capital stack?	With selection as developer, we would discuss the opportunity to create new senior housing with IDD units in Naperville to determine how much would be possible to secure from IHDA for soft funding.
FHLB – AHP	3%	Mercy is very successful at award of FHLB grant funds and has received several awards in the past. We think this development would score well for receipt of the points with the IDD units and services and we would apply for the funds to reduce the overall gap
Donation Tax Credit Proceeds	2%	Based on appraised value of the land and the final purchase price to be agreed to for the land we would be able to generate a donation tax credit which could be leveraged to raise capital for construction. The capital raised has historically been 40-45% of the donation value. Because Mercy is a non-profit we are able to accept donations to generate the credit.
Grants and Other	1-2%	Mercy Housing would seek other grants based on design goals and opportunity to match donor, health organizations or other opportunity. We also target grants for operational funding of the services and staff for the units.

Expectation of Relief:

No expectation in the relief of fees is expected as part of the transaction. We would seek to partner with the city to execute the development and understand that fees are part of municipal operations. We consider those expenses to be project expenses which are leveraged to generate low-income housing tax credits. We are able to be creative with the waiver or reduction of fees, but we do not factor a request. The value of the land is not a tax credit generating expenditure. While

Financial Structure of Proposal

it may be beneficial to look at a sales price below market to leverage the donation tax credit for equity, we would want to work with the city to explore the tools available and weigh the option which could include a partial donation of a value above our cash payment for the land but below appraised value to leverage some capital from the Illinois Affordable Housing Tax Credit (donation tax credit).

Property Management Team and Management Approach

Mercy Housing Management Group's (MHMG) competitive advantage is its comprehensive approach to managing regulatory compliance. MHMG has a strong commitment to the compliance needs of each property it manages and has over 35 years of experience in managing the inherent risk of affordable assets. MHMG's compliance team is comprised of program eligibility specialists and a subsidy administrator group. The primary function of the Compliance Department is to ensure file compliance by providing routine file testing, targeted training and staff support to assist in identification of compliance issues and development of corrective action plans to help further the mission.

Mercy Housing Management Group follows a comprehensive application intake process, adhering to all regulatory requirements of each property. Site management works in a collaborative manner with the applicants to assess their income, asset and student situation and determine whether they are program eligible for housing. Once the application and all of the required paperwork is completed and reviewed by the site team, the full packet is then submitted to an assigned Compliance Specialist. Compliance acts as a second set of eyes to carefully review all documents and calculations and to ensure full compliance for the applicable programs. MHMG also utilizes software to track the initial occupancies, recertification process, waiting lists and all required reporting.

MHMG's compliance team attends regulatory agency meetings and educational seminars to stay current on updates and industry best practices. The compliance team, in addition to other MHMG team members are encouraged to receive certification, training and education relevant to their position in the organization.

MHMG's Compliance team includes the following certifications: EIV, NAHP-E, NCP-E, CPM, COS, SCHM, TCS, STAR, HCCP, C9P, AHM, and PHM. MHM currently manages over 300 properties serving 22,500+ affordable apartment homes in 22 states including Arizona, California, Colorado, Florida, Georgia, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Mississippi, Missouri, Nebraska, North Carolina, Ohio, South Dakota, Tennessee, Texas, Utah, Wisconsin, and Washington.

At each property Mercy manages, Mercy holds true to its operating objectives which include:

- Maximizing financial results
- Maintaining the property to the owner's standards
- Creating and sustaining a challenging and rewarding work environment for employees
- Delivering superior customer service by exceeding expectations

With over 35 years of experience and a strong local and national presence, MHMG is the best choice for managing your properties. Mercy Housing gives a home to low-income families, seniors, individuals, and people with special needs. Mercy Housing has served more than 152,000 people and has participated in the development, preservation and/or financing of more than 48,200 affordable homes. Mercy is one of only a few national organizations that provide affordable housing for all low- and moderate-income populations, serving families, seniors, and people with special needs with the full spectrum of affordable housing, including supportive housing for the formerly homeless, transitional housing, permanent rental, and affordable homeownership opportunities.

Resident Services:

All residents of the building are encouraged to participate in resident services; however, services are voluntary and not time limited. All MHL resident services staff must follow the core values of respect, justice, and mercy and provide services regardless of age, gender, sexual orientation or preference, and cultural sensitivity. MHL provides a variety of health and wellness services on-site. These programs include behavioral health referrals, counseling, art therapy, fitness programs, and a variety of health education workshops. MHL's Health Services team include dedicated staff to assist with health insurance access and coordination and benefits procurement, helping residents access mainstream resources to improve their health. For residents with severe mental health issues, case managers work with our licensed staff to ensure connections are made to specialized services. Partnerships and coordination with outside agencies are integral to successful, client-centered services and Mercy Housing Lakefront values our partner agencies to provide comprehensive, specialized services for our residents. MHL's Resident Services Department undergoes continuous training and education

Financial Structure of Proposal

in several areas, including: housing first, trauma-informed care, addictions and stages of change, mental illness and personality disorders, motivational interviewing, SOAR, confidentiality, client rights, fair housing, diversity and cultural sensitivity, documentation, and more. Department meetings are held monthly as well as individual supervision, to ensure all staff understand and operate with best practices. Resident Services keeps files and records on residents and follows a strict confidentiality policy.

Readiness to proceed and potential project schedule:

Mercy would approach project and timeline based on putting site into a position for development as a 9% LIHTC submission to the 2023 LIHTC round. The critical path to get to that round is commensurate with the schedule provided in the RFP which would include completing entitlement by end of year; community engagement, and at least design development level drawings, and pricing of work in order to submit a full application that would be due to IHDA February 2023.

The team is comprised of firms all with many years and multiple projects completed and is in a position to be able to respond quickly and adeptly to all opportunities for structuring the finances and the ability to proceed at a pace to make the development site and concept shovel ready as fast as possible with the processes involved in engagement, entitlement, financing permitting and closing of an affordable transaction.

The project schedule is a function of timing for entitlement and site planning of the subject and neighboring parcels which allows for start of the process for low-income housing tax credits (LIHTCs). The final type of LIHTC to be pursued (4% or 9%) will be determined by actual size based on considerations for the total capital stack and ability to proceed and provide a shovel ready project. Either credit type for financing of the development yields a similar closing and start of construction (9% just a few months slower) as you will see in the chart below.

This is mainly due to timing of the next 9% LIHTC application round being close to the time when the RFP selection process is expected to be complete to allow start the full development and financing process.

March – Completion	Due Diligence Community Outreach, design refinement subdivision plat, refinement of financing plan.
May 2022	Proceed with entitlement process assuming selection per RFP schedule
September 2023	Submit PPA to IHDA for 9% LIHTCs in 2023 Round or 4% credits if feasible without competition for 9%’s
December 2022	Receive Approval to submit 4% or 9% LIHTC application
Q1 2023	Submit Full tax credit application
Q2 2023	Notice of award if 9% or notice of committee review/approval for 4% LIHTCs
Q3 2023	Move to IHDA board for 9% LIHTC / Closing due diligence for debt and equity
Q3/Q4 2023	Close and Start Construction
Q4 2024	Complete construction and begin lease up

A key component of our project schedule is the intertwining of our development financing, entitlement and construction work with the community and the City. Mercy Housing Lakefront is committed to engaging community and stakeholders. We embark to have community engagement as its own separate yet simultaneous process to ensure its priority through the entire development process. The following table presents the stages of the Community Engagement Process alongside the Housing Development process in a typical flow. Mercy will ensure that engagement occurs through all steps of the process will utilize best practices and learned experience for engagement of residents, neighbors, stakeholders and any others who may be impacted.

Mercy Housing Lakefront Housing Development Process		
Phase	Community Engagement Phases	Development Phases
1	Assessment of Need and Concepts	Concept Plan Development
2	Engage Stakeholder	Project Feasibility & Strategy
3	Public Outreach & Marketing	Financing
4	Inform and Navigate	Construction & Lease-up
5	Seniors Housed & Celebrate Accountability	Operation of building/house of families & Celebrate Accountability

Financial Structure of Proposal

Long Term Commitment to Affordability

Mercy Housing Lakefront develops and owns properties to be affordable to its tenants in perpetuity. As part of the finance process with affordable housing tax credits and other affordable housing funding sources we expect to enter into a minimum 30-year use agreement to keep land use restricted and rents affordable to tenants. We are happy and willing to enter into a longer agreement at project inception to ensure long term affordability and public benefit of the site.

Affordability Standard:

Preliminary assumptions of unit mix, rents and affordability targets:

# of Units	Bedroom Size	AMI	Proposed Tenant Rent	Rental Subsidy
13	1 BR	50%	\$725	No
29	1 BR	60%	\$880	No
20	1 BR	30%	\$524	Yes - TBD
3	2 BR	30%	\$629	Yes - TBD
12	2 BR	60%	\$1,050	No

Specific definition of IDD proposed

Mercy Housing plans to work with our service partners to identify deeper preference targeting characteristics of the IDD population to also be served within the building. We will work to identify the services funding, building needs, and unit mix best suited for the building and its long-term success and viability.

Age restrictions proposed for seniors and individuals with IDD:

Elderly 62+ building is contemplated as the building designation which would require that all residents be age 62 or older at time of leasing. This age restriction would apply to IDD and other units.

Energy improvements that lead to lower, long-term utility costs for occupants and overall environmental impact:

Performance-based design will help establish energy-efficiency and optimum indoor air quality throughout the facility by optimizing building envelope qualities and HVAC system selections. These design methods are arranged to reduce the amount of energy demand for the building, helping to reduce overall utility expenditures while maximizing the overall quality of life for residents and staff throughout. In addition, lower demand on carbon based energy provides lower CO2 emissions for the site, helping to mitigate ozone layer depletion.

Taxpayer Contribution:

We are still early on in the budgeting and planning for true need of soft funding and support for developing the site. Without considering of a soft funding source outside of maximum gap we believe we could approach IHDA for we estimate a financial gap of near \$3M that is typical in the early stages of development budgeting when planning for many unknowns and further exacerbated by the uncertainty of the pricing of construction and materials with historic price increased being felt by developers and contractors and materials become more difficult to procure as well as labor. Our approach for financing would be to come to the City last in terms of cash/financial contributions and rather see support in terms of structure of the sale, parking requirements and the consideration of cost associated with going first in the master development area.

Concept Opportunity Statement

MHL and our development team is here to develop with the City to meet the goals of the RFP and provide the best mix of units, affordability, and land use. We are not fixed on only what we are submitting as all we can or will do. We are a team capable and willing to look at proposal that best meet the needs for the long term and full planning of the area and have the flexibility and a team in place so that we can get started right away on the strategy and engagement of all stakeholders. We believe in this collaborative approach the best and greatest community benefits can be derived.

Mercy Housing is experienced in the use of the Illinois Affordable Housing Tax Credit or donation tax credit. It is a tool specific to Illinois where a state tax credit certificate can be created from the donation of real estate for the purpose of creating affordable housing with services provided. This certificate is then monetized to raise capital/equity for the affordable housing development.

As part of minimizing the development funding gap and preparing a financially feasible LIHTC application to submit to IHDA we would work with the City to explore the use of donation tax credits. This donation could come in a form of a bargain sale where there is some payment for the land but in an amount less than appraised value creating a donation of the difference or from a complete donation of the property to maximize the donation tax credit equity. This donation or bargain sale of the land creates a benefit to the project from the additional equity while not requiring cash contribution from the City.

We can explore use of a smaller footprint or shared infrastructure and utilities with the other phases as concepts to reduce development gap and faster development of the entire are to its best use. We see our next steps to work in hand with the City to craft a strategy that is best. Looking specifically at the benefits from our proposal provided for the site we also see the following other community benefits to come from the development as affordable senior housing.

Community Benefits:

- Construction Jobs (estimate 166)
- Permanent Jobs (4-5)
- Secure of 14M+ of tax credit equity investment in the site.
- New services and potential clients for many of the nearby medical centers and facilities
- Affordable Housing in a city with growing elderly population
- Real Estate Taxes paid by development owner
- Excellent catalyst for other development and future master plan phases
- Green sustainable building
- Meets housing needs for seniors as identified in Housing Needs Assessment March 2020
- Local hiring, contracting and business spending
- Extended Affordability Use period