



**NAPERVILLE CITY COUNCIL MEETING  
COUNCIL CHAMBERS – MUNICIPAL CENTER  
FINAL AGENDA**

**06/19/2012**

**6:00 p.m. – CLOSED SESSION**

**7:00 p.m. – OPEN SESSION FOR PUBLIC**

**CALL TO ORDER:**

**A. ROLL CALL:**

**B. CLOSED SESSION - 6:00 p.m.**

OPEN SESSION - 7:00 p.m.

**C. PLEDGE TO THE FLAG:**

**D. AWARDS AND RECOGNITIONS:**

1. Proclamation in Honor of the DuPage Children's Museum Celebrating 25 years
2. Proclamation in Honor of Ribfest Celebrating 25 years
3. Proclaim June 19th as Jack Ryan Day

**E. PUBLIC FORUM:**

**F. HOLDOVER ITEMS:**

**G. PETITIONS AND COMMUNICATIONS TO THE COUNCIL:**

**H. CONSIDERATION OF MOTION TO USE OMNIBUS METHOD  
FOR REMAINING ITEMS:**

**I. CONSENT AGENDA:**

1. Approve the 6/6/2012 Cash Disbursements in the amount of \$12,246,587.71.
2. Approve the Award of Bid 13-008, CIP BR028, Columbia Street

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Bridge Rehabilitation, to Copenhaver Construction for the amount of \$154,966 plus a 5% contingency.

3. Approve the award of Utility Funded Bid 13-004, CIP WU04B, Webster/Hillside Water Main Improvements, to Construction by Camco for a total bid price of \$304,380.00, plus a 5% contingency.
4. Approve the award of Bid 12-161, Household Hazardous Waste Storage Building Replacement, to MCC Developments for the Base Bid and Option #2: Complete Installation of New Buildings for an amount not to exceed \$198,112.
5. Approve the award of Bid 12-181, Insurance Broker Services and Property/Boiler & Machinery Insurance Coverage, to Alliant Insurance Services, Inc. for an amount not to exceed \$61,900/year for a three-year contract, and \$189,445 for the City's Property and Boiler and Machinery Insurance Coverage beginning July 1, 2012 to July 1, 2013.
6. Approve Mayoral Appointments to the Financial Advisory Board.
7. Approve the recommendation to establish No Parking on High Grove Lane as outlined in the attached ordinance.
8. Approve the Exchange Club of Naperville's permit request to hold a fireworks display on July 3, 2012.
9. Pass the ordinance granting a variance from the Municipal Code to reduce the number of required off-street parking spaces from 454 to 330 spaces for the property located at 2275 W. Diehl Road (Handi-Foil) and amending the Statement of Intent and Agreement for Diehl Road – 41-acre Site to remove Provision S8.0 (Occupancy Restrictions for Lot 2 Construction), PZC 12-1-068.
10. Pass the ordinance granting a conditional use for an automobile service station and car wash in B2 (Community Shopping Center District), a major change to the Cantore Place Planned Unit Development (PUD), and a final PUD plat to allow the development of a car wash and lube facility, known as Nascar Car Wash, on Lot 5 in Cantore Place, PZC 12-1-037.
11. Pass the ordinance granting a variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District: Yard Requirements) of the Naperville Municipal Code in order to construct a covered front porch at a distance of 26' from the front lot line and 9.83' from the

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corner side yard lot line for the property located at 719 Prairie Avenue, PZC 12-1-043.

12. Pass the ordinance approving a variance to Section 6-9-3 (Schedule of Off-Street Parking Requirements) to reduce the number of required parking spaces for a manufacturing/laboratory facility to be located at 340 Shuman Boulevard, PZC 12-1-056.
13. Pass the ordinance ascertaining prevailing wages in the City of Naperville.
14. Waive the first reading and pass the ordinance amending the Naperville Municipal Code increasing the Downtown Late Night Permit limit from seventeen (17) to eighteen (18). (Waive first reading requires six (6) positive votes)
15. Pass the ordinance to amend section 11-2A to include language concerning electric vehicle charging stations on public property and table 11-2B-2 to include an electric vehicle charging station in the Van Buren 1 Lot.
16. Jurisdictional Transfers between the City of Naperville and DuPage County:
  - a. Pass the ordinance rescinding Ordinance 12-008 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Naper Boulevard from Ridgeland Avenue to Ogden Avenue;
  - b. Pass the ordinance rescinding Ordinance 12-009 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Naperville-Wheaton Road from Ridgeland Avenue to Ogden Avenue;
  - c. Pass the ordinance rescinding Ordinance 12-010 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of West Street from Bauer Road to Mill Street; and
  - d. Pass the ordinance rescinding Ordinance 12-011 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Bauer Road from Washington Street to West Street.

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**J. OLD BUSINESS:**

1. Pass the ordinance granting approval of a preliminary/final plat of subdivision and related variances as reflected in the ordinance to allow the development of a McDonald's restaurant at 702 S. Washington Street, PZC 12-1-018. (Tabled 6/5/12, N1)
2. Aquatic Visions, 2695 Forgue Drive, Suite #109, PZC 12-1-047 (Tabled 6/5/12, I17ab):
  - a. Option A: Concur with the Planning & Zoning Commission and staff and recommend denial of the requested variance for a window sign on the west elevation of the building that will cover 100% of the window-surface area for the property located at 2695 Forgue Drive, Suite #109.
  - b. Option B: Concur with the petitioner and direct staff to prepare resolution paperwork approving a variance for a window sign on the west elevation of the building that will cover 100% of the window-surface area for the property located at 2695 Forgue Drive, Suite #109. Staff does not concur with this option.

**K. AWARD OF BIDS AND OTHER ITEMS OF EXPENDITURE:**

**L. REPORTS AND RECOMMENDATIONS:**

1. Approve the City Council Meeting Schedule for July, August and September 2012.
2. Approve the Regular City Council Meeting Minutes of June 5, 2012.
3. Authorize the City Manager to hire one Police Officer from the current Police Officer Eligibility Roster maintained by the Naperville Board of Fire and Police Commissioners to fill the current vacancy.
4. Authorize the City Manager to recruit externally and fill one vacant Lead Code Enforcement Officer position in the Department of Transportation, Engineering and Development.

**M. PUBLIC HEARING:**

1. Northwest Water Tower, 2820 W. Diehl Road, PZC 12-1-057:
  - a. Waive the first reading and pass the ordinance annexing the subject property (approval requires six (6) positive votes);

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- b. Pass the ordinance to zone the subject property to I (Industrial District) upon annexation;
  - c. Pass the ordinance approving a Preliminary/Final Plat of Subdivision for Northwest Water Tower; and
  - d. Pass the ordinance approving a conditional use for a Public Assembly Use and related variances at the subject property.
2. The Oaks at Naperville Crossings, located west of Route 59 and north of 95th Street, PZC 12-1-016:
- a. Pass the ordinance approving a preliminary plat of subdivision, a rezoning from B2 (Community Shopping Center District) to R3 (Medium Density Multi-family District), a preliminary Planned Unit Development (PUD) plat, a deviation to waive the loading requirements and a stormwater variance to allow for the development of 298 multi-family dwelling units on Lots 14 and 15 in Naperville Crossings (simply majority);
  - b. Conduct the public hearing to consider the Fourth Amendment to the Naperville Crossings Annexation Agreement; and
  - c. Pass the ordinance authorizing execution of the Fourth Amendment to the Naperville Crossings Annexation Agreement (approval requires six (6) positive votes).

**N. ORDINANCES AND RESOLUTIONS:**

**O. NEW BUSINESS:**

**P. CLOSED SESSION:**

**Q. ADJOURNMENT:**

**Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the Accessibility Coordinator at least 48 hours in advance of the scheduled meeting. The Accessibility Coordinator can be reached in person at 400 S. Eagle Street, Naperville, IL., via telephone at 630-420-6725 or 630-305-5205 (TDD) or via e-mail at [manningm@naperville.il.us](mailto:manningm@naperville.il.us). Every effort will be made to allow for meeting participation.**





# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Proclamation – DuPage Children’s Museum Celebrating 25 years

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Proclamation in honor of the DuPage Children’s Museum Celebrating 25 years of service to the community.

**BOARD/COMMISSION REVIEW:**  
N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item	No. Action

**DEPARTMENT:** Mayor’s Office

**SUBMITTED BY:** Emy Trotz, Executive Assistant/Mayor

**FISCAL IMPACT:**  
N/A

**BACKGROUND:** N/A

**DISCUSSION:** N/A

**RECOMMENDATION:**  
Proclamation to be given to the DuPage Children’s Museum in celebration of 25 years of serving children and families. Councilman Doug Krause will present the proclamation to Sue Broad, Executive Director, DuPage Children’s Museum.

**ATTACHMENTS:**  
Proclamation

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OFFICE OF THE MAYOR  
CITY OF NAPERVILLE, ILLINOIS  
**PROCLAMATION**

**DuPage Children's Museum  
Celebrating 25 Years  
June 24, 2012**

WHEREAS, DuPage Children's Museum was founded on three core beliefs which have remained relevant for 25 years and are held in high regard by the City of Naperville: respect for all children and their ability to learn, the power of play as a basis for constructing knowledge, and the importance of the child-adult learning partnership; and

WHEREAS, DuPage Children's Museum's mission is to stimulate curiosity, creativity, thinking and problem solving in young children through self-directed, open-ended experiences; integration of the arts, science and math; and the child-adult learning partnership; and

WHEREAS, DuPage Children's Museum welcomes to its Naperville home more than 300,000 visitors annually with more than three-quarters of these visitors coming from greater DuPage County and 59 other Illinois counties; from all 50 states and from more than 100 countries internationally; and

WHEREAS, both DuPage Children's Museum and the City of Naperville strive to ensure that individuals with disabilities have equal opportunities to access and that the Museum's Community Access Network works with more than 60 social service agencies and strives to make Museum programs and services accessible to all children regardless of economic, social or physical barriers; and

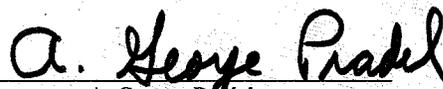
WHEREAS, DuPage Children's Museum serves nearly 30,000 students through Learning Labs and Field Trip Programs, Camps and Family Math and Science Nights and is changing how students learn and affecting how teachers teach; and

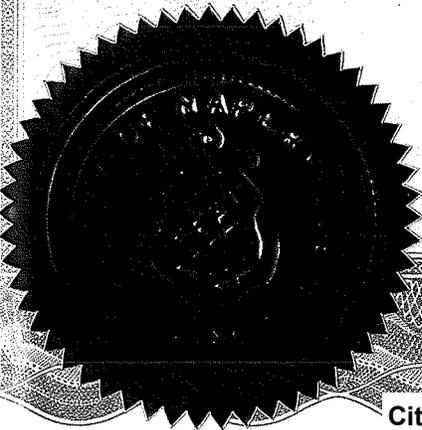
WHEREAS, DuPage Children's Museum looks forward to continuing to grow as a valued community resource for many more generations of children and their families!

NOW, THEREFORE, I, A. George Pradel, Mayor of the City of Naperville, do hereby declare that this proclamation be delivered to

**DuPage Children's Museum in Celebration of 25 Years  
of serving all children and families**

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the City of Naperville this nineteenth day of June, 2012 and urge all of our residents of Naperville to visit, write or call DuPage Children's Museum and thank them for their outstanding service to this community.

  
A. George Pradel  
Mayor



LITHO IN U.S.A.



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Proclamation – 25<sup>th</sup> Ribfest

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**TYPE OF VOTE:** Simple Majority

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**ACTION REQUESTED:**  
Proclaim June 29 to July 3, 2012 to be Ribfest Days

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**BOARD/COMMISSION REVIEW:**  
N/A

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**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item	No. Action

**DEPARTMENT:** Mayor’s Office

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**SUBMITTED BY:** Emy Trotz, Executive Assistant/Mayor

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**FISCAL IMPACT:**  
N/A

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**BACKGROUND:** N/A

**DISCUSSION:** N/A

**RECOMMENDATION:**  
Proclaim June 29 to July 3, 2012 to be Ribfest Days in honor of holding Ribfest for 25 years. Councilman Doug Krause will present the proclamation to Walter Johnson, President of the Exchange Club of Naperville, and Mark Wright, 2012 Ribfest Chairman.

**ATTACHMENTS:**  
Proclamation

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OFFICE OF THE MAYOR  
CITY OF NAPERVILLE, ILLINOIS

# PROCLAMATION

EXCHANGE CLUB OF NAPERVILLE'S  
RIBFEST  
1988-2012

**WHEREAS,** the first Ribfest was held on Rotary Hill over Father's Day Weekend in 1988; and

**WHEREAS,** Glen Ekey, Executive Director of the Naperville Park District at that time, approached the Exchange Club with an idea for a fundraiser; and

**WHEREAS,** because of that idea, the first Ribfest took place as a joint effort with the Exchange Club of Naperville, Rib America, the Naperville Park District and the City of Naperville; and

**WHEREAS,** after having such a successful first year, the Exchange Club decided to venture on their own but still partnered with the Naperville Park District and the City of Naperville and the event was moved to Knoch Park where it is still being held; and

**WHEREAS,** Ribfest has generated over 12 million dollars back to the community and has brought thousands of visitors to Naperville; and

**WHEREAS,** 2012 marks the 25<sup>th</sup> Ribfest and June 29<sup>th</sup> – July 3<sup>rd</sup> will be a celebration of this extraordinary event.

**NOW, THEREFORE,** I, A. George Pradel, Mayor of the City of Naperville, do hereby proclaim June 29 to July 3, 2012 to be

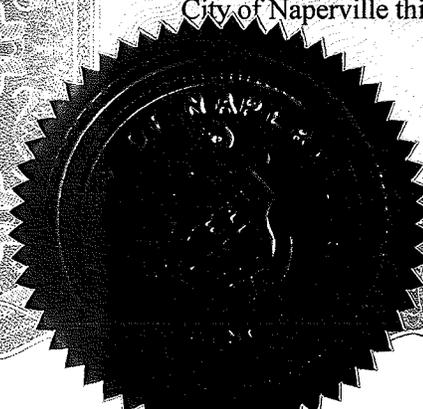
**RIBFEST DAYS  
in the City of Naperville**

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the City of Naperville this nineteenth day of June, 2012.

*A. George Pradel*

A. George Pradel  
Mayor

LITHO IN U.S.A.





# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Proclamation – Jack Ryan Day

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Proclaim June 28, 2012 as Jack Ryan Day

**BOARD/COMMISSION REVIEW:**  
N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item	No. Action

**DEPARTMENT:** Mayor’s Office

**SUBMITTED BY:** Emy Trotz, Executive Assistant/Mayor

**FISCAL IMPACT:**  
N/A

**BACKGROUND:** N/A

**DISCUSSION:** N/A

**RECOMMENDATION:**  
Proclaim June 28, 2012 as Jack Ryan Day. Councilman Doug Krause will present the proclamation to Jack Ryan.

**ATTACHMENTS:**  
Proclamation

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**OFFICE OF THE MAYOR  
CITY OF NAPERVILLE, ILLINOIS  
PROCLAMATION**

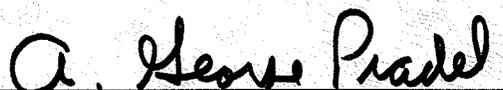
**JACK RYAN DAY  
IN THE CITY OF NAPERVILLE**

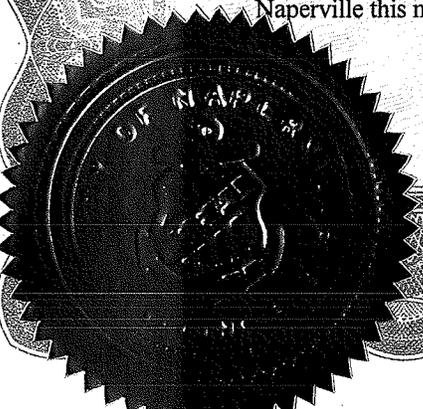
- WHEREAS,** Little Friends, Inc. was founded in 1965; and
- WHEREAS,** Little Friends is a private, non-profit organization serving children and adults with autism and other developmental disabilities; and
- WHEREAS,** Jack Ryan began his career at Little Friends on August 23, 1973 and has been President and CEO of Little Friends since April 1, 1975; and
- WHEREAS,** under Jack Ryan's leadership, Little Friends now operates eleven dynamic programs including three alternative schools, family support and consultation services, vocational training programs, community-based residential services, and the Little Friends Center for Autism; and
- WHEREAS,** through Jack Ryan's vision, Little Friends now serves over 800 children and adults throughout DuPage, Kane, Kendall, Will, and Western Cook Counties; and
- WHEREAS,** due to Jack Ryan's energy, Little Friends has grown into an organization which employs approximately 350 full-time and 250 part-time professionals; and
- WHEREAS,** Jack Ryan is a recognized leader in the area of special needs education and programming; and
- WHEREAS,** Jack Ryan is a passionate advocate for people with developmental disabilities and he has contributed greatly to the Naperville community; and
- WHEREAS,** Jack Ryan is retiring from Little Friends as of June 30, 2012.

**NOW, THEREFORE,** I, A. George Pradel, Mayor of the City of Naperville, do hereby proclaim Thursday June 28, 2012 to be

**JACK RYAN DAY  
in the City of Naperville**

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the City of Naperville this nineteenth day of June, 2012

  
A. George Pradel  
Mayor



LITHO IN U.S.A.



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Cash Disbursements 6/6/2012

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Approve the 6/6/2012 Cash Disbursements in the amount of \$12,246,587.71.

**BOARD/COMMISSION REVIEW:**  
N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action

**DEPARTMENT:** Finance

**SUBMITTED BY:** Chris Smith, Assistant Finance Director

**FISCAL IMPACT:**  
Grand Total of \$12,246,587.71

**RECOMMENDATION:**  
Approve the 6/6/2012 Cash Disbursements in the amount of \$12,246,587.71.

**ATTACHMENTS:**  
1. Cash Disbursements

# City of Naperville

## Accounts Payable Run 06/06/2012

### Cash Disbursements

Electronic Funds Transfers	\$	9,200,923.18
Hand Written Checks	\$	594.00
Voids	\$	(1,713.58)
Computer Prepared	\$	967,739.21
Sub-Total	\$	10,167,542.81
Payroll --Week Ending 06/01/12	\$	2,079,044.90
<b>Grand Total</b>	<b>\$</b>	<b>12,246,587.71</b>

## **CITY OF NAPERVILLE**

### **Glossary of Terms**

**Capital Project Funds-** Capital Project Funds are used to account for financial resources to be used for the acquisition or construction of major capital facilities (other than those financed by Utility Funds and Burlington Fund). Included are the following funds: Road and Bridge, Capital Projects Fund, Bond Funds, Vehicle Replacement, and Motor Fuel Tax.

**Debt Service Payments-**Debt Service Funds (including S.S.A. #21, #23 and Downtown Parking Funds) are used to account for the accumulation of resources and the payment of long-term debt principal, interest, and related costs.

**Operating Funds-** includes the following funds: General Fund, Electric and Water/Wastewater Utility Funds, (excluding refunds), Information Technology Fund, and Fleet Services Fund.

**Special Revenue & Agency Funds-**includes the following funds: Naper Settlement, Burlington Parking, Foreign Fire Insurance Tax, Community Development Block Grant, Fair Share Assessment, ARRA Federal Grants, Special Events and Culture Amenities, Carillon, S.S.A. #24-Downtown Maintenance, DUMEG, Federal Drug Forfeiture, State Drug Forfeiture, Water TIF, Test Track, Police and Fire Pensions, General Trust and Agency, Self Insurance Benefit, Payroll Clearing, and Library Funds.

**Utility Refunds-**Per City Ordinance, the Finance department collects a deposit on all new utility customers and existing utility customers with poor credit history. The deposit with calculated interest is refunded to the customer after 2 years of good payment history.

# **City of Naperville**

## **All Funds Summary**

### **Report 1**

Accounts Payable Check Run Date: 06/06/2012

FUND	AMOUNT	FUND CATEGORY
010 GENERAL FUND	258,724.91	OPERATING FUNDS
016 NAPER SETTLEMENT FUND	2,278.58	SPECIAL REV & AGENCY FUNDS
102 NAPERVILLE LIBRARY FUND	376.00	SPECIAL REV & AGENCY FUNDS
104 BURLINGTON PARKING FUND	14,154.03	SPECIAL REV & AGENCY FUNDS
111 ARRA FED GRANTS FUND	4,957.24	SPECIAL REV & AGENCY FUNDS
131 SSA #21-VAN BUREN DECK	45,026.49	DEBT SERVICE PAYMENTS
134 SPEC.EV.& CULTURE AMENITY	101,502.75	SPECIAL REV & AGENCY FUNDS
136 S.S.A. #24-DOWNTOWN MAINT	37,212.11	SPECIAL REV & AGENCY FUNDS
138 FED DRUG FORFEITURE FUND	195.00	SPECIAL REV & AGENCY FUNDS
139 STATE DRUG FORFEITURE FD	120.00	SPECIAL REV & AGENCY FUNDS
141 SSA #23-NAPER MAIN FUND	72,333.38	DEBT SERVICE PAYMENTS
142 DOWNTOWN PARKING FUND	68,518.57	DEBT SERVICE PAYMENTS
201 DEBT SERVICE FUND	1,780,842.07	DEBT SERVICE PAYMENTS
301 CAPITAL PROJECTS FUND	525,038.55	CAPITAL PROJECT FUNDS
330 2010B G.O. BOND FUND	4,888.06	CAPITAL PROJECT FUNDS
410 ELECTRIC UTILITY FUND	1,288,051.98	OPERATING FUNDS
410 ELECTRIC FUND PAYMENTS	1,276,853.06	OPERATING FUNDS
410 UTILITY REFUNDS	11,198.92	UT REFUNDS
410 DEBT SERVICE PAYMENTS	.00	DEBT SERVICE PAYMENTS
414 ELECTRIC SMART GRID FUND	1,096,083.05	OPERATING FUNDS
430 WATER & WASTEWATER FUND	2,153,573.08	OPERATING FUNDS
501 INFORMATION TECHNOLOGY	26,118.98	OPERATING FUNDS
502 FLEET SERVICES FUND	74,816.32	OPERATING FUNDS
503 VEHICLE REPLACEMENT FUND	164,621.00	CAPITAL PROJECT FUNDS
611 POLICE PENSION FUND	1,291.00	SPECIAL REV & AGENCY FUNDS
618 GEN TRUST & AGENCY FUND	3,947.00	SPECIAL REV & AGENCY FUNDS
623 SELF INSURED BENEFITS FND	605,664.56	SPECIAL REV & AGENCY FUNDS
802 PAYROLL CLEARING FUND	1,837,208.10	SPECIAL REV & AGENCY FUNDS

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FUND AMOUNT FUND CATEGORY  
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TOTAL FOR ALL FUNDS: 10,167,542.81

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FUND	AMOUNT
OPERATING FUNDS:	4,886,169.40
SPECIAL REV & AGENCY FUNDS:	2,608,906.37
CAPITAL PROJECT FUNDS	694,547.61
DEBT SERVICE PAYMENTS:	1,966,720.51
UTILITY REFUNDS:	11,198.92
TOTAL EXPENDITURES:	10,167,542.81

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**City of Naperville**  
Expenditure Approval Listing

**FY 2013**

5/23/2012 Revised Budget Balance *	6/6/2012 Revised Budget Balance *
\$ 366,422,252.00	\$ 366,422,252.00

\* Revised budget total excludes the Library funds and E-911 fund.

FUND	Y-T-D EXPENDITURE	REVISED BUDGET	PCT USED	FUND CATEGORY
010 GENERAL FUND	8,320,874.18	110,712,978.00	7.52 %	OPERATING FUNDS
013 ROAD AND BRIDGE FUND	.00	1,494,692.00	.00 %	CAPITAL PROJECT FUNDS
016 NAPER SETTLEMENT FUND	295,345.01	3,662,099.00	8.06 %	SPECIAL REV & AGENCY FUNDS
104 BURLINGTON PARKING FUND	2,657.46	2,353,410.00	.11 %	SPECIAL REV & AGENCY FUNDS
105 FOREIGN FIRE INSUR.TAX FD	.00	236,500.00	.00 %	SPECIAL REV & AGENCY FUNDS
108 COMM DEVEL BLOCK GRANT	.00	1,436,183.00	.00 %	SPECIAL REV & AGENCY FUNDS
111 ARRA FED GRANTS FUND	1,250.06	121,011.00	1.03 %	SPECIAL REV & AGENCY FUNDS
113 RIVERWALK COMMISSION	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
119 FAIR SHARE ASSMNT FUND	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
121 S.S.A.#11 WATER STREET	.00	.00	.00 %	DEBT SERVICE PAYMENTS
129 S.S.A. #19 MAIN PLACE	.00	.00	.00 %	DEBT SERVICE PAYMENTS
130 S.S.A.20 DOWNTOWN MAINT.	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
131 SSA #21-VAN BUREN DECK	.00	470,678.00	.00 %	DEBT SERVICE PAYMENTS
132 SHANOWER/911 MEMORIAL	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
133 RIVERWLK MAINTENANCE FUND	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
134 SPEC.EV.& CULTURE AMENITY	608,742.81	2,427,077.00	25.08 %	SPECIAL REV & AGENCY FUNDS
135 CARILLON FUND	73.52	116,152.00	.06 %	SPECIAL REV & AGENCY FUNDS
136 S.S.A. #24-DOWNTOWN MAINT	55,907.23	2,168,010.00	2.58 %	SPECIAL REV & AGENCY FUNDS
137 DUMEG FUND	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
138 FED DRUG FORFEITURE FUND	434.00	95,000.00	.46 %	SPECIAL REV & AGENCY FUNDS
139 STATE DRUG FORFEITURE FD	174.43-	195,000.00	.09-%	SPECIAL REV & AGENCY FUNDS
140 WATER TIF FUND	.00	103,121.00	.00 %	SPECIAL REV & AGENCY FUNDS
141 SSA #23-NAPER MAIN FUND	.00	214,667.00	.00 %	DEBT SERVICE PAYMENTS
142 DOWNTOWN PARKING FUND	.00	223,502.00	.00 %	DEBT SERVICE PAYMENTS
201 DEBT SERVICE FUND	.00	12,014,135.00	.00 %	DEBT SERVICE PAYMENTS
301 CAPITAL PROJECTS FUND	1,774.75	1,201,896.00	.15 %	CAPITAL PROJECT FUNDS

FUND	Y-T-D EXPENDITURE	REVISED BUDGET	PCT USED	FUND CATEGORY
324 1998 G.O. BOND FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
325 2001A G.O.BOND FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
326 2003A G.O. BOND FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
327 2005 G.O. BOND FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
328 2008 G.O. BOND FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
329 2009 G.O. BOND FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
330 2010B G.O. BOND FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
410 ELECTRIC UTILITY FUND	9,963,573.44	131,478,486.00	7.58 %	OPERATING FUNDS
411 ELEC. INFRASTR. AVAIL.FUND	169,768.12	431,711.00	39.32 %	OPERATING FUNDS
414 ELECTRIC SMART GRID FUND	97.05-	1,389,290.00	.01-%	OPERATING FUNDS
430 WATER & WASTEWATER FUND	2,196,610.98	43,581,039.00	5.04 %	OPERATING FUNDS
431 WATER IAC FUND	96,814.12	376,050.00	25.75 %	OPERATING FUNDS
455 TEST TRACK FUND	2,463.12	44,697.00	5.51 %	SPECIAL REV & AGENCY FUNDS
501 INFORMATION TECHNOLOGY	54,033.26	2,342,367.00	2.31 %	OPERATING FUNDS
502 FLEET SERVICES FUND	140,521.15	3,972,535.00	3.54 %	OPERATING FUNDS
503 VEHICLE REPLACEMENT FUND	.00	1,110,420.00	.00 %	CAPITAL PROJECT FUNDS
504 EQUIPMENT REPLACE. FUND	.00	.00	.00 %	CAPITAL PROJECT FUNDS
611 POLICE PENSION FUND	341,618.37	4,476,448.00	7.63 %	SPECIAL REV & AGENCY FUNDS
612 FIREFIGHTERS' PENSION FUND	.00	4,904,842.00	.00 %	SPECIAL REV & AGENCY FUNDS
615 MOTOR FUEL TAX FUND	.00	11,100,000.00	.00 %	CAPITAL PROJECT FUNDS
618 GEN TRUST & AGENCY FUND	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
623 SELF INSURED BENEFITS FND	1,022,118.61	21,968,256.00	4.65 %	SPECIAL REV & AGENCY FUNDS
802 PAYROLL CLEARING FUND	.00	.00	.00 %	SPECIAL REV & AGENCY FUNDS
TOTAL FOR ALL FUNDS:	23,274,308.71	366,422,252.00	6.35 %	

EXPENDITURE APPROVAL LIST  
ALL FUNDS EXPENDITURE VS BUDGET  
AS OF: 6/06/12

FUND	Y-T-D EXPENDITURE	REVISED BUDGET	PERCENTAGE USED
OPERATING FUNDS:	20,942,098.20	294,284,456.00	7.12 %
SPECIAL REV & AGENCY FUNDS:	2,330,435.76	44,307,806.00	5.26 %
CAPITAL PROJECT FUNDS	1,774.75	14,907,008.00	.01 %
DEBT SERVICE PAYMENTS:	.00	12,922,982.00	.00 %
TOTAL EXPENDITURES:	23,274,308.71	366,422,252.00	6.35 %

# City of Naperville

## Operating Funds Without Utility Refunds

### Report 2

Accounts Payable Check Run Date: 06/06/2012

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
9000004 1134	AT&T/SBC ILLINOIS MR		00 05/29/2012	010-0000-124.99-00	OVERPAYMENT MR Refund Voucher	91.65	
9000004 56068	BUSHNELL BUILDERS INC MR		00 05/25/2012	010-0000-124.99-00	DOUBLE PAYMENT MR Refund Voucher	84.00	
9000004 90805	CONSIDINE, MICHAEL MR		00 05/29/2012	010-0000-124.99-00	OVERPD SIDEWALK CHG MR Refund Voucher	.06	
9000004 78927	CRESTVIEW BUILDERS INC MR		00 05/29/2012	010-0000-124.99-00	DUPLICATE PAYMENT MR Refund Voucher	119.00	
9000004 81248	CSF SECURITY SYSTEMS MR		00 05/29/2012	010-0000-124.99-00	DUPLICATE PAYMENT MR Refund Voucher	100.82	
9000004 91163	DUCKSWORTH, NICOLE A MR		00 05/24/2012	010-0000-124.99-00	OVERPAID BAIL BOND MR Refund Voucher	.50	
9000004 91095	ERVIN, TIMOTHY MR		00 05/29/2012	010-0000-124.99-00	OVERPD SIDEWALK CHG MR Refund Voucher	4.29	
9000004 78426	NAPERVILLE SOUTH COMMONS MR		00 05/29/2012	010-0000-124.99-00	DUPLICATE PAYMENT MR Refund Voucher	28.75	
9000004 77245	P K CONSTRUCTION MR		00 05/25/2012	010-0000-124.99-00	DOUBLE PAYMENT MR Refund Voucher	62.83	
9000004 92307	POLLARD, RYAN T MR		00 05/24/2012	010-0000-124.99-00	PD BAIL BOND TWICE MR Refund Voucher	50.00	
9000004 89966	SALT COMMUNICATIONS, LLC MR		00 05/31/2012	010-0000-124.99-00	PD LATE CHGS TWICE MR Refund Voucher	22.31	
9000004 MR Refund	SANDY, PARK JOHN Y G MR		00 05/29/2012	010-0000-124.99-00	SANDY, PARK JOHN Y G MR Refund Voucher	.02	
9000004 58907	STEAK N SHAKE ACCTS PAYABLE MR		00 05/31/2012	010-0000-124.99-00	DUPLICATE PYMNT	18.22	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
MR Refund Voucher							
0004254 CPAL	BELL, GREGORY 001511		00 06/05/2012	010-0000-127.50-00	CPAL-BELL	1,004.40	
0008062 CPAL	SMITH, CHRISTINA 001489		00 06/05/2012	010-0000-127.50-00	CPAL-SMITH	1,500.00	
9000003 REFUND	COLLANDER, DAN 001509		00 06/05/2012	010-0000-314.50-00	DUPLICATE TRANSFER STAMP	1,725.00	
9000000 REFUND	IQBAL, AFTAB A 001439		00 06/01/2012	010-0000-314.50-00	CLOSING FELL THROUGH	285.00	
0003480 REIMBURSEMENT	NAPERVILLE MUNICIPAL BAND,CK GRP-H 001465		00 06/05/2012	010-0000-321.60-00	3 EVENTS	550.00	
9000000 RESERVATIONS	VON OVEN SCOUT ORGANIZATION 001464		00 06/05/2012	010-0000-321.60-00	PROCESSING FEE	40.00	
9000000 REFUND	PARTIDA, GONZALO 001513		00 06/06/2012	010-0000-341.59-00	TOW FEE IR 2012-003935	300.00	
0012267 TOWER LEASE REV001439	VERIZON WIRELESS		00 06/01/2012	010-0000-362.23-00	CINGULAR	1,091.06	
0012267 TOWER LEASE REV001439	VERIZON WIRELESS		00 06/01/2012	010-0000-362.23-00	SPRINT NEXTEL-1	991.87	
0012267 TOWER LEASE REV001439	VERIZON WIRELESS		00 06/01/2012	010-0000-362.23-00	SPRINT NEXTEL-2	1,091.06	
0012267 TOWER LEASE REV001439	VERIZON WIRELESS		00 06/01/2012	010-0000-362.23-00	US CELLULAR	1,265.00	
0000987 7-898-19605	FEDERAL EXPRESS INC 001439		00 06/06/2012	010-1110-411.50-51	DELIVERY SERVICE CMO	21.25	
0014727 12-007	LIFE TRAINING PROGRAMS INC PI1046 130338		00 05/02/2012	010-1111-411.60-63	COMPUTER EQUIPMENT	1,600.00	
0014727 12-010	LIFE TRAINING PROGRAMS INC PI1047 130338		00 05/08/2012	010-1111-411.60-63	COMPUTER EQUIPMENT	1,600.00	
9000000 REIMBURSEMENT	DAVIDSON, JAMES W 001431		00 06/01/2012	010-1113-411.50-45	ITEMS;YOUNG ARTIST COMPET	249.75	
0001897 SUBPOENA FEE	EDWARD HOSPITAL 001508		00 06/05/2012	010-1210-412.30-29	RECORDS;K HOLADA 12DT1621	25.00	

VEND NO	VENDOR NAME	INVOICE NO	VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0016028	PUSCAS JR, VICTOR E	05/09/2012	PI1040	130295	00 05/09/2012	010-1210-412.35-01	LEGAL SERVICES	300.00	
0016028	PUSCAS JR, VICTOR E	05/23/2012	PI1041	130295	00 05/23/2012	010-1210-412.35-01	LEGAL SERVICES	300.00	
0000987	FEDERAL EXPRESS INC	7-890-31106	001434		00 06/01/2012	010-1210-412.50-51	DELIVERY SERVICE LEGAL	34.24	
0011644	C C H INC	10100850	PI1043	130329	00 05/01/2012	010-1210-412.60-68	PUBLICATION/AUDIOVISUAL	2,099.00	
0009509	LESAC-NOYOLA, SHARON	PER DIEM	001206		00 05/31/2012	010-1310-413.50-22	DENVER, CO 6/3-6/7/12	CHECK #: 500311	297.00
0017430	PHILLIPS, DONALD P	PER DIEM	001204		00 05/31/2012	010-1310-413.50-22	DENVER, CO 6/2-6/6/12	CHECK #: 500310	297.00
0001375	UNITED PARCEL SERVICES, INC.	0000626452212	001415		00 06/01/2012	010-1313-413.50-51	DELIVERY SERVICE COMM REL	198.82	
0001375	UNITED PARCEL SERVICES, INC.	0000626452202	001425		00 06/01/2012	010-1313-413.50-51	DELIVERY SERVICE COMM REL	17.51	
0001738	RYDIN SIGN & DECAL CO	273198	001510		00 06/05/2012	010-1330-417.60-68	NO SOLICITING STICKERS	968.72	
0014386	BARRETT, WILLIAM	REIMBURSEMENT	001477		00 06/05/2012	010-1410-414.20-23	TUITION	1,500.00	
0001112	HARDING, JAMES	REIMBURSEMENT	001481		00 06/05/2012	010-1410-414.20-23	TUITION	1,368.50	
0013611	STUBLER, JASON	REIMBURSEMENT	001478		00 06/05/2012	010-1410-414.20-23	TUITION	1,500.00	
0013292	KENEXA COMPENSATION INC	236841	PI0954	130129	00 04/19/2012	010-1410-414.30-29	SUBSCRIPTION	8,000.00	
0011664	EDWARD CORPORATE HEALTH SRVS	CH-CNHR 5/12	PI1007	130100	00 05/05/2012	010-1410-414.35-07	HEALTH RELATED EQUIP & SV	790.50	
0017087	CURALINC HEALTHCARE	762	PI0902	130141	00 05/24/2012	010-1410-414.35-08	EMPLOYEE ASSISTANCE PROG	CHECK #: 9006259	3,412.92
0013458	SIKICH LLP	143706	PI1049	130375	00 05/21/2012	010-1510-415.35-02	PROFESSIONAL SERVICES	6,511.00	

VEND NO	VENDOR NAME								
INVOICE NO	VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED	
0016568	GARDA CL GREAT LAKES INC								
180-757112	PI1313	130423	00	05/01/2012	010-1511-415.30-29	PROFESSIONAL SERVICES	160.52		
0004787	UNITED EXPRESS SYSTEM INC								
16605-7143	PI1255	130057	00	05/26/2012	010-1511-415.30-29	PROFESSIONAL SERVICES	255.67		
0001935	UNITED OFFICE SYSTEMS								
54070	PI1314	130424	00	05/04/2012	010-1511-415.40-35	OFFICE MACHINES & ACCESS	341.88		
0013436	A B DATA LTD								
POSTAGE 5/12	PI0903	130317	00	05/24/2012	010-1511-415.50-51	PRINTING/RELATED SERVICES	CHECK #: 9006260	20,000.00	
0001375	UNITED PARCEL SERVICES, INC.								
0000626452212	001416		00	06/01/2012	010-1511-415.50-51	DELIVERY SERVICE FSD	29.80		
0001375	UNITED PARCEL SERVICES, INC.								
0000626452202	001420		00	06/01/2012	010-1511-415.50-51	DELIVERY SERVICE FSD	29.80		
0016610	WAREHOUSE DIRECT INC								
15494980-0	PI0580	130056	00	06/04/2012	010-1511-415.60-74	OFFICE SUPPLIES	149.77		
0016610	WAREHOUSE DIRECT INC								
1557496-0	PI0809	130056	00	06/04/2012	010-1511-415.60-74	OFFICE SUPPLIES	294.04		
0010522	CHICAGO TRIBUNE-TRIBUNE MEDIA GROUP								
0270118	PI0990	130053	00	05/09/2012	010-1513-415.50-25	ADVERTISING	84.00		
0010522	CHICAGO TRIBUNE-TRIBUNE MEDIA GROUP								
0273820	PI1147	130053	00	05/16/2012	010-1513-415.50-25	ADVERTISING	84.00		
0009401	SHELDON, JASON								
PER DIEM	001439		00	06/01/2012	010-1610-581.50-22	PARK CITY, UT 6/24-6/30	443.75		
0015131	AT&T								
630Z57001205	PI1074	130427	00	06/04/2012	010-1610-581.50-41	COMMUNICATIONS SERVICES	92.00		
0015131	AT&T								
630R06115605	PI1075	130428	00	06/04/2012	010-1610-581.50-41	COMMUNICATIONS SERVICES	101.77		
0015131	AT&T								
630Z99656105	PI1161	130434	00	06/04/2012	010-1610-581.50-41	COMMUNICATIONS SERVICES	9.30		
0015131	AT&T								
365009343800000	PI1162	130434	00	06/04/2012	010-1610-581.50-41	COMMUNICATIONS SERVICES	13,493.54		
0015798	NORTHERN ILLINOIS UNIVERSITY								
TEL003767	PI1073	130388	00	06/02/2012	010-1610-581.50-41	COMMUNICATIONS SERVICES	2,400.00		
0011752	VERIZON WIRELESS								

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
2737056002	PI1072	130358	00	05/31/2012	010-1610-581.50-41	COMMUNICATIONS SERVICES	9,472.38	
0002731 1100261946	INSIGHT PUBLIC SECTOR PI1067	130166	00	06/04/2012	010-1610-581.60-69	COMPUTER EQUIPMENT	4,782.82	
0016610 1555764-0	WAREHOUSE DIRECT INC PI0860	130275	00	06/04/2012	010-1610-581.60-74	OFFICE SUPPLIES	69.52	
0003412 JUNE 2012	HARTFORD LIFE INSURANCE CO 001446		00	06/01/2012	010-2110-421.10-01	TOP 401A	CHECK #: 9006263	3,988.99
0011181 MEMBERSHIP	AFCI 001439		00	06/01/2012	010-2110-421.50-21	ELANA DEUCHLER	30.00	
0000954 NOTARY	DUPAGE, COUNTY OF 001439		00	06/01/2012	010-2110-421.50-21	DEBRA M MAZURKIEWICZ	10.00	
0006477 MEMBERSHP	DUPAGE, COUNTY OF 001439	CHIEF OF POLICE	00	06/01/2012	010-2110-421.50-21	ROBERT W MARSHALL	50.00	
0002583 NOTARY	ILLINOIS, STATE OF 001438		00	06/01/2012	010-2110-421.50-21	MARK KSIAZEK	10.00	
0017433 NOTARY	NOTARY EXPRESS INC 001429		00	06/01/2012	010-2110-421.50-21	THOMAS KAMMERER	54.99	
0008730 MEMBERSHIP	POLICE CHIEFS ASSN OF 001439	WILL COUNTY	00	06/01/2012	010-2110-421.50-21	ROBERT W MARSHALL	35.00	
0012039 2107	COLLEGE OF DUPAGE 001432		00	06/01/2012	010-2110-421.50-22	5 PEOPLE;BASIC TRUE ENFOR	250.00	
0000032 REGISTRATION	IAWF 001483		00	06/05/2012	010-2110-421.50-22	J KINCADE;PRAIRIE ST ANIM CONF	50.00	
0012039 2490	COLLEGE OF DUPAGE 001482		00	06/05/2012	010-2110-421.50-23	LAW ENF & FAMILY 4/21/12 J CHRISTENSON	50.00	
0008733 PER DIEM	WOODHAM, STEVEN 001430		00	06/01/2012	010-2110-421.50-23	URBANA, IL 5/21-5/24	161.00	
0010055 MILEAGE REIMB	DONOFRIO, SCOTT 001439		00	06/01/2012	010-2110-421.50-24	APRIL 2012	55.50	
0002683 REIMBURSEMENT	MASON, PATRICIA 001489		00	06/05/2012	010-2110-421.50-24	MILEAGE;APR/MAY 2012	32.21	
0014501 REIMBURSEMENT	PORUS, DONALD B 001466		00	06/05/2012	010-2110-421.50-24	MILEAGE;4/12	99.90	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0015174 REIMBURSEMENT	SEDOROOK, JASON P 001467		00 06/05/2012	010-2110-421.50-24	MILEAGE;APR/MAY 2012	122.10	
0008005 2012-05041	A BALLOON CREATION 001475		00 06/05/2012	010-2110-421.60-63	BALLOONS DIAL RETIREMENT PARTY	67.50	
0011800 REIMBURSEMENT	CUMMINGS, AMY 001439		00 06/01/2012	010-2110-421.60-63	UNIFORM PANTS	71.26	
0007822 0053616	RAY O'HERRON CO OF PI0994 130098		00 05/08/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	124.95	
0007822 0053966	RAY O'HERRON CO OF PI0995 130098		00 05/14/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054061	RAY O'HERRON CO OF PI0996 130098		00 05/15/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	48.95	
0007822 0054062	RAY O'HERRON CO OF PI0997 130098		00 05/15/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054060	RAY O'HERRON CO OF PI0998 130098		00 05/15/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054154	RAY O'HERRON CO OF PI0999 130098		00 05/16/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054155	RAY O'HERRON CO OF PI1000 130098		00 05/16/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054158	RAY O'HERRON CO OF PI1001 130098		00 05/16/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054159	RAY O'HERRON CO OF PI1002 130098		00 05/16/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054259	RAY O'HERRON CO OF PI1003 130098		00 05/17/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0054353	RAY O'HERRON CO OF PI1004 130098		00 05/18/2012	010-2110-421.60-63	OAKBROOK SHOES AND BOOTS	75.00	
0007822 0053425	RAY O'HERRON CO OF PI1012 130193		00 05/04/2012	010-2110-421.60-63	OAKBROOK CLOTHING	64.90	
0007822 0053553	RAY O'HERRON CO OF PI1013 130193		00 05/07/2012	010-2110-421.60-63	OAKBROOK CLOTHING	225.15	
0007822	RAY O'HERRON CO OF			OAKBROOK			

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0053726	PI1014	130193	00	05/10/2012	010-2110-421.60-63	CLOTHING	198.80	
0007822 0053727	RAY O'HERRON CO OF PI1015	130193	00	05/10/2012	010-2110-421.60-63	CLOTHING	272.95	
0007822 0053806	RAY O'HERRON CO OF PI1016	130193	00	05/11/2012	010-2110-421.60-63	CLOTHING	406.50	
0007822 0053807	RAY O'HERRON CO OF PI1017	130193	00	05/11/2012	010-2110-421.60-63	CLOTHING	40.90	
0007822 0053808	RAY O'HERRON CO OF PI1018	130193	00	05/11/2012	010-2110-421.60-63	CLOTHING	23.90	
0007822 0053809	RAY O'HERRON CO OF PI1019	130193	00	05/11/2012	010-2110-421.60-63	CLOTHING	9.00	
0007822 0054156	RAY O'HERRON CO OF PI1020	130193	00	05/16/2012	010-2110-421.60-63	CLOTHING	192.00	
0007822 0054184	RAY O'HERRON CO OF PI1021	130193	00	05/16/2012	010-2110-421.60-63	CLOTHING	192.00	
0007822 0054258	RAY O'HERRON CO OF PI1022	130193	00	05/17/2012	010-2110-421.60-63	CLOTHING	128.00	
0007822 0054352	RAY O'HERRON CO OF PI1023	130193	00	05/18/2012	010-2110-421.60-63	CLOTHING	118.00	
0016610 1545427-0	WAREHOUSE DIRECT INC PI0983	130045	00	05/04/2012	010-2110-421.60-74	OFFICE SUPPLIES	331.70	
0016610 1546596-0	WAREHOUSE DIRECT INC PI0984	130045	00	05/04/2012	010-2110-421.60-74	OFFICE SUPPLIES	16.90	
0016610 1560574-0	WAREHOUSE DIRECT INC PI0989	130051	00	06/04/2012	010-2110-421.60-74	OFFICE SUPPLIES	404.70	
0016610 1547824-0	WAREHOUSE DIRECT INC PI1145	130045	00	05/07/2012	010-2110-421.60-74	OFFICE SUPPLIES	116.88	
0016610 C1545427-0	WAREHOUSE DIRECT INC PI1146	130045	00	05/08/2012	010-2110-421.60-74	OFFICE SUPPLIES	150.96-	
0001375 0000626452212	UNITED PARCEL SERVICES, INC. 001417		00	06/01/2012	010-2120-421.35-09	DELIVERY SERVICE PD	9.01	
0001375 0000626452202	UNITED PARCEL SERVICES, INC. 001422		00	06/01/2012	010-2120-421.35-09	DELIVERY SERVICE PD	9.93	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0002893 5489	VEVCO INC PI1027	130221	00	05/15/2012	010-2120-421.50-28	PRINTING & SILK SCREENING	27.00	
0002893 5490	VEVCO INC PI1028	130221	00	05/15/2012	010-2120-421.50-28	PRINTING & SILK SCREENING	27.00	
0002893 5491	VEVCO INC PI1029	130221	00	05/17/2012	010-2120-421.50-28	PRINTING & SILK SCREENING	27.00	
0000987 7-890-31106	FEDERAL EXPRESS INC 001435		00	06/01/2012	010-2120-421.50-51	DELIVERY SERVICE PD	18.80	
0000987 7-890-31106	FEDERAL EXPRESS INC 001436		00	06/01/2012	010-2120-421.50-51	DELIVERY SERVICE PD	8.82	
0000987 7-898-19605	FEDERAL EXPRESS INC 001439		00	06/06/2012	010-2120-421.50-51	DELIVERY SERVICE PD	55.48	
0000987 7-898-19605	FEDERAL EXPRESS INC 001439		00	06/06/2012	010-2120-421.50-51	DELIVERY SERVICE PD	11.04	
0000987 7-898-19605	FEDERAL EXPRESS INC 001439		00	06/06/2012	010-2120-421.50-51	DELIVERY SERVICE PD	14.18	
0015589 31418	CHICAGO CRIME SCENE CLEANUP 001472		00	06/05/2012	010-2130-421.35-09	CLEAN SQUAD 171	125.00	
0000952 323-18327	DUPAGE COUNTY ANIMAL CARE CONTROL 001473		00	06/05/2012	010-2130-421.35-09	SERVICE FOR APRIL 2012	150.00	
0013415 21551	MAURICE MOORE MEMORIALS PI1026	130212	00	06/04/2012	010-2130-421.35-09	PROFESSIONAL SERVICES	1,519.00	
9000000 74021	1 ATT PLAZA 001462		00	06/05/2012	010-2130-421.35-09	RESEARCH FEE 2011-005810	40.00	
0011697 26876	ED JONES COMPANY INC, THE 001476		00	06/05/2012	010-2130-421.60-63	BADGE KAIRO K9 POLICE	106.00	
0008483 18671	SUBURBAN ACCENTS INC 001471		00	06/05/2012	010-2130-421.60-63	LETTERING SQUAD	750.00	
0017231 1110064	VISIONMETRIC LTD 009572		00	03/14/2012	010-2130-421.60-63	E-FIT MAINT 1/1-12/31/12	CHECK #: 560132	699.00-

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0017231 1110064	VISIONMETRIC LTD 009572		00	06/01/2012	010-2130-421.60-63	E-FIT MAINT 1/1-12/31/12	699.00	
0016075 26700	ACCESS DATA PI0962 130219		00	05/10/2012	010-2140-421.35-09	POLICE EQUIPMENT & SUPPLY	2,924.95	
0017158 70	AVENUE COMPUTER PI0961 130344		00	04/30/2012	010-2140-421.35-09	POLICE EQUIPMENT & SUPPLY	5,000.00	
0001988 T1239133	COMMUNICATION REVOLVING FUND 001485		00	06/05/2012	010-2140-421.35-09	MONTHLY CHARGES;IWIN SERV	46.52	
0015258 2012-APR093	TARGET 001487		00	06/05/2012	010-2140-421.35-09	RESEARCH 2012-002714	25.00	
0000108 824918096	WEST PAYMENT CENTER 001439		00	06/01/2012	010-2140-421.35-09	SERVICES;4/01-4/30/12	525.27	
0002355 204319	YAHOO 001484		00	06/05/2012	010-2140-421.35-09	RESEARCH FEE;2012-003045	30.44	
0016268 PETTY CSH 6/6	SMITH, CHRISTINA 001197		00	05/30/2012	010-2140-421.60-63	GAS 2011-014537	50.00	
0010511 12266	CONTINENTAL WEATHER SERVICE PI1037 130240		00	05/01/2012	010-2170-425.30-29	PROFESSIONAL SERVICES	175.00	
0014506 630261327505	AT&T PI1035 130238		00	05/04/2012	010-2170-425.50-41	COMMUNICATIONS SERVICES	9,133.86	
0014506 630845402405	AT&T PI1036 130238		00	05/04/2012	010-2170-425.50-41	COMMUNICATIONS SERVICES	221.41	
0000766 2932824	LANGUAGE LINE SERVICES PI0959 130239		00	04/30/2012	010-2170-425.50-41	COMMUNICATIONS SERVICES	166.45	
0016610 1561147-0	WAREHOUSE DIRECT INC PI1034 130231		00	05/18/2012	010-2170-425.60-74	OFFICE SUPPLIES	223.66	
0016268 PETTY CSH 6/6	SMITH, CHRISTINA 001196		00	05/30/2012	010-3110-419.10-11	GIFT CARDS SAFETY PROG	15.00	
0016268 PETTY CSH 6/6	SMITH, CHRISTINA 001198		00	05/30/2012	010-3110-419.50-22	MILEAGE;TRAINING	20.72	
0016918 100109778	SUN TIMES MEDIA PI1100 130222		00	04/30/2012	010-3110-419.50-25	PUBLICATION/AUDIOVISUAL	1,326.00	
0014825	THOMPSON ELEVATOR INSPECTION SERVS							

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
12NV-0025	PI1134	121363	00	05/10/2012	010-3120-419.30-29	INSPECTIONS, REQUIRED.	782.00	
0014825 12NV-0026	THOMPSON ELEVATOR INSPECTION SERVS PI1135	121363	00	05/17/2012	010-3120-419.30-29	INSPECTIONS, REQUIRED.	442.00	
0003872 MT250333-0001	TWIN OAKS LANDSCAPING INC PI1149	130117	00	05/19/2012	010-3120-419.30-29	PROFESSIONAL SERVICES	315.00	
0014731 05/14/2012	DUPAGE RIVER SALT CREEK WORKGROU PI0587	130215	00	06/04/2012	010-4210-431.50-21	ASSOCIATION DUES	6,143.00	
0002893 5499	VEVCO INC 001413		00	06/01/2012	010-4210-431.60-63	BUSINESS CARDS SCHWARTZHOFF	25.00	
0003872 MN250310-0002	TWIN OAKS LANDSCAPING INC PI1138	121676	00	05/31/2012	010-4220-431.30-29	PROFESSIONAL SERVICES	525.00	
0003872 MN250339-0001	TWIN OAKS LANDSCAPING INC PI1139	121676	00	05/31/2012	010-4220-431.30-29	PROFESSIONAL SERVICES	1,548.51	
0008461 655002	MEADE ELECTRIC COMPANY PI0443	112022	00	06/04/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	366.00	
0008461 655004	MEADE ELECTRIC COMPANY PI0444	112022	00	06/04/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	366.00	
0008461 655006	MEADE ELECTRIC COMPANY PI0445	112022	00	06/04/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	183.00	
0008461 655007	MEADE ELECTRIC COMPANY PI0446	112022	00	06/04/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	366.00	
0008461 655032	MEADE ELECTRIC COMPANY PI0600	112022	00	06/04/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	2,368.12	
0008461 655033	MEADE ELECTRIC COMPANY PI0602	112022	00	06/04/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	25,473.00	
0008461 655003	MEADE ELECTRIC COMPANY PI0710	112022	00	06/04/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	292.50	
0008461 654554	MEADE ELECTRIC COMPANY PI1092	130136	00	04/29/2012	010-4220-431.40-34	ELEC. EQPT. REQ. MAINT.	10,780.50	
0002631 PER DIEM	RENDEK, KATHY A 000412		00	06/04/2012	010-4220-431.40-34	PARK CITY, UT 6/26-6/29	284.00	
0000901 4627041010	COMMONWEALTH EDISON PI1150	130137	00	05/05/2012	010-4220-431.60-42	PURCHASE POWER	240.21	
0014657	MECHANICAL DESIGN INC.							

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
23468	PI1101	130384	00 05/10/2012	010-4230-431.30-29	PROFESSIONAL SERVICES	1,770.00	
0014657 23467	MECHANICAL DESIGN INC. PI1102	130384	00 05/20/2012	010-4230-431.30-29	PROFESSIONAL SERVICES	1,560.00	
0007904 19407	PEZZA LANDSCAPE INC PI1095	090089	00 04/30/2012	010-4230-431.30-29	CONSTRUCTION	171.50	
0007904 19441	PEZZA LANDSCAPE INC PI1103	090089	00 05/09/2012	010-4230-431.30-29	CONSTRUCTION	857.47	
0007904 19455	PEZZA LANDSCAPE INC PI1106	090089	00 05/12/2012	010-4230-431.30-29	CONSTRUCTION	1,280.12	
0007904 19465	PEZZA LANDSCAPE INC PI1109	090089	00 05/17/2012	010-4230-431.30-29	CONSTRUCTION	342.99	
0007846 3178838-2354-2	WASTE MANAGEMENT INC PI1251	130027	00 06/05/2012	010-4230-431.30-29	PROFESSIONAL SERVICES	9,128.00	
0000057 88584MB	K-FIVE CONSTRUCTION CORP PI1124	120910	00 05/31/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	638.97	
0000057 88598MB	K-FIVE CONSTRUCTION CORP PI1125	120910	00 06/02/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	491.31	
0000057 88612MB	K-FIVE CONSTRUCTION CORP PI1126	120910	00 06/03/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	374.06	
0000057 88617MB	K-FIVE CONSTRUCTION CORP PI1127	120910	00 06/05/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	785.29	
0000057 88635MB	K-FIVE CONSTRUCTION CORP PI1128	120910	00 06/05/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	1,093.86	
0000057 88649MB	K-FIVE CONSTRUCTION CORP PI1129	120910	00 06/05/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	1,981.81	
0000057 88681MB	K-FIVE CONSTRUCTION CORP PI1130	120910	00 06/04/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	287.92	
0000057 88693MB	K-FIVE CONSTRUCTION CORP PI1131	120910	00 06/04/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	699.15	
0000057 88707MB	K-FIVE CONSTRUCTION CORP PI1132	120910	00 06/04/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	239.54	
0000057 88727MB	K-FIVE CONSTRUCTION CORP PI1133	120910	00 06/04/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	685.58	
0001182	NAGEL TRUCKING & MATERIALS INC						

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49121	PI1122	120555	00	05/02/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	1,246.88	
0001182 49126	NAGEL TRUCKING & MATERIALS INC PI1123	120555	00	05/03/2012	010-4230-431.60-66	MATERIALS, ROAD & HIWAY	918.10	
0013543 30569	KARD PROTECTION GROUP INC PI1186	130131	00	05/30/2012	010-4240-418.30-29	SECURITY, FIRE/SAFETY SERV	3,020.22	
0008748 30076APRIL	MLADY MAINTENANCE INC PI1207	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	920.00	
0008748 30076APRIL	MLADY MAINTENANCE INC PI1208	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	381.80	
0008748 30076APRIL	MLADY MAINTENANCE INC PI1209	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	82.80	
0008748 30076APRIL	MLADY MAINTENANCE INC PI1210	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	487.60	
0008748 30077APRIL	MLADY MAINTENANCE INC PI1211	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	1,113.20	
0008748 30077APRIL	MLADY MAINTENANCE INC PI1212	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	220.80	
0008748 30077APRIL	MLADY MAINTENANCE INC PI1213	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	9.20	
0008748 30077APRIL	MLADY MAINTENANCE INC PI1214	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	230.00	
0008748 30078APRIL	MLADY MAINTENANCE INC PI1216	130026	00	05/31/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	552.00	
0008748 30087MAY	MLADY MAINTENANCE INC PI1218	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	920.00	
0008748 30087MAY	MLADY MAINTENANCE INC PI1219	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	381.80	
0008748 30087MAY	MLADY MAINTENANCE INC PI1220	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	82.80	
0008748 30087MAY	MLADY MAINTENANCE INC PI1221	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	487.60	
0008748 30088MAY	MLADY MAINTENANCE INC PI1222	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	1,113.20	
0008748	MLADY MAINTENANCE INC							

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30088MAY	PI1223	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	220.80	
0008748 30088MAY	MLADY MAINTENANCE INC PI1224	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	9.20	
0008748 30088MAY	MLADY MAINTENANCE INC PI1225	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	230.00	
0008748 30089MAY	MLADY MAINTENANCE INC PI1227	130026	00	06/06/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	552.00	
0008748 30092MAY	MLADY MAINTENANCE INC PI1229	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	1,113.20	
0008748 30092MAY	MLADY MAINTENANCE INC PI1230	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	220.80	
0008748 30092MAY	MLADY MAINTENANCE INC PI1231	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	9.20	
0008748 30092MAY	MLADY MAINTENANCE INC PI1232	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	230.00	
0008748 30095MAY	MLADY MAINTENANCE INC PI1235	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	552.00	
0008748 30096MAY	MLADY MAINTENANCE INC PI1236	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	920.00	
0008748 30096MAY	MLADY MAINTENANCE INC PI1237	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	381.80	
0008748 30096MAY	MLADY MAINTENANCE INC PI1238	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	82.80	
0008748 30096MAY	MLADY MAINTENANCE INC PI1239	130026	00	06/05/2012	010-4240-418.30-29	FACILITY MAINT. SERVICE	487.60	
0007128 31083	ADVANCED ELEVATOR CO PI1206	130001	00	06/01/2012	010-4240-418.40-34	FACILITY MAINT. SERVICE	349.94	
0003931 05/07/2012	GREENWAY REMODELING & CONSTRUCTION PI0738	121711	00	06/04/2012	010-4240-418.40-34	FACILITY MAINT. SERVICE	7,325.93	
0017353 05/09/2012	GREENWAY REMODELING & CONTRACTING PI1310	130383	00	05/09/2012	010-4240-418.40-34	FACILITY MAINT. SERVICE	343.55	
0017309 04298-RB	ST. JOSEPH CABINETRY AND DESIGNS PI1098	121517	00	05/02/2012	010-4240-418.40-34	FACILITY MAINT. SERVICE	2,300.00	
0016672	CENTERPOINT ENERGY SERVICES INC							

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3917201	PI1187	120052	00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	167.05	
0016672 3917201	CENTERPOINT PI1188	ENERGY 120052	SERVICES INC 00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	40.81	
0016672 3917201	CENTERPOINT PI1189	ENERGY 120052	SERVICES INC 00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	69.86	
0016672 3917201	CENTERPOINT PI1190	ENERGY 120052	SERVICES INC 00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	40.44	
0016672 3917201	CENTERPOINT PI1191	ENERGY 120052	SERVICES INC 00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	54.53	
0016672 3917201	CENTERPOINT PI1192	ENERGY 120052	SERVICES INC 00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	42.57	
0016672 3917201	CENTERPOINT PI1193	ENERGY 120052	SERVICES INC 00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	105.36	
0016672 3917201	CENTERPOINT PI1194	ENERGY 120052	SERVICES INC 00 06/05/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	36.04	
0000210 19-31-50-1000	NICOR GAS CORP 9PI1264	130139	00 05/21/2012	010-4240-418.60-44	FUEL,OIL,GREASE, & LUBES	39.25	
0001031 9755516250	GRAINGER INC PI1180	130128	00 03/16/2012	010-4240-418.60-66	BUILDING MATERIALS	141.72	
0001031 9778531211	GRAINGER INC PI1181	130128	00 04/13/2012	010-4240-418.60-66	BUILDING MATERIALS	615.16	
0001031 9783995443	GRAINGER INC PI1182	130128	00 04/20/2012	010-4240-418.60-66	BUILDING MATERIALS	347.40	
0001031 9798121795	GRAINGER INC PI1184	130128	00 05/09/2012	010-4240-418.60-66	BUILDING MATERIALS	446.86	
0001031 9799921268	GRAINGER INC PI1185	130128	00 05/11/2012	010-4240-418.60-66	BUILDING MATERIALS	492.60	
0001031 9820935006	GRAINGER INC PI1260	130128	00 06/06/2012	010-4240-418.60-66	BUILDING MATERIALS	758.71	
0001031 9824101100	GRAINGER INC PI1261	130128	00 06/05/2012	010-4240-418.60-66	BUILDING MATERIALS	24.44	
0008461 654871	MEADE ELECTRIC COMPANY PI0306	120162	00 06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	3,822.80	
0008461	MEADE ELECTRIC COMPANY						

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654870	PI0160	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	5,103.35	
0008461 654873	MEADE ELECTRIC COMPANY PI0612	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	1,654.38	
0008461 654874	MEADE ELECTRIC COMPANY PI0613	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	1,193.77	
0008461 654875	MEADE ELECTRIC COMPANY PI0614	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	1,580.30	
0008461 654876	MEADE ELECTRIC COMPANY PI0615	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	1,814.10	
0008461 654877	MEADE ELECTRIC COMPANY PI0616	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	1,578.94	
0008461 654878	MEADE ELECTRIC COMPANY PI0617	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	1,955.06	
0008461 655030	MEADE ELECTRIC COMPANY PI0619	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	627.86	
0008461 655031	MEADE ELECTRIC COMPANY PI0620	120162	00	06/04/2012	010-4710-431.40-34	TRAFFIC SIGNAL	9,965.67	
0008461 653799	MEADE ELECTRIC COMPANY PI0946	130069	00	02/20/2012	010-4710-431.40-34	ELEC. EQPT. REQ. MAINT.	183.00	
0008461 653899	MEADE ELECTRIC COMPANY PI0947	130069	00	02/20/2012	010-4710-431.40-34	ELEC. EQPT. REQ. MAINT.	183.00	
0001375 0000626452212	UNITED PARCEL SERVICES, INC. 001414		00	06/01/2012	010-4710-431.50-51	DELIVERY SERVICE TED	39.47	
0001375 0000626452202	UNITED PARCEL SERVICES, INC. 001421		00	06/01/2012	010-4710-431.50-51	DELIVERY SERVICE TED	43.36	
TOTAL FOR GENERAL FUND							258,724.91	
0002318 CK 0004023604	GENERAL CABLE INDUSTRIES INC 001200		00	05/31/2012	410-0000-124.91-00	OFFSET CRDT;STEEL REELS PO 120741	5,850.00	
0002318 CK 0004024417	GENERAL CABLE INDUSTRIES INC 001495		00	06/05/2012	410-0000-124.91-00	OFFSET CRDT IN SYSTEM RETURNED STEEL REELS	10,237.50	
0005885	FLETCHER-REINHARDT CO							

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S1061137.001	PI0818		00 06/04/2012	410-0000-141.00-00	METERS PO NUM 121803	184.00	
0004086 1018827563	GEMPLERS PI0826		00 06/04/2012	410-0000-141.00-00	SAFETY EQUIPMENT PO NUM 130119	276.00	
0004086 1018827563	GEMPLERS PI0827		00 06/04/2012	410-0000-141.00-00	RAGS, SHOP TOWELS ETC PO NUM 130119	273.60	
0002318 1419229	GENERAL CABLE INDUSTRIES INC PI3997		00 08/26/2011	410-0000-141.00-00	CONDUCTORS (WIRE & CABLE) PO NUM 120741	3,900.00-	
0002318 1419230	GENERAL CABLE INDUSTRIES INC PI3998		00 08/26/2011	410-0000-141.00-00	CONDUCTORS (WIRE & CABLE) PO NUM 120741	1,950.00-	
0002318 PO121648	GENERAL CABLE INDUSTRIES INC PI1770		00 04/27/2012	410-0000-141.00-00	CONDUCTORS (WIRE & CABLE) PO NUM 121648	10,237.50-	
0000536 960282379	GRAYBAR ELECTRIC INC PI0565		00 06/04/2012	410-0000-141.00-00	LIGHTING, LAMPS & FIXTURE PO NUM 130008	420.42	
0002608 3012569	UNIVERSAL UTILITY SUPPLY CO PI0819		00 06/04/2012	410-0000-141.00-00	CONDUIT & ACCESSORIES PO NUM 121805	19,152.00	
0000163 655353	WESCO DISTRIBUTION INC PI0558		00 06/04/2012	410-0000-141.00-00	LIGHTING, LAMPS & FIXTURE PO NUM 121595	2,080.00	
0000163 655354	WESCO DISTRIBUTION INC PI0564		00 06/04/2012	410-0000-141.00-00	JANITORIAL SUPPLIES PO NUM 130005	236.20	
0000163 655783	WESCO DISTRIBUTION INC PI0814		00 06/04/2012	410-0000-141.00-00	LIGHTING, LAMPS & FIXTURE PO NUM 121730	1,970.00	
0000163 657008	WESCO DISTRIBUTION INC PI0816		00 06/04/2012	410-0000-141.00-00	TOOLS, HAND PO NUM 121749	1,367.88	
0000163 655784	WESCO DISTRIBUTION INC PI0821		00 06/04/2012	410-0000-141.00-00	TOOLS, HAND PO NUM 130005	417.70	
0000163	WESCO DISTRIBUTION INC						

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656226	PI0822		00	06/04/2012	410-0000-141.00-00	JANITORIAL SUPPLIES PO NUM 130005	37.80	
0000163 656227	WESCO DISTRIBUTION PI0825	INC	00	06/04/2012	410-0000-141.00-00	HARDWARE PO NUM 130118	696.00	
0000163 657594	WESCO DISTRIBUTION PI0829	INC	00	06/04/2012	410-0000-141.00-00	SHOES AND BOOTS PO NUM 130124	306.86	
0000163 659136	WESCO DISTRIBUTION PI0910	INC	00	05/17/2012	410-0000-141.00-00	UNDERGROUND HARDWARE PO NUM 121786	160.00	
0000163 658107	WESCO DISTRIBUTION PI0914	INC	00	05/15/2012	410-0000-141.00-00	UNDERGROUND HARDWARE PO NUM 130121	320.00	
0000163 659138	WESCO DISTRIBUTION PI0916	INC	00	05/17/2012	410-0000-141.00-00	SAFETY EQUIPMENT PO NUM 130213	208.08	
0000163 659139	WESCO DISTRIBUTION PI0923	INC	00	05/17/2012	410-0000-141.00-00	TOOLS, HAND PO NUM 130276	482.70	
0000163 659141	WESCO DISTRIBUTION PI0924	INC	00	05/17/2012	410-0000-141.00-00	TOOLS, HAND PO NUM 130276	38.30	
0013458 143706	SIKICH LLP PI1053	130375	00	05/21/2012	410-3310-533.35-02	PROFESSIONAL SERVICES	2,845.00	
0000314 52995	GENEVA CONSTRUCTION CO PI1143	121824	00	05/07/2012	410-3320-533.40-34	CONSTRUCTION	384.58	
0016610 1548505-0	WAREHOUSE DIRECT INC PI0579	130054	00	06/04/2012	410-3320-533.60-74	OFFICE SUPPLIES	40.94	
0016610 1552070-0	WAREHOUSE DIRECT INC PI0585	130209	00	06/04/2012	410-3330-533.60-74	OFFICE SUPPLIES	8.95	
0016610 1555537-0	WAREHOUSE DIRECT INC PI0858	130209	00	06/04/2012	410-3330-533.60-74	OFFICE SUPPLIES	10.26	
0016610 1560224-0	WAREHOUSE DIRECT INC PI0859	130209	00	06/04/2012	410-3330-533.60-74	OFFICE SUPPLIES	71.40	
0016610 1573718-0	WAREHOUSE DIRECT INC PI1172	130209	00	06/01/2012	410-3330-533.60-74	OFFICE SUPPLIES	6.25	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0002140 8554	MYTHICS INC PI0790	121469	00 06/04/2012	410-3331-533.30-29	COMPUTER EQUIPMENT	2,027.16	
0012492 PER DIEM	KAUZLARICH, KATHLEEN A 000603		00 05/28/2012	410-3340-533.50-22	CANYONS,PARK CITY UT 6/24-6/30	443.75	
0016610 1554275-0	WAREHOUSE DIRECT INC PI0851	130020	00 06/04/2012	410-3340-533.60-74	OFFICE SUPPLIES	66.98	
0013829 63Y74512	ASPLUNDH TREE EXPERT CO PI0705	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	443.20	
0013829 63Y74712	ASPLUNDH TREE EXPERT CO PI0706	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	903.36	
0013829 63Y74912	ASPLUNDH TREE EXPERT CO PI0707	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	702.36	
0013829 63Y75112	ASPLUNDH TREE EXPERT CO PI0708	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	846.80	
0013829 63Y74612	ASPLUNDH TREE EXPERT CO PI0570	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	1,772.80	
0013829 63Y74812	ASPLUNDH TREE EXPERT CO PI0571	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	2,924.82	
0013829 63Y75012	ASPLUNDH TREE EXPERT CO PI0572	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	2,569.92	
0013829 63Y75212	ASPLUNDH TREE EXPERT CO PI0573	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	3,780.80	
0013829 64L76612	ASPLUNDH TREE EXPERT CO PI0964	101526	00 06/04/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	2,216.00	
0013829 64L76712	ASPLUNDH TREE EXPERT CO PI0965	101526	00 05/18/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	3,562.72	
0013829 64L76812	ASPLUNDH TREE EXPERT CO PI0966	101526	00 05/18/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	3,172.54	
0013829 64L76912	ASPLUNDH TREE EXPERT CO PI0967	101526	00 05/18/2012	410-3341-533.40-34	GROUNDS & PARK SERVICES	5,217.18	
0008748 30090	MLADY MAINTENANCE INC PI1228	130026	00 06/05/2012	410-3342-533.40-34	FACILITY MAINT. SERVICE	907.20	
0000121	BUESING BROTHERS INC						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
5146	PI0842	121118	00	06/04/2012	410-3342-533.40-40	CONSTRUCTION	3,190.00	
0007904 19407	PEZZA LANDSCAPE INC PI1096	090089	00	04/30/2012	410-3342-533.40-40	CONSTRUCTION	13,084.55	
0007904 19441	PEZZA LANDSCAPE INC PI1104	090089	00	05/09/2012	410-3342-533.40-40	CONSTRUCTION	2,965.60	
0007904 19455	PEZZA LANDSCAPE INC PI1107	090089	00	05/12/2012	410-3342-533.40-40	CONSTRUCTION	6,126.57	
0007904 19465	PEZZA LANDSCAPE INC PI1110	090089	00	05/17/2012	410-3342-533.40-40	CONSTRUCTION	3,727.77	
0000670 863000	HI-LINE UTILITY SUPPLY CO PI0955	130203	00	05/27/2012	410-3342-533.60-63	TOOLS, HAND	2,480.54	
0000670 864060	HI-LINE UTILITY SUPPLY CO PI0956	130203	00	05/27/2012	410-3342-533.60-63	TOOLS, HAND	134.25	
0000670 865360	HI-LINE UTILITY SUPPLY CO PI0957	130203	00	05/27/2012	410-3342-533.60-63	TOOLS, HAND	169.15	
0000670 864050	HI-LINE UTILITY SUPPLY CO PI0958	130204	00	05/27/2012	410-3342-533.60-63	EQUIPMENT REPAIR SERVICE	152.39	
0000670 870520	HI-LINE UTILITY SUPPLY CO PI1058	130203	00	05/30/2012	410-3342-533.60-63	TOOLS, HAND	135.23	
0000670 863001	HI-LINE UTILITY SUPPLY CO PI1059	130203	00	06/02/2001	410-3342-533.60-63	TOOLS, HAND	1,176.65	
9000000 CONF40008800632001490	OMNI WILLIAM PENN HOTEL		00	06/05/2012	410-3351-533.50-22	JEREMY PAMPUCH FINEPOINT CIRCUIT BREAKER	1,168.50	
0015553 TRAVEL REIMB	ZELENKA, STEVE 001433		00	06/01/2012	410-3351-533.50-22	PROTECTIVE PRINC/APPLICAT	126.64	
0016133 NAPERVIL_8BKY	HARRIS CORPORATION PI1087	100879	00	12/04/2010	410-3390-533.70-85	COMPUTER EQUIPMENT	175,452.42	
0016133 P000000015	HARRIS CORPORATION PI1090	100879	00	03/21/2012	410-3390-533.70-85	COMPUTER EQUIPMENT	7,500.00	
0000121 5140	BUESING BROTHERS INC PI0028	121118	00	05/27/2012	410-3390-533.70-89	CONSTRUCTION	8,555.00	
0000121 5145	BUESING BROTHERS INC PI0576	121118	00	06/04/2012	410-3390-533.70-89	CONSTRUCTION	1,375.00	
0000121	BUESING BROTHERS INC							

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
5147	PI0843	121118	00	06/04/2012	410-3390-533.70-89	CONSTRUCTION	9,509.00	
0000121 5148	BUESING BROTHERS INC PI0844	121118	00	06/04/2012	410-3390-533.70-89	CONSTRUCTION	33,999.50	
0000121 5151	BUESING BROTHERS INC PI0971	121118	00	06/04/2012	410-3390-533.70-89	CONSTRUCTION	970.00	
0012081 960231200	GRAYBAR COMMUNICATIONS GROUP PI0974	121607	00	05/09/2012	410-3390-533.70-89	CONSTRUCTION	22,553.28	
0016500 111597	HERITAGE LOGISTICS LLC PI0841	120641	00	06/04/2012	410-3390-533.70-89	MATERIALS, ROAD & HIWAY	244.44	
0001599 28363	ROAKE & ASSOC INC PI0770	082185	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	6,517.50	
0001599 28364	ROAKE & ASSOC INC PI0771	082185	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	1,260.00	
0001599 28365	ROAKE & ASSOC INC PI0772	082185	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	1,119.50	
0001599 28366	ROAKE & ASSOC INC PI0773	082185	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	2,708.75	
0001599 28367	ROAKE & ASSOC INC PI0839	082185	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	915.00	
0001599 28368	ROAKE & ASSOC INC PI0840	082185	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	267.50	
0009133 5925-446273	SCHWEITZER ENGINEERING LAB PI0975	121773	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	6,646.95	
0009133 5925-446833	SCHWEITZER ENGINEERING LAB PI0976	121773	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	1,500.00	
0009133 5925-448253	SCHWEITZER ENGINEERING LAB PI0977	121773	00	06/04/2012	410-3390-533.70-89	PROFESSIONAL SERVICES	45,933.00	
0009133 21670-446858	SCHWEITZER ENGINEERING LAB PI0978	121780	00	05/10/2012	410-3390-533.70-89	COMPUTER EQUIPMENT	19,536.00	
0009133 21670-446937	SCHWEITZER ENGINEERING LAB PI0979	121780	00	05/10/2012	410-3390-533.70-89	COMPUTER EQUIPMENT	1,032.00	
0003909 INTEREST/PRINCI	CEDE & CO 000936		00	06/01/2012	410-9511-533.90-54	2005 G.O.	CHECK #: 9006255	359,322.92
0003909	CEDE & CO							

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
INTEREST/PRINCI000938			00	05/22/2012	410-9511-533.90-54	2008 G.O.	CHECK #: 9006255	188,242.45
0003909	CEDE & CO		00	05/22/2012	410-9511-533.90-54	2009 G.O.	CHECK #: 9006255	74,737.50
INTEREST/PRINCI000942			00	05/22/2012	410-9511-533.90-54	2010 G.O. A,B,C	CHECK #: 9006255	31,875.00
0003909	CEDE & CO		00	05/22/2012	410-9511-533.90-54	2011 G.O.	CHECK #: 9006255	176,890.00
INTEREST/PRINCI000948			00	05/22/2012	410-9511-533.90-54			
0003909	CEDE & CO		00	05/22/2012	410-9511-533.90-54			
INTEREST/PRINCI000951			00	05/22/2012	410-9511-533.90-54			
TOTAL FOR ELECTRIC UTILITY FUND							1,276,853.06	
0016962	F H PASCHEN S N NIELSEN&ASSOC LLC		00	05/30/2012	414-3390-533.40-40	SUBSTATION SPARE EQUIP	28,260.01	
1550-025-2	PI0963 121497		00	05/30/2012	414-3390-533.40-40	PROFESSIONAL SERVICES	25,507.79	
0012972	RICKMAN CONTRACT SERVICES INC		00	06/04/2012	414-3390-533.40-40	PROFESSIONAL SERVICES	1,600.00	
110517-4	PI0574 110517		00	06/04/2012	414-3390-533.60-69	PROFESSIONAL SERVICES	335,382.97	
0001040	SUNGARD PUBLIC SECTOR, INC.		00	02/27/2012	414-3390-533.60-69	COMPUTER EQUIPMENT	705,332.28	
47062	PI0945 111432		00	02/27/2012	414-3390-533.60-73	COMPUTER EQUIPMENT		
0016763	ELSTER SOLUTIONS LLC INC		00	05/31/2012	414-3390-533.60-73			
8	PI0969 111423		00	05/31/2012	414-3390-533.60-73			
0016763	ELSTER SOLUTIONS LLC INC		00	05/31/2012	414-3390-533.60-73			
9	PI0970 111423		00	05/31/2012	414-3390-533.60-73			
TOTAL FOR ELECTRIC SMART GRID FUND							1,096,083.05	
0000536	GRAYBAR ELECTRIC INC		00	04/19/2012	430-0000-141.00-00	FUSING & ACCESSORIES PO NUM 121705	203.76	
959892189	PI1076		00	04/19/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 121738	9,200.00	
0001204	NEPTUNE TECHNOLOGY GROUP INC		00	06/04/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130042	3,200.00	
N311568	PI0815		00	06/04/2012	430-0000-141.00-00	PIPE & FITTINGS PO NUM 130106	966.00	
0002076	UNDERGROUND PIPE & VALVE CO		00	06/04/2012	430-0000-141.00-00	CHEMICAL LAB EQUIP & SUPP PO NUM 130175	620.13	
174244	PI0823		00	06/04/2012	430-0000-141.00-00			
0002076	UNDERGROUND PIPE & VALVE CO		00	06/04/2012	430-0000-141.00-00			
174193	PI0824		00	06/04/2012	430-0000-141.00-00			
0007611	USA BLUE BOOK INC		00	06/04/2012	430-0000-141.00-00			
666682	PI0831		00	06/04/2012	430-0000-141.00-00			

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0000325 0231937	WATER PRODUCTS CO PI0556		00	06/04/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 121475	112.00	
0000325 0231956	WATER PRODUCTS CO PI0828		00	06/04/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130120	820.17	
0000325 0231957	WATER PRODUCTS CO PI0830		00	06/04/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130125	977.70	
0000325 0232010	WATER PRODUCTS CO PI0832		00	06/04/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130245	922.80	
0000325 0232011	WATER PRODUCTS CO PI0833		00	06/04/2012	430-0000-141.00-00	PIPE & FITTINGS PO NUM 130248	408.80	
0000325 0232011	WATER PRODUCTS CO PI0834		00	06/04/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130248	474.72	
0000325 0232172	WATER PRODUCTS CO PI0913		00	05/17/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130120	4.63	
0000325 0232173	WATER PRODUCTS CO PI0922		00	05/17/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130248	84.00	
0000325 0232187	WATER PRODUCTS CO PI0929		00	05/18/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130289	38.00	
0000163 658108	WESCO DISTRIBUTION INC PI0918		00	05/15/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130243	1,370.00	
0000735 216194-000	ZIEBELL WATER SERVICE PRODUCT PI0915		00	06/04/2012	430-0000-141.00-00	WATER DISTRIBUTION PO NUM 130123	1,308.60	
0016133 NAPERVIL_8BKY	HARRIS CORPORATION PI1088	100879	00	12/04/2010	430-3490-537.70-85	COMPUTER EQUIPMENT	116,968.28	
0016133 P000000015	HARRIS CORPORATION PI1091	100879	00	03/21/2012	430-3490-537.70-85	COMPUTER EQUIPMENT	5,000.00	
0016938	MANUSOS GENERAL CONTRACTING INC							

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4577	PI0972	121390	00	05/17/2012	430-3490-537.70-89	CONSTRUCTION	112,207.50	
0016938 4577	MANUSOS GENERAL CONTRACTING INC PI0973	121390	00	05/17/2012	430-3490-537.70-89	PUBLIC WORKS/RELATED SERV	55,669.50	
0015884 04028	MARC KRESMERY CONSTRUCTION LLC PI1117	111858	00	05/21/2012	430-3490-537.70-89	CONSTRUCTION	31,528.80	
0013458 143706	SIKICH LLP PI1054	130375	00	05/21/2012	430-3710-537.35-02	PROFESSIONAL SERVICES	2,800.00	
0000987 7-898-19605	FEDERAL EXPRESS INC 001439		00	06/06/2012	430-3810-537.50-51	DELIVERY SERVICE WSR	44.33	
0000987 7-898-19605	FEDERAL EXPRESS INC 001439		00	06/06/2012	430-3810-537.50-51	DELIVERY SERVICE WSR	44.33	
0014065 POSTAGE 5/12	UNITED STATES POSTAL SERVICE PI1056	130377	00	05/31/2012	430-3810-537.50-51	PROFESSIONAL SERVICES	9,275.00	
0000901 7340629000	COMMONWEALTH EDISON PI1009	130185	00	05/15/2012	430-3811-537.60-42	PURCHASE POWER	341.68	
0000901 6498647006	COMMONWEALTH EDISON PI1011	130185	00	05/16/2012	430-3811-537.60-42	PURCHASE POWER	91.74	
0000901 6856259004	COMMONWEALTH EDISON PI1152	130185	00	05/25/2012	430-3811-537.60-42	PURCHASE POWER	78.53	
0000901 6940180009	COMMONWEALTH EDISON PI1153	130185	00	05/25/2012	430-3811-537.60-42	PURCHASE POWER	147.64	
0000210 68-30-11-1000	NICOR GAS CORP 0001439		00	06/06/2012	430-3811-537.60-44	METER 2899919	24.15	
0000210 52-59-79-0000	NICOR GAS CORP 1001439		00	06/06/2012	430-3811-537.60-44	METER 3329760	46.23	
0000210 50-07-21-1000	NICOR GAS CORP 5001439		00	06/06/2012	430-3811-537.60-44	METER 2928586	29.21	
0000210 17-46-10-1000	NICOR GAS CORP 5001516		00	06/06/2012	430-3811-537.60-44	METER 2638949	37.40	
0000666 09606	DUPAGE WATER COMMISSION PI0606	120031	00	06/04/2012	430-3811-537.60-75	PURCHASE WATER	1,175,193.87	
0000993 9905135	FISHER SCIENTIFIC CO PI1039	130272	00	05/27/2012	430-3812-537.60-63	CHEMICAL LAB EQUIP & SUPP	373.90	

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0000210 59-96-09-1699	NICOR GAS CORP 3001514		00	06/06/2012	430-3813-537.60-44	METER 2900956	27.01	
0007723 728711	POLYDYNE INC PI1038 130256		00	05/15/2012	430-3813-537.60-64	CHEMICAL, COMMERCIAL,BULK	4,370.00	
0007179 REIMBURSEMENT	STRAUGHN, MARK 001503		00	06/05/2012	430-3910-537.50-24	MILEAGE APR/MAY 2012	46.62	
0000210 80-90-75-3807	NICOR GAS CORP 0001527		00	06/06/2012	430-3910-537.60-44	METER 4475544	216.74	
0000210 76-77-20-1000	NICOR GAS CORP 5001528		00	06/06/2012	430-3910-537.60-44	METER 3610226	109.00	
0016610 1552701-0	WAREHOUSE DIRECT INC PI1032 130229		00	05/11/2012	430-3910-537.60-74	OFFICE SUPPLIES	150.64	
0000901 1094311002	COMMONWEALTH EDISON PI1008 130185		00	05/11/2012	430-3912-537.60-42	PURCHASE POWER	42.77	
0000901 7340778008	COMMONWEALTH EDISON PI1010 130185		00	05/15/2012	430-3912-537.60-42	PURCHASE POWER	444.05	
0000901 7274606000	COMMONWEALTH EDISON PI1154 130185		00	05/25/2012	430-3912-537.60-42	PURCHASE POWER	19.95	
0000210 94-47-25-3541	NICOR GAS CORP 1001517		00	06/06/2012	430-3912-537.60-44	METER 4254820	9.16	
0000210 02-60-82-4220	NICOR GAS CORP 8001518		00	06/06/2012	430-3912-537.60-44	METER 4127862	24.41	
0000210 92-37-30-1000	NICOR GAS CORP 5001519		00	06/06/2012	430-3912-537.60-44	METER 2840245	25.01	
0000210 25-40-07-1465	NICOR GAS CORP 2001520		00	06/06/2012	430-3912-537.60-44	METER 4477794	25.59	
0000210 23-68-65-9559	NICOR GAS CORP 5001521		00	06/06/2012	430-3912-537.60-44	METER 4145814	26.89	
0000210 26-77-40-1000	NICOR GAS CORP 8001522		00	06/06/2012	430-3912-537.60-44	METER 3073966	79.47	
0000210 32-04-57-9675	NICOR GAS CORP 5001523		00	06/06/2012	430-3912-537.60-44	METER 4145841	24.66	
0000210 63-44-40-8907	NICOR GAS CORP 0001524		00	06/06/2012	430-3912-537.60-44	METER 4581965	25.06	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0000210 51-46-10-1000	NICOR GAS CORP 4001525		00	06/06/2012	430-3912-537.60-44	METER 3611459	26.09	
0000210 14-15-30-1000	NICOR GAS CORP 5001526		00	06/06/2012	430-3912-537.60-44	METER 3146486	24.13	
0007904 19407	PEZZA LANDSCAPE INC PI1097 090089		00	04/30/2012	430-3913-537.40-40	CONSTRUCTION	1,117.53	
0007904 19441	PEZZA LANDSCAPE INC PI1105 090089		00	05/09/2012	430-3913-537.40-40	CONSTRUCTION	514.49	
0007904 19455	PEZZA LANDSCAPE INC PI1108 090089		00	05/12/2012	430-3913-537.40-40	CONSTRUCTION	1,114.72	
0007904 19465	PEZZA LANDSCAPE INC PI1111 090089		00	05/17/2012	430-3913-537.40-40	CONSTRUCTION	2,346.54	
0000210 38-71-79-0000	NICOR GAS CORP 5001515		00	06/06/2012	430-3940-537.60-44	METER 3059741	40.65	
0003909 INTEREST/PRINCI000943	CEDE & CO		00	05/22/2012	430-9511-537.90-54	2009 G.O.	CHECK #: 9006255	168,159.38
0003909 INTEREST/PRINCI000945	CEDE & CO		00	05/22/2012	430-9511-537.90-54	2010 G.O. A,B,C	CHECK #: 9006255	195,918.75
0003909 INTEREST/PRINCI000947	CEDE & CO		00	05/22/2012	430-9511-537.90-54	2010 G.O. A,B,C	CHECK #: 9006255	109,045.37
0003909 INTEREST/PRINCI000952	CEDE & CO		00	05/22/2012	430-9511-537.90-54	2011 G.O.	CHECK #: 9006255	138,985.00
TOTAL FOR WATER & WASTEWATER FUND							2,153,573.08	
0015604 34811	GRANICUS INC PI1062 130112		00	05/15/2012	501-1611-581.30-29	COMPUTER EQUIPMENT	410.00	
0002731 1100261948	INSIGHT PUBLIC SECTOR PI1068 130166		00	06/04/2012	501-1611-581.30-29	COMPUTER EQUIPMENT	3,327.24	
0014604 558867	B2B COMPUTER PRODUCTS PI1066 130160		00	06/04/2012	501-1611-581.40-35	COMPUTER EQUIPMENT	2,963.33	
0014604 558646	B2B COMPUTER PRODUCTS PI1065 130160		00	06/04/2012	501-1611-581.70-85	COMPUTER EQUIPMENT	19,418.41	
TOTAL FOR INFORMATION TECHNOLOGY							26,118.98	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0000377 048555	AURORA AREA SPRING INC PI1259	130127	00 06/05/2012	502-4610-582.40-34	EQUIPMENT REPAIR SERVICE	360.12	
0004702 14344	AUTO BODY BY DANIEL'S INC PI1252	130029	00 06/03/2012	502-4610-582.40-34	VEHICLE REPAIR SERVICES	1,015.67	
0000426 148085	CHARLES EQUIPMENT CO PI1198	121404	00 06/05/2012	502-4610-582.40-34	EQUIPMENT REPAIR SERVICE	1,764.12	
0005937 7333804	DELTA SONIC PI1183	130033	00 05/27/2012	502-4610-582.40-34	VEHICLE MAINTENANCE ITEMS	494.15	
0013012 170466	FIRESTONE TIRE & SERVICE CNTRS LLC PI1272	130147	00 06/02/2012	502-4610-582.40-34	VEHICLE REPAIR SERVICES	45.00	
0000044 05/01/2012	JIM'S TRUCK INSPECTION PI1291	130152	00 05/31/2012	502-4610-582.40-34	INSPECTIONS, REQUIRED.	389.00	
0000080 22952	REAL'S TIRE SERVICE PI1302	130156	00 06/05/2012	502-4610-582.40-34	EQUIPMENT REPAIR SERVICE	335.00	
0017122 I0720593	AL WARREN OIL COMPANY INC PI1196	120834	00 06/06/2012	502-4610-582.60-61	FUEL,OIL,GREASE, & LUBES	26,114.40	
0017122 I0720694	AL WARREN OIL COMPANY INC PI1197	120834	00 06/05/2012	502-4610-582.60-61	FUEL,OIL,GREASE, & LUBES	26,230.02	
0012948 3207557	FEECE OIL COMPANY PI1201	121707	00 05/31/2012	502-4610-582.60-61	FUEL,OIL,GREASE, & LUBES	2,411.72	
0012948 3207558	FEECE OIL COMPANY PI1202	121707	00 05/31/2012	502-4610-582.60-61	FUEL,OIL,GREASE, & LUBES	3,694.71	
0012948 3208882	FEECE OIL COMPANY PI1203	121707	00 06/05/2012	502-4610-582.60-61	FUEL,OIL,GREASE, & LUBES	2,672.91	
0012948 3208883	FEECE OIL COMPANY PI1204	121707	00 06/05/2012	502-4610-582.60-61	FUEL,OIL,GREASE, & LUBES	2,295.95	
0000147 1000558454	COFFMAN TRUCK SALES INC PI7383	100847	00 07/02/2010	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	275.00-	
0000147 1000578688	COFFMAN TRUCK SALES INC PI0592	100847	00 07/02/2010	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	194.60	
0000147 1000582635	COFFMAN TRUCK SALES INC PI0774	100847	00 07/02/2010	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	58.07	
0000580 5036299	FAIR OAKS FORD INC PI0294	120118	00 06/04/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	66.37	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0000580 5036343	FAIR OAKS FORD INC PI0296	120118	00	06/04/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	77.90	
0015590 5127	FIRE SERVICES, INC PI1269	130145	00	05/31/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	1,103.62	
0015590 5156	FIRE SERVICES, INC PI1270	130145	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	25.85	
0015590 5185	FIRE SERVICES, INC PI1271	130145	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	238.31	
0013012 170798	FIRESTONE TIRE & SERVICE CNTRS LLC PI1274	130147	00	06/05/2012	502-4610-582.60-73	TIRES AND TUBES	3.20	
0003042 55259	FLEET SAFETY SUPPLY INC PI1275	130149	00	05/31/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	76.00	
0003042 55304	FLEET SAFETY SUPPLY INC PI1276	130149	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	345.51	
0012310 134111	FOX VALLEY FORD PI1277	130150	00	05/31/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	41.46	
0012310 134113	FOX VALLEY FORD PI1278	130150	00	05/31/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	76.91	
0012310 134266	FOX VALLEY FORD PI1279	130150	00	06/03/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	55.61	
0012310 134302	FOX VALLEY FORD PI1280	130150	00	06/06/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	73.95	
0012310 134311	FOX VALLEY FORD PI1281	130150	00	06/06/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	328.58	
0012310 134560	FOX VALLEY FORD PI1282	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	98.56	
0012310 134632	FOX VALLEY FORD PI1283	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	96.12	
0012310 134633	FOX VALLEY FORD PI1284	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	475.32	
0012310 134634	FOX VALLEY FORD PI1285	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	59.30	
0012310 134638	FOX VALLEY FORD PI1286	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	119.32	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0012310 134640	FOX VALLEY FORD PI1287	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	14.98	
0012310 134652	FOX VALLEY FORD PI1288	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	126.79	
0012310 134709	FOX VALLEY FORD PI1289	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	54.99	
0012310 134710	FOX VALLEY FORD PI1290	130150	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	42.44	
0000394 798769	MAC'S AUTO SUPPLY INC PI1257	130108	00	06/01/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	193.96	
0000394 798888	MAC'S AUTO SUPPLY INC PI1258	130108	00	06/03/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	122.52	
0015537 62-111104	MOTIVE PARTS COMPANY PI1292	130154	00	06/01/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	163.20	
0015537 62-111188	MOTIVE PARTS COMPANY PI1293	130154	00	06/02/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	280.04	
0015537 62-111554	MOTIVE PARTS COMPANY PI1294	130154	00	06/06/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	113.30	
0015537 50-452513	MOTIVE PARTS COMPANY PI1295	130154	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	35.26	
0015537 62-111816	MOTIVE PARTS COMPANY PI1296	130154	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	515.91	
0015537 62-111922	MOTIVE PARTS COMPANY PI1297	130154	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	197.11	
0015537 50-453069	MOTIVE PARTS COMPANY PI1298	130154	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	113.30	
0015537 62-112047	MOTIVE PARTS COMPANY PI1299	130154	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	44.02	
0015537 62-112456	MOTIVE PARTS COMPANY PI1300	130154	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	6.71	
0015537 62-112780	MOTIVE PARTS COMPANY PI1301	130154	00	06/05/2012	502-4610-582.60-73	VEHICLE MAINTENANCE ITEMS	182.13	
0003507 C74410	STANDARD EQUIPMENT CO PI1307	130324	00	06/05/2012	502-4610-582.60-73	EQUIPMENT REPAIR PARTS	340.70	

VEND NO	VENDOR NAME								
INVOICE NO	VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED	
0003507 C74587	STANDARD EQUIPMENT CO PI1308	130324	00	06/05/2012	502-4610-582.60-73	EQUIPMENT REPAIR PARTS	196.35		
0000354 N73209	WEST SIDE EXCHANGE PI1303	130158	00	05/31/2012	502-4610-582.60-73	EQUIPMENT REPAIR PARTS	280.28		
0001449 TITLES/MP	ILLINOIS, SECRETARY OF STATE, CK GRP-O PLTS 001439		00	06/01/2012	502-4610-582.90-39	6 UNITS	630.00		
TOTAL FOR FLEET SERVICES FUND							74,816.32		
TOTAL FOR OPERATING FUNDS							4,886,169.40		

# City of Naperville

## Capital Projects Funds

### Report 3

Accounts Payable Check Run Date: 06/06/2012

VEND NO	VENDOR NAME	P.O.	BNK	CHECK/DUE	ACCOUNT	ITEM	EXPENDITURE	HAND-ISSUED
INVOICE NO	VOUCHER NO	NO		DATE	NO	DESCRIPTION	AMOUNT	
-----								
CAPITAL PROJECTS FUND								
-----								
0016133	HARRIS CORPORATION							
NAPERVIL_8BKY	PI1086	100879	00	12/04/2010	301-1610-581.70-90	COMPUTER EQUIPMENT	292,420.70	
0016133	HARRIS CORPORATION							
P000000015	PI1089	100879	00	03/21/2012	301-1610-581.70-90	COMPUTER EQUIPMENT	12,500.00	
0015815	SCHWANINGER & ASSOCIATES							
12684	PI0774	101438	00	06/04/2012	301-2180-421.35-01	CONSULTING SERVICES, MISC	946.15	
0000325	WATER PRODUCTS CO							
0231882	PI0982	130024	00	06/02/2012	301-4130-431.70-89	UNDERGROUND HARDWARE	9,605.40	
0009949	WELCH BROS INC							
1410780	PI1144	130023	00	06/04/2012	301-4130-431.70-89	UNDERGROUND HARDWARE	2,200.00	
0008420	CORDOGAN CLARK AND ASSOCIATES							
13379	PI1195	120604	00	06/05/2012	301-4240-418.70-89	PROFESSIONAL SERVICES	695.00	
0009177	TRANSYSTEMS CORPORATION							
11(2253565)	PI0948	111329	00	03/30/2012	301-4710-431.35-03	PROFESSIONAL SERVICES	377.42	
0009177	TRANSYSTEMS CORPORATION							
12(2273380)	PI0951	111329	00	04/30/2012	301-4710-431.35-03	PROFESSIONAL SERVICES	195.23	
9000000	DEUTSCH, DOUGLAS							
REIMBURSEMENT	001426		00	06/01/2012	301-4710-431.70-89	CITY SIDEWALK REPLACED	799.92	
0010708	DUPAGE COUNTY DEPART OF DEV.							
05/04/2012	PI1057	130399	00	05/31/2012	301-4710-431.70-89	FITNESS EQUIPMENT	4,458.00	
9000000	FISCHER, WAYNE							
REIMBURSEMENT	001427		00	06/01/2012	301-4710-431.70-89	CITY SIDEWALK REPLACED	713.81	
0000314	GENEVA CONSTRUCTION CO							
52995	PI1142	121824	00	05/07/2012	301-4710-431.70-89	CONSTRUCTION	19,527.83	
0004518	GLOBE CONSTRUCTION INC							
201217	PI1256	130072	00	05/04/2012	301-4710-431.70-89	CONSTRUCTION	179,595.00	
9000000	WESLY UNITED METHODIST CHURCH							
REIMBURSEMENT	001486		00	06/05/2012	301-4710-431.70-89	CITY SIDEWALK REPLACED	1,004.09	
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TOTAL FOR CAPITAL PROJECTS FUND							525,038.55	
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2010B G.O. BOND FUND								
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VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0000646 0211308	CEMCON LTD PI1099	121561	00 04/20/2012	330-4710-431.35-03	CONSULTING SERVICES, MISC	3,000.80	
0009177 11(2253565)	TRANSYSTEMS CORPORATION PI0949	111329	00 03/30/2012	330-4710-431.35-03	PROFESSIONAL SERVICES	188.72	
0009177 11(2253565)	TRANSYSTEMS CORPORATION PI0950	111329	00 03/30/2012	330-4710-431.35-03	PROFESSIONAL SERVICES	188.72	
0009177 12(2273380)	TRANSYSTEMS CORPORATION PI0952	111329	00 04/30/2012	330-4710-431.35-03	PROFESSIONAL SERVICES	97.62	
0009177 12(2273380)	TRANSYSTEMS CORPORATION PI0953	111329	00 04/30/2012	330-4710-431.35-03	PROFESSIONAL SERVICES	97.62	
0012888 5086662	U R S CORPORATION PI0968	111093	00 05/07/2012	330-4710-431.35-03	PROFESSIONAL SERVICES	1,314.58	
TOTAL FOR 2010B G.O. BOND FUND						4,888.06	
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VEHICLE REPLACEMENT FUND							
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0015034 052311	CURRIE MOTORS FRANKFORT PI1199	121426	00 06/05/2012	503-4610-582.70-87	VEHICLES, TRANSPORTATION	161,880.00	
0003799 12514	DIVERSIFIED FLEET SERVICES INC PI1205	121735	00 06/05/2012	503-4610-582.70-87	EQUIPMENT REPAIR SERVICE	2,741.00	
TOTAL FOR VEHICLE REPLACEMENT FUND						164,621.00	
TOTAL FOR CAPITAL PROJECT						694,547.61	

# City of Naperville

## Special Funds & Agency

### Report 4

Accounts Payable Check Run Date: 06/06/2012

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
----- NAPER SETTLEMENT FUND -----							
0008996 PETTY CSH	NAPER SETTLEMENT 6/6 001441		PETTY CASH 00 06/01/2012	016-7511-451.50-22	TRAIN/CAB FARE FE USER GROUP MTG	29.50	
0008996 PETTY CSH	NAPER SETTLEMENT 6/6 001442		PETTY CASH 00 06/01/2012	016-7511-451.50-22	TRAIN FARE FE USER GROUP MTG	11.50	
0015707 1359614	ADP SCREENING & SELECTION SERVICES 001480		00 06/05/2012	016-7511-451.50-26	BACKGROUND SCREENING	225.00	
0008996 PETTY CSH	NAPER SETTLEMENT 6/6 001443		PETTY CASH 00 06/01/2012	016-7511-451.50-45	VENDOR OF THE MONTH D DEFALCO	20.00	
0000987 7-905-22225	FEDERAL EXPRESS INC 001489		00 06/05/2012	016-7511-451.50-51	DELIVERY SERVICE NS	29.38	
0013518 111750629893	COSTCO WHOLESALE #342 001439		00 06/01/2012	016-7512-451.60-63	TABLES LEARNING EXP	99.98	
0007006 12883	STEVE MILLER, INC. PI0139 121615		00 06/03/2012	016-7513-451.40-34	PROFESSIONAL SERVICES	1,800.00	
0017406 REIMBURSEMENT	BRIDGE, JENNIFER 001439		00 06/01/2012	016-7515-451.30-29	EXHIBIT PANEL FOR BANK	63.22	
TOTAL FOR NAPER SETTLEMENT FUND						2,278.58	
----- NAPERVILLE LIBRARY FUND -----							
0013458 143706	SIKICH LLP PI1050 130375		00 05/21/2012	102-6104-455.35-02	PROFESSIONAL SERVICES	376.00	
TOTAL FOR NAPERVILLE LIBRARY FUND						376.00	
----- BURLINGTON PARKING FUND -----							
9000004 82622	BEKKEM, LAVANYA MR		00 05/24/2012	104-0000-124.99-00	CNCL PERMIT MR Refund Voucher	77.00	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
9000004 25624	HUEBENER, PAUL F. MR		00 05/24/2012	104-0000-124.99-00	CNCL PERMIT MR Refund Voucher	60.00	
0002136 48531	NAPERVILLE, CITY OF MR		00 06/01/2012	104-0000-124.99-00	CNCL PERMIT MR Refund Voucher	145.00	
9000004 48562	OSEPEK, GLEN MR		00 05/24/2012	104-0000-124.99-00	DUPLICATE PAYMENT MR Refund Voucher	10.00	
9000004 79204	RILEY, PAUL MR		00 05/24/2012	104-0000-124.99-00	CNCL PERMIT MR Refund Voucher	60.00	
9000004 33200	SCHUTZ, KATHRYN MR		00 05/24/2012	104-0000-124.99-00	CNCL PERMIT MR Refund Voucher	60.00	
9000004 21296	VAN DEGRAFT, CHRISTOPHER K. MR		00 05/29/2012	104-0000-124.99-00	CNCL PARKING PERMIT MR Refund Voucher	145.00	
9000004 48531	VANDEGRAFT, JENNIFER MR		00 05/23/2012	104-0000-124.99-00	CNCL PERMIT MR Refund Voucher	CHECK #: 562574	145.00-
9000004 64574	AGRAWAL, KESHAV K 000474		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 49097	BARANKO, MICHELLE 000434		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 52270	BELLORIN, LUIS 000466		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 76298	BHATIA, RAJESH L. 000478		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 63812	CHEN, EUGENE 000472		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 52611	CIARDULLO, BETH 000470		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 50867	ENSIGN, JAMES F. 000446		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004	FOLKEDAHL, DEBRA						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
49622	000436		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 50864	HAGEN, SEAN 000444		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 76325	HARRIS, PATRICIA A. 000488		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	65.00	
9000004 76270	HUNTER, STEPHEN L. 000476		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 52592	HUO, STEVEN 000468		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 76302	HYNES, KEVIN J. 000482		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 51035	JOHNSON, JAMES A 000448		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 7527	KNOLL, MARK 000494		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	30.00	
9000004 51130	KRAFT, MIKE/JANET 000452		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 52147	LEE, PAULA K 000456		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 76363	MCCABE, ROBERT 000490		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 50142	MERZ, STEVEN 000440		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 52248	MIKULKA, MARK 000464		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 76300	MITTLESTAEDT, JAMES M. 000480		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 50113	MOORE, BRIAN 000438		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 76303	NEWLAND, SANDRA R. 000484		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 52234	O'LEARY, JAMES 000458		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004	POWERS, ANNE						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
76441	000492		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 76320	RACZYK, BILL 000486		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	60.00	
9000004 50793	ROTHGURY, DAVID 000442		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 74441	SCOTT, ADAM 000496		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	30.00	
9000004 52239	TRABARIS, PHILIP 000460		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 52246	WALKER, ANTHONY 000462		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 51089	WILLIAMS, KELLY J 000450		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
9000004 52117	ZHU, DAVID 000454		00 05/09/2012	104-0000-207.14-00	PARKING DEPOSIT REF	50.00	
0013458 143706	SIKICH LLP PI1051 130375		00 05/21/2012	104-1510-434.35-02	PROFESSIONAL SERVICES	262.00	
0001375 0000626452212	UNITED PARCEL SERVICES, INC. 001418		00 06/01/2012	104-1510-434.35-09	DELIVERY SERVICE FSD	9.01	
0001375 0000626452202	UNITED PARCEL SERVICES, INC. 001423		00 06/01/2012	104-1510-434.35-09	DELIVERY SERVICE FSD	9.93	
9000015 110266	CHEN, JIAN-FENG 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	9.80	
9000015 104595	HOGAN, ARLENE 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	7.00	
9000015 122498	MAYHEW, MIKE 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	11.20	
9000015 112855-58	RENDER, MATTHEW 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	33.60	
9000015 112954	RODRIGUEZ DE MELO, ASTRID 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	8.05	
9000015 112988	SCHERF, CAROL 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	19.00	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
9000015 112675	SCHLACKS, DANIEL 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	10.50	
9000015 111413	VAN HORN, TRICIA 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	9.10	
9000015 111459	WALLACE, KELSEY 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	19.95	
9000015 111944	ZIEMBA, STEVEN 001439		00 06/01/2012	104-3110-434.90-38	GUARANTEED RIDE HOME PROG	13.65	
0008748 30077APRIL	MLADY MAINTENANCE INC PI1215 130026	00	05/31/2012	104-4410-434.30-29	FACILITY MAINT. SERVICE	257.60	
0008748 30088MAY	MLADY MAINTENANCE INC PI1226 130026	00	06/06/2012	104-4410-434.30-29	FACILITY MAINT. SERVICE	257.60	
0008748 30092MAY	MLADY MAINTENANCE INC PI1233 130026	00	06/05/2012	104-4410-434.30-29	FACILITY MAINT. SERVICE	257.60	
0016962 1550-022-2F	F H PASCHEN S N NIELSEN&ASSOC LLC PI1200 121439	00	06/05/2012	104-4410-434.40-34	PROFESSIONAL SERVICES	7,629.73	
0008461 654554	MEADE ELECTRIC COMPANY PI1093 130136	00	04/29/2012	104-4410-434.40-34	ELEC. EQPT. REQ. MAINT.	352.00	
0010836 87710 079	COMCAST CABLE 05170PI1159 130352	00	05/24/2012	104-4410-434.50-41	COMMUNICATIONS SERVICES	71.95	
0000210 01-30-11-1000	NICOR GAS CORP 1PI1263 130139	00	05/10/2012	104-4410-434.60-44	FUEL,OIL,GREASE, & LUBES	99.51	
0016589 72480-T2-412F	STANDARD PARKING CORPORATION PI0709 111043	00	06/04/2012	104-4410-434.70-89	PARKING LOT EQUIPMENT	2,718.25	
TOTAL FOR BURLINGTON PARKING FUND						14,154.03	
----- ARRA FED GRANTS FUND -----							
0017442 REIMBURSEMENT	ANDERSON, MICHAEL J 001458		00 06/05/2012	111-3161-461.90-28	RES HOME ENERGY PROGRAM	1,140.00	
0017439 REIMBURSEMENT	CHUPAS, PETER 001461		00 06/05/2012	111-3161-461.90-28	RES HOME ENERGY PROGRAM	1,500.00	
0017441 REIMBURSEMENT	JONES, MICHAEL W 001459		00 06/05/2012	111-3161-461.90-28	RES HOME ENERGY PROGRAM	1,137.50	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
0017440	MCMANAMEN, THOMAS J						
REIMBURSEMENT	001460	00	06/05/2012	111-3161-461.90-28	RES HOME ENERGY PROGRAM	1,179.74	
TOTAL FOR ARRA FED GRANTS FUND						4,957.24	
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SPEC.EV.& CULTURE AMENITY							
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0009816	CENTURY WALK CORPORATION						
GRANT	PI1044 130336	00	05/31/2012	134-8510-489.91-12	CONTRIBUTIONS	37,500.00	
0008430	NAPERVILLE DEVELOPMENT PARTNERSHIP						
GRANT	PI1045 130337	00	05/31/2012	134-8510-489.91-12	CONTRIBUTIONS	31,250.00	
0003480	NAPERVILLE MUNICIPAL BAND						
GRANT	PI1048 130353	00	05/31/2012	134-8510-489.91-12	CONTRIBUTIONS	32,752.75	
TOTAL FOR SPEC.EV.& CULTURE AMENITY						101,502.75	
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S.S.A. #24-DOWNTOWN MAINT							
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0005616	LABOR READY MIDWEST INC						
15974460	PI1311 130386	00	06/05/2012	136-4010-566.30-29	PROFESSIONAL SERVICES	816.48	
0005616	LABOR READY MIDWEST INC						
15994008	PI1312 130386	00	06/05/2012	136-4010-566.30-29	PROFESSIONAL SERVICES	895.86	
0008748	MLADY MAINTENANCE INC						
30086MAY	PI1217 130026	00	06/06/2012	136-4010-566.30-29	FACILITY MAINT. SERVICE	1,542.75	
0008748	MLADY MAINTENANCE INC						
30093MAY	PI1234 130026	00	06/04/2012	136-4010-566.30-29	FACILITY MAINT. SERVICE	1,542.75	
0001375	UNITED PARCEL SERVICES, INC.						
0000626452212	001419	00	06/01/2012	136-4010-566.30-29	DELIVERY SERVICE DPW	9.01	
0001375	UNITED PARCEL SERVICES, INC.						
0000626452202	001424	00	06/01/2012	136-4010-566.30-29	DELIVERY SERVICE DPW	9.94	
0013458	SIKICH LLP						
143706	PI1052 130375	00	05/21/2012	136-4010-566.35-02	PROFESSIONAL SERVICES	125.00	
0008461	MEADE ELECTRIC COMPANY						
655032	PI0601 112022	00	06/04/2012	136-4010-566.40-34	ELEC. EQPT. REQ. MAINT.	7,597.55	
0008461	MEADE ELECTRIC COMPANY						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
654554	PI1094	130136	00 04/29/2012	136-4010-566.40-34	ELEC. EQPT. REQ. MAINT.	1,200.00	
0000314 52995	GENEVA CONSTRUCTION CO PI1140	121824	00 05/07/2012	136-4010-566.70-89	CONSTRUCTION	14,964.37	
0000314 52995	GENEVA CONSTRUCTION CO PI1141	121824	00 05/07/2012	136-4010-566.70-89	CONSTRUCTION	8,508.40	
TOTAL FOR S.S.A. #24-DOWNTOWN MAINT						37,212.11	
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FED DRUG FORFEITURE FUND							
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0017438 TRP/100031009	GLOCK PROFESSIONALS INC 001479		00 06/05/2012	138-2110-421.50-22	ARMORERS COURSE J POPE	195.00	
TOTAL FOR FED DRUG FORFEITURE FUND						195.00	
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STATE DRUG FORFEITURE FD							
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0001449 TITLE FEE	ILLINOIS, SECRETARY OF STATE,CK GRP-A 001439		00 06/01/2012	139-2110-421.90-39	2000 FORD TAURUS	95.00	
0001074 FEES	ILLINOIS, STATE OF 001439		00 06/01/2012	139-2110-421.90-39	TRANSFER PLATES FROM 05 PONTIAC TO 03 INF	25.00	
TOTAL FOR STATE DRUG FORFEITURE FD						120.00	
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POLICE PENSION FUND							
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0013458 143706	SIKICH LLP PI1055	130375	00 05/21/2012	611-8121-594.35-02	PROFESSIONAL SERVICES	1,081.00	
0017434 2012-001	HOFFMAN, DIANE A - CLERICAL 001428		00 06/01/2012	611-8121-594.35-09	CLERICAL;JAN 12 MTG POLICE PENSION BRD	210.00	
TOTAL FOR POLICE PENSION FUND						1,291.00	
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GEN TRUST & AGENCY FUND							
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0000286	DUPAGE, COUNTY OF						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
RECORDING FEE	001457		00 06/05/2012	618-0000-208.04-45	19 COVENANTS;9 ROW	840.00	
0010053 2012-005272	B & L AUTO BODY 001468		00 06/05/2012	618-0000-208.05-02	TOWING FEE;5/16/12	167.00	
0009553 2012-4462	DARRELL'S INC 001439		00 06/01/2012	618-0000-208.05-02	TOW FEE 4/27/12	640.00	
0009553 2012-5119	DARRELL'S INC 001439		00 06/01/2012	618-0000-208.05-02	TOW FEE 5/12/12	145.00	
0000082 2012-5127	NAPERVILLE TOWING SERVICE INC 001439		00 06/01/2012	618-0000-208.05-02	TOW FEE 5/13/12	145.00	
0000082 2012-5473	NAPERVILLE TOWING SERVICE INC 001469		00 06/05/2012	618-0000-208.05-02	TOWING FEE; 5/20/12	145.00	
0000082 2012-4746	NAPERVILLE TOWING SERVICE INC 001470		00 06/05/2012	618-0000-208.05-02	TOWING FEE; 5/10/12	145.00	
0008929 REIMBURSEMENT	SCHILD, MARCIA 001463		00 06/05/2012	618-0000-208.14-00	BOOKS READING BUDDY PROG	201.50	
0005351 848870	VH BLACKINTON & CO INC 001474		00 06/05/2012	618-0000-208.41-00	AWARDS POLICE CEREMONY	396.00	
0002296 COST CNTR	ILLINOIS STATE POLICE 1751 001504		00 06/05/2012	618-0000-208.90-00	LIQUOR FINGERPRINTNG; APR	1,122.50	
TOTAL FOR GEN TRUST & AGENCY FUND						3,947.00	
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SELF INSURED BENEFITS FND							
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0017400 5/24/12	HSA BANK A DIV OF WEBSTER BANK NA 001193		00 05/24/2012	623-0000-367.18-00	EMPLOYEE HSA CONTRIBUTION	CHECK #: 9006257	952.70
0011651 FEE378322638	NATIONWIDE RETIREMENT SOLUTION 001490		00 06/05/2012	623-0000-369.99-02	REVERSE 457 LOAN R MALONEY	50.00	
0000844 05/19-05/25/12	BLUE CROSS-BLUE SHIELD OF ILL, INC. PI0904 130115		00 05/29/2012	623-9210-585.30-29	INSURANCE SERVICES	CHECK #: 9006261	912.74
0000844 05/26-05/31/12	BLUE CROSS-BLUE SHIELD OF ILL, INC. PI1168 130115		00 06/04/2012	623-9210-585.30-29	INSURANCE SERVICES	429.15	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.						

VEND NO	VENDOR NAME	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
5/12 SETTLEMENT	PI1174	130443	00	06/04/2012	623-9210-585.30-29	INSURANCE SERVICES	46,024.80	
0015605	AON CONSULTING INC	PI1118 120025	00	05/23/2012	623-9210-585.35-09	INSURANCE SERVICES	500.00	
0015605	AON CONSULTING INC	PI1119 120025	00	05/23/2012	623-9210-585.35-09	INSURANCE SERVICES	10,335.00	
0015605	AON CONSULTING INC	PI1121 120047	00	05/23/2012	623-9210-585.35-09	PROFESSIONAL SERVICES	12,000.00	
0015605	AON CONSULTING INC	PI1137 121521	00	05/30/2012	623-9210-585.35-09	INSURANCE SERVICES	6,500.00	
0015605	AON CONSULTING INC	PI1158 130333	00	05/23/2012	623-9210-585.35-09	INSURANCE SERVICES	2,165.00	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	5/12 SETTLEMENT PI1175	130443	00 06/04/2012	623-9210-585.50-46	INSURANCE SERVICES	17,576.40	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	05/19-05/25/12 PI0905	130115	00 05/29/2012	623-9210-585.90-47	INSURANCE SERVICES	CHECK #: 9006261	152,517.98
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	05/26-05/31/12 PI1169	130115	00 06/04/2012	623-9210-585.90-47	INSURANCE SERVICES	40,506.67	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	5/12 SETTLEMENT PI1176	130443	00 06/04/2012	623-9210-585.90-47	INSURANCE SERVICES	11,657.20-	
0017400	HSA BANK A DIV OF WEBSTER BANK NA	6/1/12 001450	00	06/01/2012	623-9210-585.90-47	EMPLOYER HSA CONTRIBUTION	CHECK #: 9006273	1,250.00
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	05/19-05/25/12 PI0906	130115	00 05/29/2012	623-9215-585.90-45	INSURANCE SERVICES	CHECK #: 9006261	655.23
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	05/26-05/31/12 PI1170	130115	00 06/04/2012	623-9215-585.90-45	INSURANCE SERVICES	165.04	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	5/12 SETTLEMENT PI1177	130443	00 06/04/2012	623-9220-585.30-29	INSURANCE SERVICES	23,336.10	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	5/12 SETTLEMENT PI1178	130443	00 06/04/2012	623-9220-585.50-46	INSURANCE SERVICES	172,155.70	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	05/19-05/25/12 PI0907	130115	00 05/29/2012	623-9220-585.90-47	INSURANCE SERVICES	CHECK #: 9006261	61,367.49
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.	05/26-05/31/12 PI1171	130115	00 06/04/2012	623-9220-585.90-47	INSURANCE SERVICES	24,699.50	
0000844	BLUE CROSS-BLUE SHIELD OF ILL, INC.							

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
5/12	SETTLEMENTPI1179	130443	00	06/04/2012	623-9220-585.90-47	INSURANCE SERVICES	6,153.30-	
0015443 246004	IUOE LOCAL 399,CK GRP-J PI0960 130335		00	04/18/2012	623-9226-585.50-46	PROFESSIONAL SERVICES	8,675.37	
0015443 248800	IUOE LOCAL 399,CK GRP-K PI1309 130335		00	05/22/2012	623-9226-585.50-46	PROFESSIONAL SERVICES	8,675.37	
0009586 05/24-05/30/12	DELTA DENTAL, INC PI0908 130210		00	05/29/2012	623-9230-585.30-29	INSURANCE SERVICES	CHECK #: 9006262	2,782.56
0009586 05/24-05/30/12	DELTA DENTAL, INC PI0909 130210		00	05/29/2012	623-9230-585.90-47	INSURANCE SERVICES	CHECK #: 9006262	16,167.25
0009586 05/31-06/06/12	DELTA DENTAL, INC PI1173 130210		00	06/04/2012	623-9230-585.90-47	INSURANCE SERVICES	CHECK #: 9006277	12,675.01
9000014 SETTLEMENT	VITON, KELLY 001439		00	06/01/2012	623-9710-585.90-47	CON CLAIM 2012GL023	400.00	
TOTAL FOR SELF INSURED BENEFITS FND							605,664.56	
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PAYROLL CLEARING FUND								
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0013609 20120601	I U O E LOCAL 150 - FIXED PR0601		00	06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	573.75	
0002018 20120601	I U O E LOCAL 150 ADMIN DUES PR0601		00	06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	962.04	
0014843 20120518	IAFF LOCAL 4302 PR0630		00	05/18/2012	802-0000-201.30-00	PAYROLL SUMMARY	30.62-	
0014843 20120518	IAFF LOCAL 4302 PR0630		00	05/18/2012	802-0000-201.30-00	PAYROLL SUMMARY	30.62	
0014843 20120601	IAFF LOCAL 4302 PR0601		00	06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	5,724.10	
0002212 20120601	ILLINOIS FRATERNAL ORDER OF PR0601		00	06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	3,255.35	
0002017 20120601	INTERNATIONAL BROTHERHOOD OF PR0601		00	06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	2,616.71	
0002025 20120601	INTERNATIONAL BROTHERHOOD OF PR0601		00	06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	1,169.54	
0009670	INTERNATIONAL BROTHERHOOD OF							

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
20120601	PR0601		00 06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	644.93	
0015443 20120601	IUOE LOCAL 399,CK PR0601		00 06/01/2012	802-0000-201.30-00	PAYROLL SUMMARY	360.88	
0010826 5/18/12	STATE DISBURSEMENT 001191		00 05/24/2012	802-0000-201.30-00	CHILD SUPPORT	CHECK #: 9006258	22,510.04
0010826 6/1/12	STATE DISBURSEMENT 001447		00 06/01/2012	802-0000-201.30-00	CHILD SUPPORT	CHECK #: 9006272	22,510.04
0002382 6/1/12	INTERNAL REVENUE SERVICE 001452		00 06/04/2012	802-0000-201.30-01	S/S, MED & TAX W/H FEDERAL PAYROLL TAXES	CHECK #: 9006274	649,321.50
0002023 6/1/12	ILLINOIS, STATE OF 001453		00 06/04/2012	802-0000-201.30-02	ILL STATE PAYROLL TAXES	CHECK #: 9006275	134,524.58
0001077 MAY 2012	ILLINOIS MUNICIPAL RETIREMENT 001455		00 06/04/2012	802-0000-201.30-04	EMPLOYEE ,VOL ,EMPLOYER	CHECK #: 9006276	644,254.08
0001093 6/1/12	INTERNATIONAL CITY-COUNTY 001450		00 06/01/2012	802-0000-201.30-05	ROTH IRA EMPLOYEE CONTRIB	CHECK #: 9006266	1,685.56
0001093 6/1/12	INTERNATIONAL CITY-COUNTY 001450		00 06/01/2012	802-0000-201.30-05	EMPLOYEE 457 CONTRIBUTION	CHECK #: 9006265	62,812.63
0011651 6/1/12	NATIONWIDE RETIREMENT SOLUTION 001449		00 06/01/2012	802-0000-201.30-06	EMPLOYEE 457 CONTRIBUTION	CHECK #: 9006269	57,531.41
0001093 6/1/12	INTERNATIONAL CITY-COUNTY 001450		00 06/01/2012	802-0000-201.30-17	IMRF EMPLOYEE RHSP CONTRI	CHECK #: 9006270	53,727.77
0013057 6/1/12	DIVERSIFIED INVESTMENT ADVISORS INC 001450		00 06/01/2012	802-0000-201.30-18	EMPLOYEE 457 CONTRIBUTION	CHECK #: 9006264	41,853.93
0014550 20120601	METROPOLITAN ALLIANCE OF POLICE PR0601		00 06/01/2012	802-0000-201.30-22	PAYROLL SUMMARY	357.75	
0014590 20120601	NAPERVILLE POLICE SERGEANTS ASSN PR0601		00 06/01/2012	802-0000-201.30-22	PAYROLL SUMMARY	144.25	
0013057 6/1/12	DIVERSIFIED INVESTMENT ADVISORS INC 001450		00 06/01/2012	802-0000-201.30-23	EMPLOYEE CONTRIBUTIONS	CHECK #: 9006271	45,918.43
0013057 6/1/12	DIVERSIFIED INVESTMENT ADVISORS INC 001450		00 06/01/2012	802-0000-201.30-25	EMPLOYEE 457 LOAN REPAY	CHECK #: 9006264	6,108.86
0010218 6/1/12	HARTFORD, THE 001450		00 06/01/2012	802-0000-201.30-25	EMPLOYEE 457 CONTRIBUTION	CHECK #: 9006268	60.91
0001093	INTERNATIONAL CITY-COUNTY						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
6/1/12	001450		00 06/01/2012	802-0000-201.30-25	EMPLOYEE 457 LOAN REPAY	CHECK #: 9006265	5,239.55
0011651 6/1/12	NATIONWIDE RETIREMENT SOLUTION 001450		00 06/01/2012	802-0000-201.30-25	EMPLOYEE 457 LOAN REPAY	CHECK #: 9006267	2,514.35
0016873 MAY-12	PROVIDENT LIFE AND ACCIDENT INS CO 001501		00 06/05/2012	802-0000-201.30-27	UNUM	CHECK #: 9006279	5,005.82
0002212 20120601	ILLINOIS FRATERNAL ORDER OF PR0601		00 06/01/2012	802-0000-201.30-28	PAYROLL SUMMARY	99.25	
0014550 20120601	METROPOLITAN ALLIANCE OF POLICE PR0601		00 06/01/2012	802-0000-201.30-29	PAYROLL SUMMARY	157.41	
0002212 20120601	ILLINOIS FRATERNAL ORDER OF PR0601		00 06/01/2012	802-0000-201.30-30	PAYROLL SUMMARY	416.85	
0017428 APR/MAY 2012	INFOARMOR INC 001506		00 06/05/2012	802-0000-201.30-31	PREMIUM AMOUNTS	525.00	
0017384 16269336	METLIFE 001437		00 06/01/2012	802-0000-201.30-32	INSURANCE	171.33	
0017384 16269337	METLIFE 001505		00 06/05/2012	802-0000-201.30-32	GROUP 3661610	430.93	
0017374 20120601	CITY OF NAPERVILLE FIREMAN'S PR0601		00 06/01/2012	802-0000-201.30-41	PAYROLL SUMMARY	544.64	
0017374 20120518	CITY OF NAPERVILLE FIREMAN'S PR0630		00 05/18/2012	802-0000-201.30-42	PAYROLL SUMMARY	271.90-	
0017374 20120518	CITY OF NAPERVILLE FIREMAN'S PR0630		00 05/18/2012	802-0000-201.30-42	PAYROLL SUMMARY	271.90	
0017374 20120601	CITY OF NAPERVILLE FIREMAN'S PR0601		00 06/01/2012	802-0000-201.30-42	PAYROLL SUMMARY	1,473.16	
0017374 20120601	CITY OF NAPERVILLE FIREMAN'S PR0601		00 06/01/2012	802-0000-201.30-43	PAYROLL SUMMARY	60,280.76	
0017374 20120601	CITY OF NAPERVILLE FIREMAN'S PR0630		00 06/01/2012	802-0000-201.30-43	PAYROLL SUMMARY	82.37	
0017374 20120601	CITY OF NAPERVILLE FIREMAN'S PR0601		00 06/01/2012	802-0000-201.30-44	PAYROLL SUMMARY	207.81	
0017400 6/1/12	HSA BANK A DIV OF WEBSTER BANK NA 001450		00 06/01/2012	802-0000-201.36-05	EMPLOYEE HSA CONTRIBUTION	CHECK #: 9006273	1,846.67
0016612	HERMANEK & GARA, P.C.						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
WAGE DEDUCTION	000929		00	05/23/2012	802-0000-201.50-02	MAY 2012 BACKUP IN PAYROLL	CHECK #: 562542	543.44-
0016612 WAGE DEDUCTION	HERMANEK & GARA, P.C. 000930		00	05/23/2012	802-0000-201.50-02	APRIL 2012 BACKUP IN PAYROLL	CHECK #: 562542	416.84-
0016612 WAGE DEDUCTION	HERMANEK & GARA, P.C. 001202		00	05/31/2012	802-0000-201.50-02	MAY 2012 BACKUP IN PAYROLL	CHECK #: 500309	543.44
TOTAL FOR PAYROLL CLEARING FUND							1,837,208.10	
TOTAL FOR SPECIAL FUNDS & AGENCY							2,608,906.37	

# City of Naperville

## Debt Service Funds

### Report 5

Accounts Payable Check Run Date: 06/06/2012

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
-----								
SSA #21-VAN BUREN DECK								
-----								
0003909	CEDE & CO							
INTEREST/PRINCI000934			00	06/01/2012	131-9525-472.90-54	2001A G.O.	CHECK #: 9006255	20,215.55
0003909	CEDE & CO							
INTEREST/PRINCI000949			00	05/22/2012	131-9525-472.90-54	2010 G.O. A,B,C	CHECK #: 9006255	24,810.94
TOTAL FOR SSA #21-VAN BUREN DECK							45,026.49	
-----								
SSA #23-NAPER MAIN FUND								
-----								
0003909	CEDE & CO							
INTEREST/PRINCI000939			00	05/22/2012	141-9525-472.90-54	2008 G.O.	CHECK #: 9006255	72,333.38
TOTAL FOR SSA #23-NAPER MAIN FUND							72,333.38	
-----								
DOWNTOWN PARKING FUND								
-----								
0003909	CEDE & CO							
INTEREST/PRINCI000940			00	05/22/2012	142-9525-472.90-54	2008 G.O.	CHECK #: 9006255	68,518.57
TOTAL FOR DOWNTOWN PARKING FUND							68,518.57	
-----								
DEBT SERVICE FUND								
-----								
0003909	CEDE & CO							
INTEREST/PRINCI000933			00	06/01/2012	201-9565-472.90-54	2001A G.O.	CHECK #: 9006255	87,600.70
0003909	CEDE & CO							
INTEREST/PRINCI000935			00	06/01/2012	201-9569-472.90-54	2004 REFUNDING BONDS	CHECK #: 9006255	101,046.25
0003909	CEDE & CO							
INTEREST/PRINCI000937			00	05/22/2012	201-9571-472.90-54	2008 G.O.	CHECK #: 9006255	179,661.46
0003909	CEDE & CO							
INTEREST/PRINCI000941			00	05/22/2012	201-9573-472.90-54	2008 G.O.	CHECK #: 9006255	448,824.35
0003909	CEDE & CO							
INTEREST/PRINCI000944			00	05/22/2012	201-9575-472.90-54	2009 G.O.	CHECK #: 9006255	558,303.12
0003909	CEDE & CO							
INTEREST/PRINCI000946			00	05/22/2012	201-9576-472.90-54	2010 G.O. A,B,C	CHECK #: 9006255	297,892.13
0003909	CEDE & CO							
INTEREST/PRINCI000950			00	05/22/2012	201-9577-472.90-54	2010 G.O. A,B,C	CHECK #: 9006255	107,514.06
-----								

VEND NO	VENDOR NAME		P.O.	BNK	CHECK/DUE	ACCOUNT	ITEM	EXPENDITURE	HAND-ISSUED
INVOICE	VOUCHER		NO		DATE	NO	DESCRIPTION	AMOUNT	
NO	NO		NO						
TOTAL FOR DEBT SERVICE FUND								1,780,842.07	
TOTAL FOR DEBT SERVICE								1,966,720.51	

# City of Naperville

## Utility Refunds

### Report 6

Accounts Payable Check Run Date: 06/06/2012

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
9000016 000350397	AWAD, AHMED UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000115572	120.57	
9000016 000373117	BELISLE CONSTRUCTION UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000135160	117.48	
9000016 000354025	BELL, LAFEYETTE UT		00	04/25/2012	410-0000-124.28-00	UB CR REFUND 000040482	CHECK #: 561629	77.06-
9000016 000341621	BERTUCCI, MARIA UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000101234	30.34	
9000016 000363753	BUSS, A & SCHOENBACHER, EM UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000013320	102.91	
9000016 000352023	CHARIYA, THAN UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000012332	218.46	
9000016 000177471	COLDWELL BANKER/HONIG BELL UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000130712	275.67	
9000016 000369401	CWIERTAK, CHRIS UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000000946	9.47	
9000016 000046991	DEBARTOLO, DANIEL UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000091754	224.20	
9000016 000365353	DELAND, NANCY UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000122830	47.47	
9000016 000363597	DICK, RYAN UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000108862	87.10	
9000016 000074191	DONAHUE, CHRISTOPHER UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000112728	150.00	
9000016 000350311	DRAKE, THEODORE UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000031482	39.97	
9000016 000353075	DUFFEY, BRIAN UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000040152	132.03	
9000016 000351817	DUNSMUIR, SARAH UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000113824	90.46	
9000016 000317233	ELLIS-STEDMAN, DONNA UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000027990	171.83	
9000016 000370353	ENTRUST MIDWEST, LLC UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS	244.81	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
9000016 000234595	FEDERICO, CHRISTINE UT		00 05/24/2012	410-0000-124.28-00	000099736 UB CR REFUND-FINALS 000122176	10.33	
9000016 000362929	GIARRATANO, JOENN UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000067550	186.49	
9000016 000361971	GIVENS, REBECCA/ATKINS, BRANDON UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000113432	114.15	
9000016 000372977	GOODWILL REALTY GROUP UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000026056	333.94	
9000016 000218093	GRAND RESERVE OF NAPERVILLE UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000108702	18.43	
9000016 000364115	HAMPTON, LETICIA UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000006352	38.37	
9000016 000330849	HANLON, AMANDA & THOMAS UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000073314	91.58	
9000016 000365165	HETHERINGTON, NICHOLAS UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000039892	201.68	
9000016 000342909	HOLYCROSS, LEE UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000012680	106.62	
9000016 000363395	JANG, JIN KYUNG UT		00 05/23/2012	410-0000-124.28-00	UB CR REFUND 000011082	53.95	
9000016 000358371	JONES, MARTHA E. UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000109366	123.17	
9000016 000354585	KARPH, PETER UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000022976	54.11	
9000016 000364837	KAVLIE, LANDON & LAURA UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000000960	126.16	
9000016 000363941	KIM, BYONG CHAN UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000007034	99.88	
9000016 000075013	KINGS COURT BLDRS UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000133628	202.68	
9000016 000362953	KOLZOW, STEPHANIE UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000002266	177.64	
9000016	KROLL, THADDEUS						

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
000360137	UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000125374	127.65	
9000016 000356385	KULLMAN, WHITNEY UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000115966	124.25	
9000016 000367013	LALIBERTY, CHRIS & UT	NOELLE	00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000061376	171.54	
9000016 000360233	LATOZA, GREGORY UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000004030	69.50	
9000016 000373351	LIAZUK, CHRISTINE UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000075212	250.00	
9000016 000372249	LOCKE, JASON UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000126616	109.06	
9000016 000363677	MAGSAMEN, BRENDA UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000003200	140.74	
9000016 000362091	MAKANI, JOCELYN UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000000812	23.30	
9000016 000360127	MARTINSON, ANDREW UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000010770	23.77	
9000016 000343351	MATTHEWS, KEVIN UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000057604	76.31	
9000016 000367909	MEYER, JEFFREY/KEZER, UT	ANDREW	00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000006712	99.28	
9000016 000349327	MILLAR, ROBERT UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000020290	402.28	
9000016 000339107	MILLER, MOLLY & UT	RAYMOND	00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000117116	144.55	
9000016 000000351	MISLOSKI, E J UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000000348	12.37	
9000016 000352663	MIZE, COURTNEY / UT	ANTHONY	00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000119794	70.24	
9000016 000356883	MOHWINKLE, CHAD/RACHEL UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000026176	98.26	
9000016 000367163	MONROE, TARA UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000109756	99.37	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
9000016 000363551	MURPHY, ANDREW UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000126564	99.17	
9000016 000335497	MURRIN, THOMAS & TERESA UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000004624	3.86	
9000016 000315407	MUZUMA, JOYCE UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000122970	207.06	
0002136 000363627	NAPERVILLE, CITY OF UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000125534	78.42	
0002136 000353421	NAPERVILLE, CITY OF UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000010808	107.28	
0002136 000354025	NAPERVILLE, CITY OF UT		00 06/01/2012	410-0000-124.28-00	UB CR REFUND 000040482	77.06	
0002136 000340695	NAPERVILLE, CITY OF UT		00 06/01/2012	410-0000-124.28-00	UB CR REFUND 000010556	207.84	
9000016 000200543	NATIONAL POWER RODDING CORP UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000125776	447.88	
9000016 000362647	NEMES, MELISSA /MIKUTA, LYDIA UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000045530	129.72	
9000016 000370369	NGUYEN, CHRISITNE UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000122822	136.11	
9000016 000310325	NOVAK, BRIAN J UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000115930	67.37	
9000016 000358311	ODZEEM, NUERTEY UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000013418	75.77	
9000016 000372123	PACCIONE, BARBARA UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000113470	108.12	
9000016 000363999	PARA, MARK UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000008184	103.81	
9000016 000208445	PERKINS, DAVID UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000063510	129.72	
9000016 000365987	PRUDENTIAL ELITE UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000065432	120.14	
9000016 000365987	PRUDENTIAL ELITE UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS	227.80	

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK	CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
9000016 000274475	PUGH, ERICH UT		00	05/24/2012	410-0000-124.28-00	000091176 UB CR REFUND-FINALS 000127780	79.79	
9000016 000364627	QUINN, KISHA & MICHAEL UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000099890	248.14	
9000016 000314315	RAVULAPATI, SHANKAR UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000091876	296.06	
9000016 000321707	RETAMAL, GEORGIA UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000034162	80.68	
9000016 000363035	RICH, ANNA UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000108736	102.64	
9000016 000364231	RIVERA, O/LLAVONA, M UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000115926	104.52	
9000016 000356821	ROMANOVICH, JOHN J UT		00	06/04/2012	410-0000-124.28-00	UB CR REFUND 000020972	34.72	
9000016 000362899	SANDHU, RUBINDER UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000116050	2.10	
9000016 000340695	SCHUSLER, CATHERINE UT		00	04/25/2012	410-0000-124.28-00	UB CR REFUND 000010556	CHECK #: 561782	207.84-
9000016 000336109	SHERIDAN PLUMBING & SEWER INC UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000104994	475.62	
9000016 000357081	SLABOSZ, DAMIEN/KRISTINA VU UT		00	04/25/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000007312	CHECK #: 561721	103.98-
9000016 000357081	SLABOSZ, DAMIEN/KRISTINA VU UT		00	06/05/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000007312	103.98	
9000016 000353245	SMITH, CAMILLE UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000051332	69.01	
9000016 000338149	SOLAND, RONALD & KATI UT		00	05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000031910	79.13	
9000016 000363963	SOMBRITO, LIZA UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000115820	89.22	
9000016 000340351	STEEN, MILLIZZA UT		00	05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000010992	23.25	
9000016	STOKES, AMBERLY							

VEND NO INVOICE NO	VENDOR NAME VOUCHER NO	P.O. NO	BNK CHECK/DUE DATE	ACCOUNT NO	ITEM DESCRIPTION	EXPENDITURE AMOUNT	HAND-ISSUED
000364423	UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000023330	202.83	
9000016 000361149	TORLUEMKE, DANIEL UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000003096	69.69	
9000016 000365081	VANA, HEATHER THOMES UT	DAVID	00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000047240	84.01	
9000016 000361873	VANDANBURGH, KYLE UT		00 05/24/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000058344	59.54	
9000016 000238787	WAN, ZONGRU UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000003614	12.82	
9000016 000338789	WANG, YUNG C UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000119832	614.89	
9000016 000308697	WIEWORKA, CRYSTAL UT		00 04/25/2012	410-0000-124.28-00	UB CR REFUND 000008336	CHECK #: 561775	63.86-
9000016 000364223	WILSON, J/MARTIN, R UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000013138	96.16	
9000016 000308697	WINDSCAPE APARTMENTS UT	NF LLC	00 05/24/2012	410-0000-124.28-00	UB CR REFUND 000008336	63.86	
9000016 000369003	WOLFE, BLAKE UT		00 05/31/2012	410-0000-124.28-00	UB CR REFUND-FINALS 000016742	287.45	
TOTAL FOR UTILITY REFUNDS:						11,198.92	

# City of Naperville

## Procurement Card Expenditures

### Report 7

Accounts Payable Check Run Date: 06/06/2012

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VEND NO	VENDOR NAME			BNK	CHECK/DUE	ACCOUNT	ITEM	EXPENDITURE	HAND-ISSUED
INVOICE	VOUCHER	P.O.			DATE	NO	DESCRIPTION	AMOUNT	
NO	NO	NO							

---

NO TRANSACTIONS



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Recommend Award of Bid 13-008, Columbia Street Bridge Rehabilitation

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**TYPE OF VOTE:** Simple Majority

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**ACTION REQUESTED:**

Approve the Award of Bid 13-008, CIP BR028, Columbia Street Bridge Rehabilitation, to Copenhagen Construction for the amount of \$154,966.00 plus a 5% contingency.

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**BOARD/COMMISSION REVIEW:**

N/A

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**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
N/A		

**DEPARTMENT:** Procurement Services Team  
Transportation, Engineering and Development

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**SUBMITTED BY:** Michael Bevis, Chief Procurement Officer

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**FISCAL IMPACT:**

CIP #: BR028

Budgeted Account: 301-4710-431-7089  
Budgeted Amount: \$200,000 FY12-13

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**BACKGROUND:**

In 2007, city staff conducted a bridge inspection and found that there were a number of deficiencies within the structure of the Columbia Street Bridge that required maintenance. TED Business Group staff developed CIP project BR028 in response to the inspection results. When this project was first developed by TED, the scope included completing all of the maintenance work in one fiscal year, which resulted in a high cost. Prior to submitting the CIP for City

13-008, Columbia Bridge Rehab  
 June 19, 2012  
 Page 2 of 3

Council review, the city saw the start of the current recession and forecasted funding constraints for future years.

The project was split into two phases of construction to reduce the financial impact of completing all the construction in one fiscal year. The first phase of construction was completed in 2009 and included work that could not be delayed. This work also had the highest impact on the motoring public.

This project addresses the second phase of the work, which involves full depth deck slab repairs in the sidewalk, slope wall repairs, bridge railing removal and replacement, and concrete repairs. These repairs have been delayed in order to minimize the fiscal impact to the city, but it is now important to complete the repairs so that the scope and cost of work does not increase from standard maintenance work to reconstruction.

**DISCUSSION:**

NOTIFICATION AND RESPONSE

Notices Sent:	207
Planholders:	28
Bids Received:	5

The following bids were received:

<b>BIDDER</b>	<b>BID AMOUNT</b>
<b>Copenhaver Construction, Inc.</b>	<b>\$154,966.00</b>
<b><i>Engineer's Estimate</i></b>	<b><i>\$181,700.00</i></b>
Alliance Contractors, Inc.	\$218,328.25
Illinois Constructors Corp.	\$218,900.00
Utility & Industrial Construction Co., Inc.	\$220,300.00
Herlihy Mid-Continent Company	\$233,082.00

Copenhaver Construction was the low bidder at \$154,966.00. The engineer's estimate of construction cost was \$181,700 and the CIP included \$200,000 for construction in FY 12-13.

Copenhaver will have 6 calendar weeks to complete the project, anticipated to proceed mid-August. They will be allowed to close the sidewalk on the bridge for up to 10 days to complete the sidewalk repairs. A pedestrian detour will be set up on Loomis by the contractor in advance of the work. The contractor will also be allowed daytime lane closures on Columbia St. in order to complete the bridge maintenance work. The lane closures are allowed to occur between 9am and 3pm with all lanes of traffic back open at the end of each day.

Copenhaver will be required to post the pedestrian detour and install changeable message boards in advance of the work starting to alert motorists of the construction work. In addition, the city will send postcards to the area residents informing them of the upcoming construction, send Commuter Connection e-news blasts to commuters and provide updated information regarding the project on the city's website.

*13-008, Columbia Bridge Rehab*

*June 19, 2012*

*Page 3 of 3*

**RECOMMENDATION:**

Approve the Award of Bid 13-008, CIP BR028, Columbia Street Bridge Rehabilitation, to Copenhaver Construction for the amount of \$154,966.00 plus a 5% contingency.

**ATTACHMENTS:**

1. CIP Page

**Project Number:** BR028

**Project Title:** Columbia Street Bridge Rehabilitation

**Department Name:** Transportation, Engineering & Development

**CIP Status:** Changed - Non Recurring

**Category Code:** B

**Sector:** Northeast

**Project Purpose:**

This project supports the implementation of the Traffic Safety component of the Comprehensive Transportation Plan.

FUNCTION(S): Preservation and Safety.

**Criteria Need**

**WF Number:** (none)

**Project Narrative:**

This project consists of bridge repairs and erosion control improvements including sidewalk rehabilitation, slope wall repairs, bridge railing replacement, general concrete repairs and the placement of stone riprap. The sidewalk work will involve the structural rehabilitation of the beam under the bridge deck. This is critical to prevent significant deterioration of the bridge deck. The bridge joint and pavement resurfacing work was completed in FY09-10. An engineering firm was hired by the city in FY11-12 to complete the design and construction engineering for the remainder of the bridge repair work; construction of this work will occur in FY12-13. NOTE: Construction cost was lowered based on revised estimate in 2011.

**External Funding Sources Available**

None

**Projected Timetable**

Construction Engineering/Permitting completed in FY11-12. Construction in FY12-13.

**Impact on Operating Budget**

This project will reduce the operating budget for the first few years after construction. Afterwards, the maintenance costs will return to current costs.

**Project Budget Impact Summary**

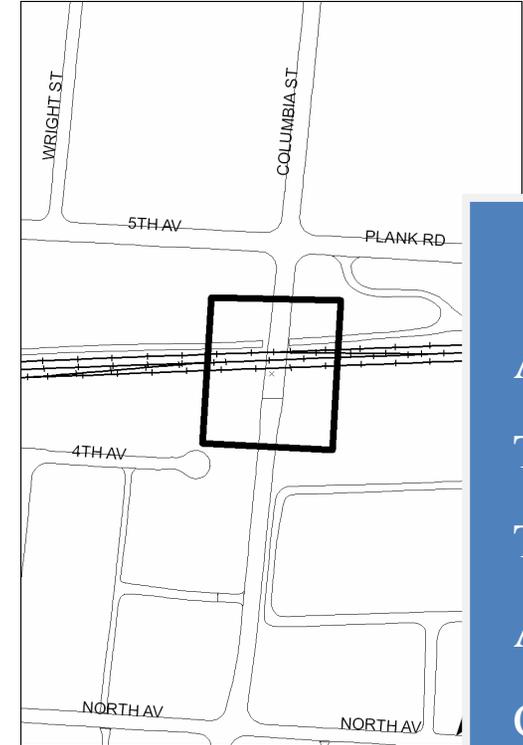
	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total CIP
Impact Detail	(95)	(95)	(95)	(95)	(95)	(475)
Subtotal	(95)	(95)	(95)	(95)	(95)	(475)
Prior Year(s) Impact						0
Total Project Impact						(475)

**Funding Source Summary**

Funding Source	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total Source
Unfunded Capital	200,000	0	0	0	0	200,000
Subtotal	200,000	0	0	0	0	200,000
Prior Year(s) Expenditures						254,430
Total All Sources						454,430

**Project Cost Summary**

Expense Category	Prior Year(s) Expenditures	FY11-12 Budget	FY11-12 Year-to-Date	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total CIP
Construction	143,894	0	0	200,000	0	0	0	0	200,000
Engineering	60,800	110,000	49,736	0	0	0	0	0	0
Subtotal	204,694	110,000	49,736	200,000	0	0	0	0	200,000
Prior Year(s) Expenditures									254,430
Total Project Cost									454,430





# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Recommend the Award of Bid 13-004, Webster/Hillside Water Main Improvements

---

**TYPE OF VOTE:** Simple Majority

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**ACTION REQUESTED:**

Approve the award of Utility Funded, Bid 13-004, CIP WU04B, Webster/Hillside Water Main Improvements, to Construction by Camco for a total bid price of \$304,380.00, plus a 5% contingency.

---

**BOARD/COMMISSION REVIEW:**

N/A

---

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
N/A		

**DEPARTMENT:** Department of Public Utilities - Water  
Procurement Services Team

---

**SUBMITTED BY:** Michael E Bevis, Chief Procurement Officer

---

**FISCAL IMPACT:**

CIP # WU04B  
WF 61215

Account budgeted: 430-3490-537.70-89  
Amount budgeted: \$400,000

---

Per Council directive contingency on construction projects is set at 3% on projects over \$500,000 and 5% on projects under \$500,000.

**BACKGROUND:**

This project was added to the CIP to address the recent history of water main breaks, resulting in frequent service disruptions to customers.

13-004, Webster/Hillside Watermain  
June 19, 2012  
Page 2 of 2

This project is part of the Department of Public Utilities’ long-term capital improvement plan to enhance the water distribution system’s performance and reliability in the City’s downtown area.

This project replaces the existing 6 inch diameter ‘dead end’ watermain on Webster Street with the proposed 12” diameter watermain. The proposed watermain will connect the existing watermain on Main Street to the existing watermain on Porter Avenue, improving reliability, water quality, and enhance fire flows in the area serving the Naperville Central High School/203 campus, Naper Settlement and the surrounding residential/commercial area.

This project will also replace an old, existing sanitary sewer on Hillside (within the project corridor) which cannot be rehabilitated by trenchless methods due to its extremely poor condition.

The project proposes the installation of approximately 1,000 lineal feet of 12 inch diameter ductile iron water main, 4 fire hydrants, 4 valve vaults, 2 sanitary manholes, 290 lineal feet of 8” PVC sanitary sewer, bituminous pavement removal/replacement, and associated landscape restoration work.

**DISCUSSION:**

Notification and Response:

Notices Sent: 159  
Planholders: 27  
Bids Received: 5

The following bids were received:

<b>Construction by Camco, Joliet</b>	<b>\$304,380</b>
<b><i>Engineer’s Estimate</i></b>	<b><i>\$308,136</i></b>
Archon Construction Co., Inc. Addison	\$355,000
Copenhaver Construction, Inc., Gilberts	\$323,121
Len Cox & Sons Excavating, Crest Hill	\$347,306
Sheridan Plumbing & Sewer, Burr Ridge	\$392,612

The city has worked with this contractor in the past and the work has been satisfactory.

**RECOMMENDATION:**

Staff recommends award of Utility-funded Bid 13-004, CIP WU04B, Webster/Hillside Water Main, to Construction by Camco, for a total bid price of \$304,380.00, plus a 5% contingency.

**ATTACHMENTS:**

1. CIP page

**Project Number:** WU04B **Project Title:** Water Distrib. System - Rehabilitation/Replacements - Mains  
**Department Name:** Water/ Wastewater **CIP Status:** Annual  
**Project Purpose:** This project supports the delivery of municipal services that are reliable and responsive to the needs of the citizens by updating essential utility infrastructure.

**Category Code:** A **Sector:** Various  
**Criteria:** Growth-related System Demands, Age-related Infrastructure Renewal  
**WF Number:** Multiple - TBD

**Project Narrative:**

Project WU04B provides for replacement or rehabilitation of water mains in areas that have experienced frequent main breaks, corrosion or hydraulic deficiencies. It also provides for replacement of hydrants and valves that have failed or are inoperable. This project has been coordinated with the City's Road Improvement Program.

**External Funding Sources Available**  
None

**Projected Timetable**

Projects planned for FY13 include the replacement of water main at the intersection of Columbia and 5th Ave. and the placement/up sizing of small diameter water mains on Spring St. from Mill to Washington Street and near the Downtown area.  
**Impact on Operating Budget**  
 No new personnel; Nominal impact on Operations & Maintenance budget.

**Project Budget Impact Summary**

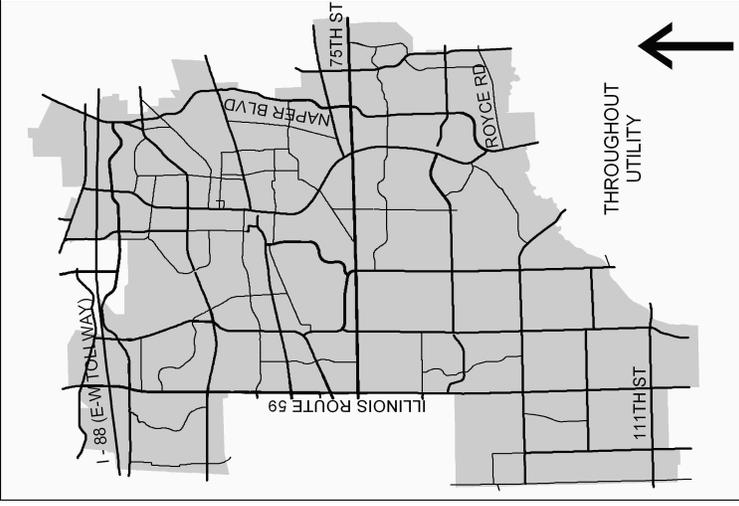
	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total CIP
Impact Detail	0	0	0	0	0	0
Subtotal	0	0	0	0	0	0
	Prior Year(s) Impact					0
	Total Project Impact					0

**Funding Source Summary**

Funding Source	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total Source
Water Utility	395,666	501,266	610,018	603,185	522,236	2,632,371
Unfunded Water	791,334	250,634	0	0	0	1,041,968
Subtotal	1,187,000	751,900	610,018	603,185	522,236	3,674,339
	Prior Year(s) Expenditures					2,415,879
	Total All Sources					6,090,218

**Project Cost Summary**

Expense Category	Prior Year(s) Expenditures	FY11-12 Budget	FY11-12 Year-to-Date	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total CIP
Benefits	77,979	0	21,364	0	0	0	0	0	0
Construction	423,292	513,000	1,381,336	1,187,000	751,900	610,018	603,185	522,236	3,674,339
Salaries	221,786	0	55,767	0	0	0	0	0	0
Services	22,867	0	8,814	0	0	0	0	0	0
Supplies	176,389	0	26,286	0	0	0	0	0	0
Subtotal	922,312	513,000	1,493,567	1,187,000	751,900	610,018	603,185	522,236	3,674,339
	Prior Year(s) Expenditures								2,415,879
	Total Project Cost								6,090,218





# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Recommend Award of Bid 12-161, Household Hazardous Waste Storage Building Replacement

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**TYPE OF VOTE:** Simple Majority

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**ACTION REQUESTED:**  
 Approve the award of Bid 12-161, Household Hazardous Waste Storage Building Replacement, to MCC Developments for the Base Bid and Option #2: Complete Installation of New Buildings for an amount not to exceed \$198,112.

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**BOARD/COMMISSION REVIEW:**

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**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action

**DEPARTMENT:** Department of Public Works  
 Procurement Services Team

---

**SUBMITTED BY:** Michael E. Bevis, Chief Procurement Officer

---

**FISCAL IMPACT:**  
 CIP MB112  
 Budgeted Account/Amount: 618-0000-208-04-64 – \$196,000\*

*\*All project funding, including the \$2,112 award above budget, will come from the DuPage Solid Waste Escrow Fund, which currently has a balance of \$342,029*

---

**BACKGROUND:**  
 This project was presented as CIP MB112 – HHW Replacement Storage Lockers. The storage lockers being used to store household hazardous waste were originally installed in 1994 and have an estimated useful life of 10-12 years. These lockers are approximately 6 years past the

12-161 HHW Building Replacement

June 19, 2012

Page 2 of 3

estimated useful life and have undergone maintenance and repairs. Without replacement, there is a potential for the hazardous material to escape confinement.

Based upon an environmental assessment completed in 2011, the southern storage shed was documented to be in poor condition with significant rust damage on the doorframe, vents and rear corners. The consultant recommended the locker no longer be used. The condition of the north locker has been cleared for storage but is exhibiting signs of deterioration.

The city currently has agreements in place with the Illinois Environmental Protection Agency (IEPA), the City of Aurora, Kane County and DuPage County for the operation of the regional Household Hazardous Waste (HHW) program operated at Fire Station #4 in Naperville. This is one of four facilities located in Illinois. The others are located in Gurnee, Chicago and Rockford. The Naperville facility was originally permitted in 1992 in cooperation with the IEPA as the first permanent Household Hazardous Waste Drop-Off in the State of Illinois. The City is responsible for capital costs, operation costs, and publicity while the IEPA is responsible for generator liability and proper disposal of the material accepted. The agreement with the IEPA expires December 31, 2012 and is currently in the review process for renewal. The City enters into annual funding agreements with both Will and DuPage Counties and has agreements in place with the City of Aurora and Kane County that automatically renew annually.

Approximately, 15,000 vehicles visit the facility annually; dropping off over 430,000 gallons of material considered household hazardous waste.

In an effort to enhance service to the community, staff is researching the possibility of consolidating the City's suite of environmental programs and developing the area of the Public Works facility located at the northwestern most portion of the parcel to base operations. This consolidation would provide residents the ability to dispose of traditional recycling material, electronics and household hazardous waste at the same location. Should a plan be developed and approved, the storage lockers requested through this recommendation for use at the current facility located at Fire Station 4, will be moved and commissioned for use at the new location. If approved through the CIP process, the consolidation of environmental services is a minimum of three (3) years out. The replacement of these lockers cannot be delayed for that length of time.

#### **DISCUSSION:**

As the City is the entity responsible for capital associated with the HHW program, following purchasing guidelines, staff constructed a specification to obtain a Base Bid price for the construction of the lockers to meet the criteria required to store hazardous materials. The specification also included pricing options for the decommissioning and removal of the existing lockers (Option #1) and the placement and commissioning of the new lockers (Option #2).

As the site logistics are complex, requiring a crane for the removal and placement of the lockers, it is most economical to replace the lockers at the same time. The funds for the replacement will come for the DuPage County Solid Waste Escrow Fund. These funds were given to the City upon the closing of the landfill in DuPage county with the stipulation they are allocated to fund environmental projects such as this one. Therefore, there is no impact on the operating budget.

12-161 HHW Building Replacement  
June 19, 2012  
Page 3 of 3

Upon the receipt of the bids, staff recommends the award of the Base Bid (construction of the lockers) as well as that of Option #2 (placement and commissioning of the lockers). The work required under Option #1 (decommissioning and removal of the existing lockers) will be orchestrated by the Public Building Operation (PBO).

**NOTIFICATION AND RESPONSE:**

Notices Sent: 59  
Planholders: 3  
Bids Received: 1

The following bid was received:

<b>FIRM</b>	<b>BASE BID</b>	<b>OPTION #1</b>	<b>OPTION #2</b>
MCC Developments	\$182,632	\$14,420	\$19,480

Option #1: Complete removal of existing buildings  
Option #2: Complete installation of new buildings

Staff was able to negotiate with MCC Developments on the cost of Option #2. The firm reduced the cost of the Option to \$15,480, saving the City \$4,000.

Staff contacted the other viable bidder, Safety Storage as to why they did not bid. They stated that they could not provide the required bonding for the bid.

Upon receipt of the bids, staff recommends to award the Base Bid as well as that of Option #2 (complete installation of the new buildings). The decommissioning and the removal of the existing buildings will be done by the Public Building Operation (PBO) staff.

**RECOMMENDATION:**

Approve the award of Bid 12-161, Household Hazardous Waste Storage Building Replacement, to MCC Developments for the Base Bid and Option #2: Complete Installation of New Buildings for an amount not to exceed \$198,112.

**ATTACHMENTS:**

1. CIP Page

**Project Number:** MB112      **Project Title:** HHW Replacement Storage Locker  
**Department Name:** Public Works      **CIP Status:** Changed - Non Recurring  
**Project Purpose:** This project supports the Strategic Plan through City Services and Residential Life.

**Sector:** Northwest      **Category Code:** A  
**WF Number:** (none)      **Criteria:** Need

**Project Narrative:**

This project will replace the storage lockers being used to properly store household hazardous waste (HHW) collected at the regional HHW drop-off facility. The lockers were originally installed in 1994 and have an estimated useful life of 10-12 years. Therefore these lockers are 5 years past their estimated useful life. The lockers have undergone maintenance and repairs on 2 occasions during its useful life. Without replacement of the lockers there is a potential for hazardous material to escape confinement. Based upon an environmental assessment completed in 2011, the southern storage locker was in poor condition with significant rust damage on the doorframe, vents and rear corners, and the consultant recommended that the facility not utilize the locker until replaced. The southern storage locker is 280 square feet and the northern storage locker is 240 square feet. This project will replace both storage lockers in **External Funding Sources Available**  
 Will be funded from the DuPage County Solid Waste Escrow Fund

**Projected Timetable**

Replace southern and northern lockers in FY13

**Impact on Operating Budget**

**Project Budget Impact Summary**

	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total CIP
Impact Detail	0	0	0	0	0	0
Subtotal	0	0	0	0	0	0
	Prior Year(s) Impact					0
	Total Project Impact					0

**Funding Source Summary**

Funding Source	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total Source
Other Government	196,000	0	0	0	0	196,000
Subtotal	196,000	0	0	0	0	196,000
	Prior Year(s) Expenditures					0
	Total All Sources					196,000

**Project Cost Summary**

Expense Category	Prior Year(s) Expenditures	FY11-12 Budget	FY11-12 Year-to-Date	FY12-13	FY13-14	FY14-15	FY15-16	FY16-17	Total CIP
Construction	0	0	0	196,000	0	0	0	0	196,000
Subtotal	0	0	0	196,000	0	0	0	0	196,000
	Prior Year(s) Expenditures								0
	Total Project Cost								196,000





# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Recommend Award of Bid 12-181, Insurance Broker and Property/Boiler & Machinery Insurance Coverage

---

**TYPE OF VOTE:** Simple Majority

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**ACTION REQUESTED:**

Approve the award of Bid 12-181, Insurance Broker Services and Property/Boiler & Machinery Insurance Coverage, to Alliant Insurance Services, Inc. for an amount not to exceed \$61,900/year for a three-year contract, and \$189,445 for the City's Property and Boiler and Machinery Insurance Coverage beginning July 1, 2012 to July 1, 2013.

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**BOARD/COMMISSION REVIEW:**

N/A

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**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
N/A		

**DEPARTMENT:** Finance Department  
Procurement Services Team

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**SUBMITTED BY:** Michael E. Bevis, Chief Procurement Officer

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**FISCAL IMPACT:**

Budget Account/ Amount: 623-9715-585-50-46 \$156,300 - Property Insurance  
 623-9718-585-50-46 15,300 - Boiler and Machinery Insurance  
 \$171,300\*

623-9710-585-90-47 \$ 39,600\*- Broker

\*At this time staff believes that the fund will be able to absorb the amount over budget.

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**BACKGROUND:**

The insurance broker provides risk management and broker services for the City's liability and bond insurance program in conjunction and coordination with the City's Claims Administrator. The insurance procurements include, but are not limited to, public official bonds, blanket excess

12-181, Insurance Broker Services  
 June 19, 2012  
 Page 2 of 3

liability, excess workers' compensation insurance, property and boiler & machinery coverage, programmatic and special event primary commercial general liability, and pollution coverage. It does not include coverage administered by the City's Human Resources Department as an employee benefit. The contract:

- Establishes a single experienced and highly qualified provider to address all liability and bond insurance requirements for the City;
- Secures a broker that provides skilled marketing experience in order to achieve the best premium quotes and market options for the City;
- Establishes a partnership for active engagement in the best options and management of the City insurance program.

The current Broker Services contract ends October 1, 2012.

**DISCUSSION:**

Notification and Response:

Notices Sent: 215  
 Planholders: 12  
 Responses Received: 3

The following vendors submitted proposals:

A. J. Gallagher Risk Management Services, Itasca
Alliant Insurance Services, Newport Beach, CA
Mesirow Financial, Chicago

This was a two-step selection process: Following review and evaluation of the submittals received, staff invited qualified vendors to request markets from insurance carriers, and to submit pricing for the Broker Services contract and the City's Property/Boiler & Machinery insurance coverage. The City's Property insurance coverage is up for renewal, and to assess a broker's ability to secure low-cost premiums for the City's coverage, getting a premium quote for this coverage from the broker's market of choice was part of the evaluation process.

First, the proposals submitted were evaluated by a committee made up of staff from the Finance and Legal Departments, based on the following criteria and weights:

<b>Experience</b> of the individuals named to service the City contract. Their previous relationships with municipalities, with insurance and risk management	20
<b>Qualifications</b> and experience of the company, familiarity with municipal risk management issues.	20
<b>Methods and Plans.</b> Proposer's ability to market and administer a varied program and demonstrate added value for an entity of the City's size and complexity.	15
<b>Customer Service.</b> Proposer's <u>demonstrated ability</u> to provide excellent customer service, prompt response to requests, 24-hour emergency availability.	15
<b>References.</b> Three to five references similar in size and services	30

12-181, Insurance Broker Services  
 June 19, 2012  
 Page 3 of 3

All three firms proceeded to the second step, and requested markets. At this stage, Mesirov Financial withdrew from the process, as the one and only insurance carrier they considered capable of giving a competitive quote had already been assigned to Gallagher (markets were assigned on a particular date and time on a first-request basis).

Total cost, which consists of a fee for the Broker Services contract, and the insurance premium for the City’s Property/Boiler & Machinery coverage, was submitted by the two remaining vendors. Costs were factored in the following manner: the final qualifications score converted to a decimal (80% becomes .80), is divided into the total cost to yield an “adjusted cost.” Award is to the firm with the lowest adjusted cost. The table below summarizes the scoring:

Vendor	Qualifications Score	Broker Svcs Fees	Property Ins Premium	Total	Adjusted Cost
<b>Alliant</b>	<b>93</b>	<b>\$61,900</b>	<b>\$189,445</b>	<b>\$251,345</b>	<b>\$248,758</b>
AJ Gallagher	78	\$42,250	\$331,332	\$373,582	\$478,951

Alliant was selected for the current Broker Services contract and has provided excellent service over the past five years. The premium for the current Property/Boiler & Machinery coverage, which expires July 1, 2012 is \$165,672. The higher premium over last year is due to a combination of an increase in the City’s total insured property value (TIV) and a hardening of the property insurance market due to heavy property losses across the industry last year.

**RECOMMENDATION:**

Staff recommends award of RFP 12-181, Insurance Broker Services for an amount of \$61,900 per year for a three-year base contract beginning October 1, 2012; and award of the City’s Property and Boiler & Machinery Insurance Coverage for a premium amount of \$189,445 for the policy period beginning July 1, 2012 to July 1, 2013.

**ATTACHMENTS:**

1. Qualifications Scoring

**RFP 12-181: INSURANCE BROKER SERVICES**

**QUALIFICATIONS SCORES**

<b>CONSULTANT NAME</b>	<b>Experience of Firm and Team (20%)</b>	<b>Qualifications of Firm and Team (20%)</b>	<b>Methods and Plans (15%)</b>	<b>Customer Service (15%)</b>	<b>References (35%)</b>	<b>Total Score</b>
AJ GALLAGHER	14	16	14	10	25	78
ALLIANT	20	20	9	14	30	93
MESIROW	18	19	13	13	30	92



ATTACHMENT 1: QUALIFICATIONS SCORING



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Financial Advisory Board Appointments

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Approve Mayoral appointments of Charles Millington and Jeffrey Egan to the Financial Advisory Board.

**BOARD/COMMISSION REVIEW:**  
N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action

**DEPARTMENT:** Mayor's Office

**SUBMITTED BY:** Cheryl Johnson, Administrative Assistant

**FISCAL IMPACT:**  
N/A

**BACKGROUND:**  
One commissioner served their limit of two consecutive terms and another commissioner resigned, leaving vacancies.

**DISCUSSION:**  
Jeffrey Egan will be appointed to serve a first term from June 1, 2012 through May 30, 2015. Charles Millington will be appointed to finish a term which was recently vacated by another commissioner; therefore his term will run from June 19, 2012 through May 30, 2013.

**RECOMMENDATION:**  
Approve Mayoral appointments of Charles Millington and Jeffrey Egan to the Financial Advisory Board.

**ATTACHMENTS:**  
1. N/A



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** High Grove Lane Parking Restrictions

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Approve the recommendation to establish No Parking on High Grove Lane as outlined in the attached ordinance.

**BOARD/COMMISSION REVIEW:**  
The Transportation Advisory Board voted 9-0 to establish No Parking on High Grove Lane as outlined in the ordinance at their meeting on June 2, 2012.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action

**DEPARTMENT:** Transportation, Engineering and Development Business Group

**SUBMITTED BY:** Karyn Robles, Transportation and Planning Team Leader

**FISCAL IMPACT:**  
The cost to make and install the no parking signs is estimated to be approximately \$1,200.

**BACKGROUND:**  
In 2010, Loaves and Fishes moved to a new location at 1871 High Grove Lane in Naperville. A total of 53 parking spaces are provided on the subject property and no special zoning entitlements or conditions were placed on the site with its approval.

In spring 2011, the City received a complaint that an increased amount of on-street parking was resulting in limited travel width along High Grove Lane and decreased sight distance at the driveways located in the vicinity of the Loaves and Fishes facility. Following the initial complaint, staff conducted several site visits and worked with Loaves and Fishes to address the traffic issues without the installation of parking restrictions. Recommendations included

*High Grove Lane Parking Restrictions*

*June 19, 2012*

*Page 2 of 3*

staggering Loaves and Fishes client pick-up times, parking management onsite, and satellite parking. Loaves and Fishes currently has a parking agreement with an adjacent property to allow their staff and volunteers to utilize the parking lot in overflow situations. In addition, on their peak days, Loaves and Fishes utilizes a volunteer to direct visitors to appropriate parking locations.

**DISCUSSION:**

While Loaves and Fishes has been pursuing additional parking agreements with properties in the area and continues to promote non-peak pick-up times to their customers, on-street parking continues to be a problem along High Grove Lane. Due to the increased number of vehicles parking along High Grove Lane, parking restrictions are recommended in order to ensure adequate street width exists to allow trucks and passenger vehicles to safely travel along the roadway.

Following several site visits by City staff, as well as ongoing conversations with Loaves and Fishes and the adjacent businesses, staff recommends the following parking restrictions for High Grove Lane. A location map of the proposed parking restrictions is attached.

- 1) On the north side of High Grove Lane parking would be prohibited between the driveways for Phoenix Closures (1899 High Grove Lane) and Loaves and Fishes (1871 High Grove Lane). The restrictions would also extend 10' on either side of the driveways.
- 2) Parking on the south side of High Grove Lane would be prohibited between the easternmost driveway of 1864 High Grove Lane and approximately 10' south of the northern driveway for 1955 High Grove Lane.

In addition, because the vehicles parked on-street are primarily customers and staff from a single business, Loaves and Fishes, staff recommends establishing these parking restrictions for a 2 year period, at which time the City would re-evaluate conditions to determine if there is a need for the restrictions to continue or if modifications to the restrictions are necessary. City staff has also asked for a commitment from Loaves and Fishes to continue working to identify opportunities to decrease parking demand during their peak hours and also to continue to seek opportunities to provide additional off-street parking for their staff, volunteers and customers. Loaves and Fishes will also be required to notify the City of any changes to their off-site parking agreements with adjacent property owners.

Notification of these proposed parking restrictions and the associated conditions was sent to Loaves and Fishes in advance of the TAB meeting. Loaves and Fishes is in agreement with the proposed parking restrictions and has agreed to the associated conditions. The High Grove Naperville Business Park Association and adjacent property owners have also been notified of the proposed parking restrictions.

*Transportation Advisory Board Discussion*

The Transportation Advisory Board discussed the proposed restrictions at their meeting on June 2, 2012. TAB members asked about the number of staff and volunteers working at Loaves and Fishes. They also sought clarification on the need for parking restrictions on both the north and

*High Grove Lane Parking Restrictions*

*June 19, 2012*

*Page 3 of 3*

south sides of the street. Staff clarified that the parking restrictions on the north side of High Grove Lane is between two driveways and is recommended in order to ensure adequate site distance for vehicles exiting onto High Grove Lane. TAB also asked if Loaves and Fishes is in support of the proposed parking restrictions and staff informed them that they are in support of the proposed restrictions. TAB voted 9-0 in favor of the proposed parking restrictions on High Grove Lane.

**RECOMMENDATION:**

Approve the recommendation to establish No Parking on High Grove Lane as outlined in the attached ordinance.

**ATTACHMENTS:**

1. Ordinance
2. Location Map
3. Loaves & Fishes Letter

ORDINANCE NO. 12 - \_\_\_\_

AN ORDINANCE AMENDING THE NAPERVILLE TRAFFIC SCHEDULE MANUAL TO REGULATE PARKING ON HIGH GROVE LANE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, ILLINOIS, DuPAGE AND WILL COUNTIES, in exercise of its home rule authority as follows:

**SECTION 1:** Section VIA, No Parking Zones of the Naperville Traffic Schedule Manual is hereby amended by adding the underlined language as follows:

- High Grove Lane      Establish a “No Parking” zone from a point 1,000’ west of the centerline of Ambassador Drive to a point 800’ west of the centerline of Ambassador Drive.      North side
- High Grove Lane      Establish a “No Parking” zone from a point 915’ north of the centerline of Glacier Park Avenue to a point 275’ west of the centerline of Ambassador Drive.      South side

**SECTION 2:** This Ordinance shall be in full force and effect after its passage and approval.

PASSED this \_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

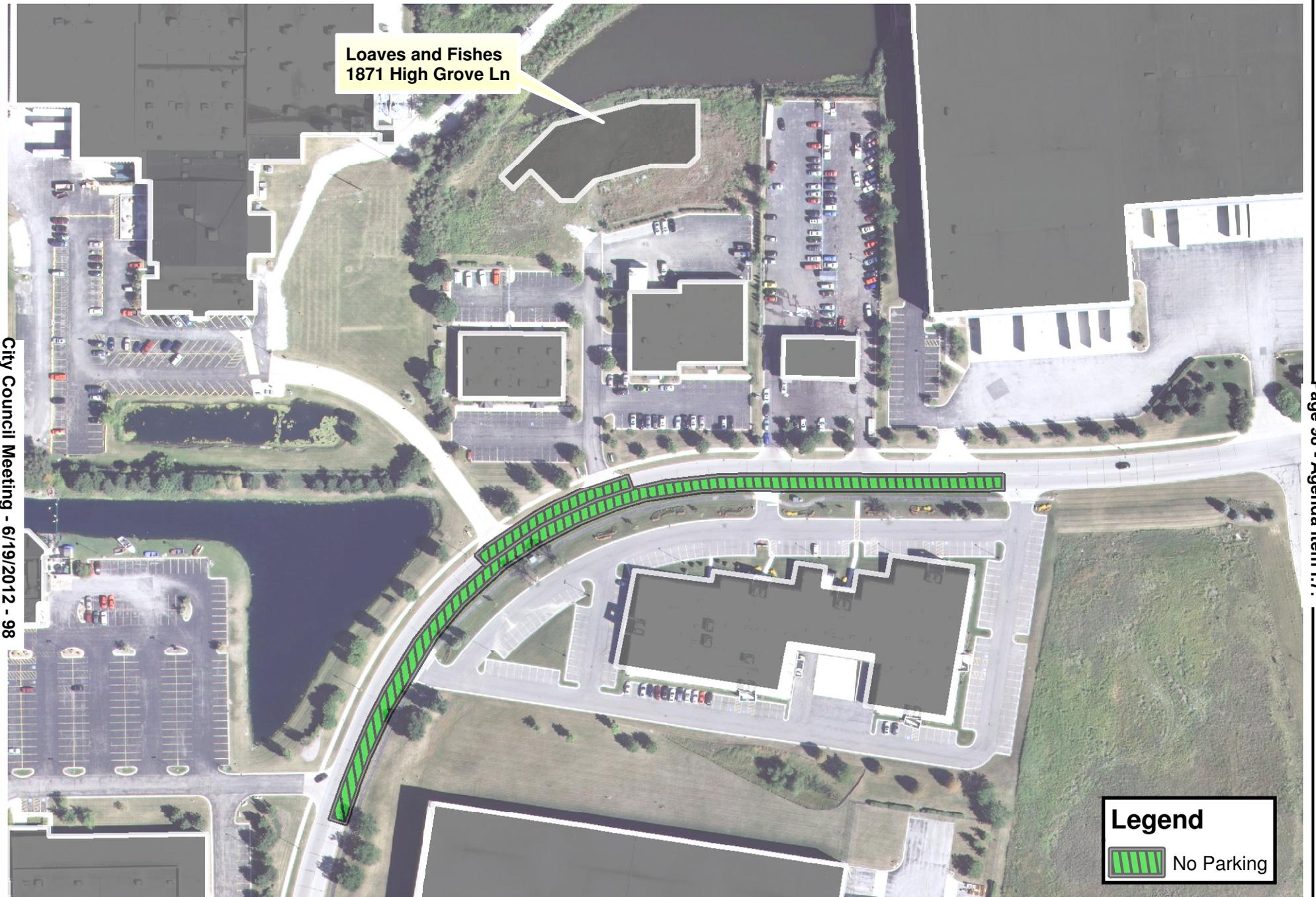
APPROVED this \_\_\_\_ day of \_\_\_\_\_, 2012.

ATTEST:

\_\_\_\_\_  
A. George Pradel  
Mayor

---

Pamela LeFeber, Ph.D.  
City Clerk



Transportation, Engineering and  
Development Business Group  
www.naperville.il.us  
May 2012

## High Grove Lane Proposed Parking Restrictions



NOT TO SCALE

**1887 High Grove L.L.C.**  
**c/o Stephen A. Roake**  
121 SW 54<sup>th</sup> Terrace  
Cape Coral, FL. 33914  
(239)549-2434  
(630)816-1496 (cell)  
[steve@theroakes.com](mailto:steve@theroakes.com)

**VIA e-mail attachment and US Mail**

31 May 2012

City of Naperville  
400 So. Eagle Street  
Naperville, IL. 60540

Attn: Karyn Robles  
Transportation and Planning Team Leader

RE: Proposed Parking Restrictions  
High Grove Business Park

Dear Ms. Robles:

I am writing today in support of the City's proposed parking restrictions on High Grove Lane between 1864 and 1955 High Grove Lane (both sides). I would support parking restrictions on ALL street parking within the High Grove Business Park. Not only is the on-street parking dangerous with the heavy truck traffic, but the parking of trucks and trailers is unsightly, as well.

I am the property owner of 1879-1887 High Grove Lane. I recently received a copy of your 14 May letter from one of my tenants. I'm surprised and disappointed that I wasn't sent this letter as an owner. I was also never apprised of the permitting of the Loaves and Fishes Food Pantry. Had I been, I would have objected to this project on the basis of inadequate parking.

I feel that the City has some responsibility in the parking problem with Loaves and Fishes. The City knew of the parking demands for this facility from its prior location on Fifth Ave. Loaves and Fishes had major issues with parking at that facility and with the new, much larger, facility, one would only expect this problem to get worse. Yet the City allowed the construction of this "grocery store" with grossly inadequate parking. Because of this, I believe that the City should assist Loaves and Fishes in obtaining the parking necessary to support their worthy operation.

City of Naperville / Karyn Robles  
31 May 2012  
Page 2

I currently have about a 65% vacancy in my office building, which was designed for about 5.5 parking spaces / 1,000 sf. As a result, I have allowed Loaves and Fishes to use about 40 parking spaces on my property (at no charge). Hopefully,

I will have additional tenants someday soon. When that occurs, these spaces will no longer be available to Loaves and Fishes unless, of course, they or the City decides to purchase the building!

I can honestly state that this parking problem has been a huge deterrent for potential tenants as well as my current tenant, Exel, Inc. The dangerous condition posed by poor visibility at the common driveway entrance has been of great concern, and must be eliminated. We can only show the building space on the days when Loaves and Fishes is closed to their clients because of the parking mess.

If the 40 spaces on my property and the on-street parking are eliminated, the Loaves and Fishes facility will have an even more EXTREME parking problem. How could this have been allowed in the first place? This facility should have at least 125 to 150 spaces!

I know that the Loaves and Fishes Food Pantry is a worthy charity and I support their work, as is evidenced by my allowing them to temporarily use some of my parking, but I also feel that their facility should have had more thought given to the parking needs of their staff, volunteers and clients. This should have been the roll of the City, as it is with any proposed development. To permit the construction of this facility with such a severe lack of parking is unconscionable. I hope that the City can assist and work with Loaves and Fishes and their neighbors to the east and west to secure additional land for parking at their facility.

Please keep me in the loop on this and other issues relating to my property on High Grove Lane.

Very Truly Yours,

Stephen A. Roake



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** RibFest Fireworks

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Approve the Exchange Club of Naperville's permit request to hold a fireworks display on July 3, 2012.

**BOARD/COMMISSION REVIEW:**  
n/a

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action

**DEPARTMENT:** Fire Department

**SUBMITTED BY:** Chief Puknaitis

**FISCAL IMPACT:**  
n/a

**BACKGROUND:**  
The Exchange Club of Naperville is sponsoring the July 3, 2012 fireworks show held in conjunction with RibFest. The display is scheduled to start at approximately 9:30 p.m. to conclude the event and last for approximately 30-45 minutes. The Exchange Club has requested a permit for this outdoor fireworks program.

**DISCUSSION:**  
In accordance with the Naperville Municipal Code, an application for the fireworks permit must be approved by the City Council. All of the necessary paperwork has been filed with the Fire Department and City Clerk's Office. A scaled site plan for this event is attached with the application along with appropriate Certificate of Insurance naming the City as additionally insured.

*Naperville Central High School Fireworks Display*

*June 19, 2012*

*Page 2 of 2*

**RECOMMENDATION:**

Approve the Exchange Club of Naperville's request for a fireworks permit, subject to final inspection and approval of the site by the Fire Department.

**ATTACHMENTS:**

1. Exchange Club's Permit Application
2. Melrose Pyrotechnics' Certificate of Insurance
3. Melrose Pyrotechnics' Licenses
4. Melrose Pyrotechnics' Shell List and Site Map



# Naperville

## FIREWORKS PERMIT

## APPLICATION

APPLICANT (Organization): The Exchange Club of Naperville

APPLICANT (Representative): Mark Wright

Bob Kerns

Greg Smalley

ORGANIZATION ADDRESS: c/o Bookkeeping Essentials, 1607 East Taft Avenue, Wheaton, IL PHONE: \_\_\_\_\_

FIRM PROVIDING FIREWORKS: Melrose Pyrotechnics, Inc. PHONE: (800) 771-7976

ADDRESS FIREWORKS FIRM: P.O. Box 302, Kingsbury, Indiana 46345

FIREWORKS FIRM REPRESENTATIVE: Bob Kerns

FIREWORKS DISPLAY DATE: July 3, 2012 TIME: Approx. 9:30 p.m.

DISPLAY LOCATION: Knoch Park-Naperville, Illinois

**PLEASE ATTACH THE FOLLOWING TO THE COMPLETED APPLICATION:**

1. Map of display location and display setup.
2. Bond (\$1,000) - cash, personal or company bond.
3. Liability Insurance (copy of insurance policy).

Signatures of Applicants: *Mark Wright* Age: 41

*Robert Kerns* Age: 54

*Greg Smalley* Age: 49

(All accidents must be reported to the Office of the State Fire Marshal within 36 hours of occurrence.)

Completed application with attachments submitted to City Clerk's Office. City Clerk forwards copy of Fire and Police Departments for approval. Approved application returned to City Clerk for forwarding to City Council for approval. Fire Department issues permit upon receipt of notice of Council approval from City Clerk.

NOTE: It is the responsibility of the applicant to coordinate with the Fire and Police Departments before and during the celebration.

Reviewed by Police Department: \_\_\_\_\_

Reviewed by Fire Department: \_\_\_\_\_



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
3/26/2012

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Britton-Gallagher and Associates, Inc. 6240 SOM Center Rd. Cleveland OH 44139	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): 440-248-4711      FAX (A/C, No): 440-544-1234	
	<b>E-MAIL ADDRESS:</b>	
<b>INSURED</b> Melrose Pyrotechnics, Inc. Kingsbury Industrial Parkway Heinold Complex Kingsbury IN 46345	<b>INSURER(S) AFFORDING COVERAGE</b> NAIC #	
	INSURER A :Granite State Insurance Co.	
	INSURER B :LM Ins Corp	
	INSURER C :Lexington Insurance Co	
	INSURER D :Maxum Indemnity Company      26743	
	INSURER E : INSURER F :	

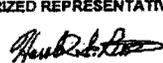
**COVERAGES**      **CERTIFICATE NUMBER: 1459567487**      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
C	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC			1619273-04	1/15/2012	1/15/2013	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$50,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
A	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			CA93487534	1/15/2012	1/15/2013	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
D	<b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE  DED    RETENTION \$			EXC6017975	1/15/2012	1/15/2013	EACH OCCURRENCE \$4,000,000 AGGREGATE \$4,000,000 \$
B	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below  Y/N    N/A			WC734S381029 (IL)	4/4/2012	4/4/2013	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)**

DISPLAY DATE: July 3, 2012  
 LOCATION: Knoch Park - 724 S. West Street - Naperville, Illinois  
 ADDITIONAL INSURED: The Exchange Club Charitable Organization; Naperville Park District and City of Naperville, their Public Officials, Officers, Directors, Employees, Volunteers and Agents; Naperville Fire Department

<b>CERTIFICATE HOLDER</b>  Naperville Exchange Club 1212 S. Naper Blvd., Suite 119-137 Naperville IL 60567	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	<b>AUTHORIZED REPRESENTATIVE</b>  

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**STATE OF ILLINOIS  
OFFICE OF THE STATE FIRE MARSHAL  
DIVISION OF FIRE PREVENTION**



1035 Stevenson Drive • Springfield, IL 62703-4259

***Pyrotechnic Distributor License***

Melrose Pyrotechnics, Inc.  
P.O. Box 302  
Kingsbury, IN 46345

**IL06-OPF-00030**

**License #**

*Lawrence T. Matkaltis*

**Lawrence T. Matkaltis  
STATE FIRE MARSHAL**

**02/15/2015**

**EXPIRATION DATE**

**OPF**

**CLASSIFICATION**

This license may be revoked by  
the Office of the State Fire Marshal  
for failure to comply with the lawful  
rules regulating this program.

In accordance with the provisions of Title XI, Organized Crime Control Act of 1970, and the regulations issued thereunder (27 CFR Part 555), you may engage in the activity specified in this license or permit within the limitations of Chapter 40, Title 18, United States Code and the regulations issued thereunder, until the expiration date shown. **THIS LICENSE IS NOT TRANSFERABLE UNDER 27 CFR 555.53.** See "WARNINGS" and "NOTICES" on reverse.

Direct ATF                   ATF - Chief, FELC  
Correspondence To       244 Needy Road  
   Martinsburg, WV 25405-9481

License/Permit  
**4-IN-091-24-5A-00529**

Chief, Federal Explosives Licensing Center (FELC)

Expiration  
Date  
**January 1, 2015**

*Christopher R. ...*

Name  
MELROSE PYROTECHNICS INC

Premises Address (Changes? Notify the FELC at least 30 days before the move.)  
**HEINOLD BLDG. S-1-3 KINGSBURY INDUSTRIAL PARK  
KINGSBURY, IN 46345-0000**

Type of License or Permit  
**24-IMPORTER OF EXPLOSIVES**

Purchasing Certification Statement

Mailing Address (Changes? Notify the FELC of any changes.)

The licensee or permittee named above shall use a copy of this license or permit to assist a transferor of explosives to verify the identity and the legal status of the licensee or permittee as provided by 27 CFR Part 555. The signature on each copy must be an original signature. A faxed, scanned or e-mailed copy of the license or permit with a signature intended to be an original signature is acceptable. The signature must be that of the Federal Explosives Licensee (FEL) or a responsible person of the FELC. I certify that this is a true copy of a license or permit issued to the licensee or permittee named above for the business or operations specified above under "Type of License or Permit."

MELROSE PYROTECHNICS INC  
P O BOX 302  
KINGSBURY, IN 46345-

Licensee/Permittee Responsible Person Signature

Position/Title

Printed Name

Date

ATF Form 5400.14/5400.15 Part I  
Revised October 2011

Previous Edition is Obsolete   MELROSE PYROTECHNICS INC, HEINOLD BLDG. S-1-3 KINGSBURY INDUSTRIAL PARK, 46345, 4-IN-091-24-5A-00529, January 1, 2015, 24-IMPORTER OF EXPLOSIVES

# Federal Explosives License/Permit (18 U.S.C. Chapter 40)

U.S. Department of Justice  
Bureau of Alcohol, Tobacco, Firearms and Explosives

In accordance with the provisions of Title XI, Organized Crime Control Act of 1970, and the regulations issued thereunder (27 CFR Part 555), you may engage in the activity specified in this license or permit within the limitations of Chapter 40, Title 18, United States Code and the regulations issued thereunder, until the expiration date shown. **THIS LICENSE IS NOT TRANSFERABLE UNDER 27 CFR 555.53.** See "WARNINGS" and "NOTICES" on reverse.

Direct ATF Correspondence To  
ATF - Chief, FELC  
244 Needy Road  
Martinsburg, WV 25405-9481

**4-IN-091-21-5A-00528**

Chief, Federal Explosives Licensing Center (FELC)

Expiration Date

**January 1, 2015**

*Christopher R. [Signature]*

Name  
MELROSE PYROTECHNICS INC

Premises Address (Changes? Notify the FELC at least 30 days before this date.)  
**HEINOLD BLDG S-1-3 KINGSBURY INDUSTRIAL PARK  
KINGSBURY, IN 46345-0000**

Type of License or Permit

**21-MANUFACTURER OF EXPLOSIVES**

Purchasing Certification

Mailing Address (Changes? Notify the FELC of any changes.)

The licensee or permittee named above shall use a copy of this license or permit to assist a purchaser or transferee of explosives to verify the identity and the license status of the licensee or permittee as provided by 27 CFR Part 555. The signature on each copy must be an original signature. A faxed, scanned or e-mailed copy of the license or permit with a signature intended to be an original signature is acceptable. The signature must be that of the Federal Explosives Licensee (FEL) or a responsible person of the licensee or permittee named above. This is a true copy of a license or permit issued to the licensee or permittee named above for the business or operations specified above under "Type of License or Permit".

MELROSE PYROTECHNICS INC  
PO BOX 304  
KINGSBURY IN 46345-0000  
BECKY PIERCE

Licensee/Permittee Responsible Person Signature

Position/Title

Printed Name

Date

Previous Edition is Obsolete

MELROSE PYROTECHNICS INC-HEINOLD BLDG S-1-3 KINGSBURY INDUSTRIAL PARK-46345-0000-4-08-091-21-04-00528-January 1, 2015-21-MANUFACTURER OF EXPLOSIVES

ATF Form 5400.14/5400.15 Part I  
Revised October 2011



**Gregory R Smalley**

505 Chicory Street

Machesney Park, IL 61115

Operator Number:

**IL06-O-00030-00434**

This is to Certify That

**Gregory R Smalley**

Has completed

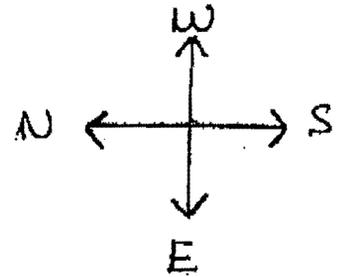
all the requirements under the  
Pyrotechnic Distributor and Operator  
Act

225 ILCS 227

Date of Issue: **6/1/2009**

Expiration Date: **8/15/2012**

Melrose Pyrotechnics, Inc.  
Site Inspection Form



Customer Name: The Exchange Club - Naperville

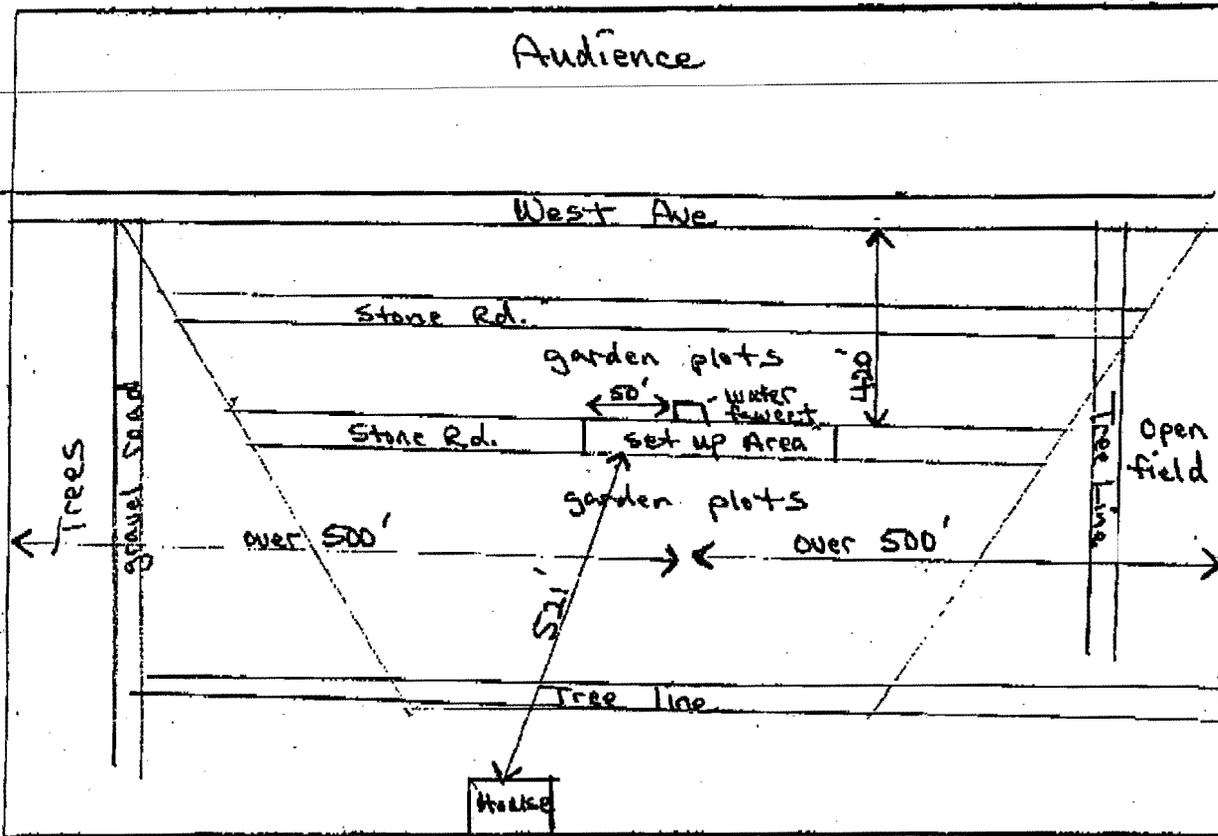
Site address and name if applicable  
\_\_\_\_\_  
\_\_\_\_\_

Site contact person (day of display) Gary Foiles  
cell# 630-408-0354

Site Diagram: (See Example) When diagramming the shooting location, mark areas where low level products shall be placed. Make sure your measurements include the following distances:

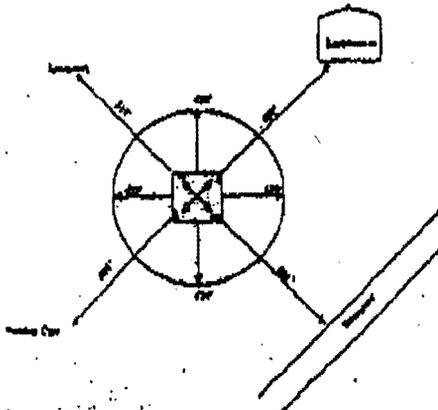
- A. Spectators
- B. Parking
- C. Residences
- D. Commercial Buildings

Maximum size shall based on measurements taken: 6



Directions to site:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Example: Site Diagram

Wynn Cramer  
Signature of person completing form:

\_\_\_\_\_  
Date



EXCHANGE CLUB OF NAPERVILLE  
July 4, 2012

**SHELL SUMMARY**

Approximately:

400 – 2 ½” Aerial Display Shells  
400 – 3” Aerial Display Shells  
150 – 4” Aerial Display Shells  
120 – 5” Aerial Display Shells  
70 – 6” Aerial Display Shells

**OPERATOR**

Gregory Smalley “Bob”

**ADDITIONAL INFORMATION**

We will provide two fully charged fire extinguishers for the display and the operators will bring eye, ear, and head protection with them.

Gary Foiles of the Naperville Park District will be the person responsible for securing the area from the audience.

Shells will be shunted and put in approved boxes. The crew will sweep the area after the show.

The time of set-up for the Fire Department inspection prior to the show is 7:00 p.m.

**Melrose Pyrotechnics**

1 Kingsbury Industrial Park  
P.O. Box 302  
Kingsbury, IN 46345

T 219-393-5522 800-771-7976  
F 219-393-5710 800-775-7976

melroseypro.com



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** 2275 W. Diehl Road (Handi-foil) – PZC 12-1-068

**TYPE OF VOTE:** Simple majority

**ACTION REQUESTED:**

Pass the ordinance granting a variance from Section 6-9-3:2 (Schedule of Off-Street Parking Requirements) of the Municipal Code to reduce the number of required off-street parking spaces from 454 to 330 spaces for the property located at 2275 W. Diehl Road and amending the Statement of Intent and Agreement for Diehl Road – 41-acre Site to remove Provision S8.0 (Occupancy Restrictions for Lot 2 Construction).

**BOARD/COMMISSION REVIEW:**

The Planning and Zoning Commission considered this matter on June 6, 2012 and voted to recommend approval of the request subject to condition (Approved 9-0). Staff concurs.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date of Action	Item No.	Action
N/A		

**DEPARTMENT:** TED – Planning Services Team

**SUBMITTED BY:** Ying Liu, AICP, Community Planner

**FISCAL IMPACT:**

N/A

**BACKGROUND:**

The subject property, comprised of 22.76 acres, is located at 2275 W. Diehl Road. The property is zoned I (Industrial District) and is presently improved with an industrial building and accessory parking and loading facilities including 330 parking spaces and 40 loading docks.

2275 W. Diehl Road (Handi Foil) (PZC 12-1-068)

June 19, 2012

Page 2 of 3

**DISCUSSION:**

The petitioner, Handi South LLC, intends to renovate the existing 399,537 square foot industrial building at 2275 W. Diehl Road for light manufacturing, packaging, warehousing and distribution of Handi-foil products (aluminum foil food containers). All intended uses are permitted by right in the I district. Of the 399,537 square feet, 36,610 square feet will be used for the production lines and the remaining 362,927 square feet will be used for warehousing, distribution and other similar uses. Based on an application of the required parking ratios (1 space per 1,000 sq.ft. for warehouses and 2.5 spaces per 1,000 sq.ft. for general manufacturing), the proposed facility would require a total of 454 parking spaces, while the existing parking lot provides 330 spaces.

In order to allow the existing parking lot to satisfy the parking requirements for the facility, the petitioner requests a variance from Section 6-9-3:2 (Schedule of Off-Street Parking Requirements) of the Municipal Code to reduce the number of required off-street parking spaces from 454 to 330 spaces. No expansion of the existing building or modification to the parking lot is proposed.

To support the variance request, the petitioner provided a parking analysis (included in Attachment 4) which indicated that during the peak season, the facility will have three employee shifts with the largest shift having up to 190 employees while the other two shifts will include approximately 115 and 75 employees, respectively. In addition, in an email dated February 13, 2012 (Attachment 5), the petitioner indicated that besides employees, other visits to the sites are rare and all truck traffic will be accommodated in the existing 40 loading docks. The parking analysis concluded that the existing parking supply of 330 spaces would be sufficient to serve the proposed facility. Staff concurs with the findings of the parking analysis. In addition, the petitioner provided responses to the standards for a zoning variance (included in Attachment 4). Staff concurs with the petitioner's findings.

In order to account for future changes to the site, staff included the following condition in the ordinance approving the parking variance, which the petitioner has agreed to:

*In the event that the facility's parking demands cannot be accommodated within the existing parking areas on the subject property, the owner and developer shall take measures (e.g. carpool, shift adjustments, construction of new parking spaces, etc.) to meet the parking demands of the facility and avoid any overflow parking on Diehl Road.*

*Amendment to the Statement of Intent and Agreement*

The property is subject to conditions contained in the Statement of Intent and Agreement for Diehl Road – 41-acre Site, by and between the City of Naperville, and Anonymous Diehl, LLC, dated May 2, 2000 (Attachment 6). Provision S8.0 of the Agreement stipulates that 64 parking spaces shall be land-banked and occupancy of the building will be restricted to a maximum of 336,000 square feet of space until additional parking spaces are constructed per code or the necessary variance to the parking regulations is obtained. Based upon the findings of the parking analysis, the estimated parking demands generated by full occupancy of the building would be adequately met by the existing parking supply on the site and therefore, the petitioner requests to remove the restrictions.

2275 W. Diehl Road (Handi Foil) (PZC 12-1-068)

June 19, 2012

Page 3 of 3

Staff agrees with removal of Provision S8.0 upon approval of the variance, as the variance ordinance will become the controlling document for parking conditions on the site.

*Planning and Zoning Commission Action*

The Planning and Zoning Commission considered this matter at their meeting on June 6, 2012. Following staff's presentation, Mitchell A. Carrel, Attorney with Freeborn & Peters LLP and Pete Perkins, representing Handi South, LLC., gave an overview of the request. The Planning and Zoning Commission inquired about the impact of the Statement of Intent and Agreement on parking requirements for the subject property, peak employee count, peak season of the facility, and whether the petitioner agrees to the condition of approval. No members of the public provided testimony. After limited discussion, the Planning and Zoning Commission closed the public hearing and voted unanimously to recommend approval for the case subject to the condition recommended by staff (approved 9-0). Staff concurs with the Planning and Zoning Commission's recommendation.

**RECOMMENDATION:**

Pass the ordinance granting a variance from Section 6-9-3:2 (Schedule of Off-Street Parking Requirements) of the Municipal Code to reduce the number of required off-street parking spaces from 454 to 330 spaces for the property located at 2275 W. Diehl Road and amending the Statement of Intent and Agreement for Diehl Road – 41-acre Site to remove Provision S8.0 (Occupancy Restrictions for Lot 2 Construction).

**ATTACHMENTS:**

1. 2275 W. Diehl Road (Handi-foil) – Ordinance – PZC 12-1-068
2. 2275 W. Diehl Road (Handi-foil) – Exhibit A Legal Description – PZC 12-1-068
3. 2275 W. Diehl Road (Handi-foil) – Exhibit B Plat of Survey – PZC 12-1-068
4. 2275 W. Diehl Road (Handi-foil) – Development Petition – PZC 12-1-068
5. 2275 W. Diehl Road (Handi-foil) – Email from the Petitioner – PZC 12-1-068
6. 2275 W. Diehl Road (Handi-foil) – Statement of Intent and Agreement – PZC 12-1-068
7. 2275 W. Diehl Road (Handi-foil) – Location Map – PZC 12-01-068
8. 2275 W. Diehl Road (Handi-foil) – Draft 6/6/12 PZC Minutes – PZC 12-01-068

PIN: 07-04-303-004

ADDRESS:  
2275 W. Diehl Road  
NAPERVILLE, IL 60563

PREPARED BY:  
CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170

RETURN TO:  
CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60540

P.Z.C. Case #12-1-068

**ORDINANCE NO. 12 - \_\_\_\_**

**AN ORDINANCE GRANTING A ZONING VARIANCE FROM  
SECTION 6-9-3 (SCHEDULE OF OFF-STREET PARKING REQUIREMENTS)  
OF TITLE 6 (ZONING REGULATIONS)  
OF THE NAPERVILLE MUNICIPAL CODE AND AMENDING  
THE STATEMENT OF INTENT AND AGREEMENT FOR  
DIEHL ROAD – 41-ACRE SITE FOR THE PROPERTY  
LOCATED AT 2275 W. DIEHL ROAD (HANDI-FOIL)**

**WHEREAS**, Handi South LLC., (Petitioner), has petitioned the City of Naperville for approval of a parking variance in order to conduct light manufacturing, packaging, warehousing and distribution of Handi-foil products on the real property located at 2275 W. Diehl Road, Naperville, IL, which is legally described in **Exhibit A**, and depicted on **Exhibit B** (Subject Property); and

**WHEREAS**, the Subject Property is currently zoned I (Industrial District) and is improved with an industrial building and 330 parking spaces; and

**WHEREAS**, the proposed facility, including 36,610 square-foot production lines and 362,927 square foot warehousing/distribution area, would require 454 parking spaces per Section 6-9-3 of the Naperville Municipal Code; and

**WHEREAS**, the Subject Property is subject to the Statement of Intent and Agreement for Diehl Road – 41-acre Site, by and between the City of Naperville, and Anonymous Diehl, LLC, dated May 2, 2000 and recorded on February 16, 2001 as Document No. R2001-026349; and

**WHEREAS**, Provision S8.0 (Occupancy Restrictions for Lot 2 Construction) of the Statement of Intent and Agreement for Diehl Road – 41-acre Site stipulates the following:

The OWNER and DEVELOPER has submitted site specific engineering to construct a 400,100 square foot Warehouse/Distribution facility with accessory office space on Lot 2 of the Subject Property. Per CITY ordinances, warehouse/distribution facilities are required to provide 1.0 parking spaces per 1,000 square feet of gross floor area. As such the minimum number of parking spaces required to serve this facility is 401 stalls. The site specific plans for the proposed facility call for the construction of 410 parking stalls in two phases. Phase I involves the construction of approximately 336 parking stalls with the remaining 64 spaces to be land-banked and constructed at a future date. Per the terms and conditions of the agreement, the undersigned parties, their successors and assigns hereby agree that occupancy of the building will be restricted to a maximum of 336,000 square feet of space until the remainder of the parking spaces required by CITY ordinances are constructed to serve the 64,100 square foot balance of the proposed facility or obtain the necessary variances to the parking regulations Chapter 6-9 (Off-street Parking).

**WHEREAS**, the Petitioner is requesting approval of a variance from Section 6-9-3:2 (Schedule of Off-Street Parking Requirements) of the Naperville Municipal Code and removal of Section 8.0 (Occupancy Restrictions for Lot 2 Construction) of the Statement of Intent and Agreement in order to allow the existing parking areas to satisfy the parking requirements for the facility; and

**WHEREAS**, on June 6, 2012, the Planning and Zoning Commission considered the Petitioner' request and recommended approval of the requested parking variance for the Subject Property at 2275 W. Diehl Road; and

**WHEREAS**, the City Council of the City of Naperville has determined that the Petitioner's requests should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The foregoing recitals are incorporated herein as though fully set forth.

**SECTION 2:** A variance from Section 6-9-3:2 (Schedule of Off-Street Parking Requirements) of the Naperville Municipal Code to allow a reduction of the number of required off-street parking spaces from 454 to 330 spaces for the Subject Property, as depicted on the Plat of Survey attached to this Ordinance as **Exhibit B**, is hereby approved subject to the following condition:

1. In the event that the facility's parking demands cannot be accommodated within the existing parking areas on the subject property, the owner and developer shall take measures (e.g. carpool, shift adjustments, construction of new parking spaces, etc.) to meet the parking demands of the facility and avoid any overflow parking on Diehl Road.

**SECTION 3:** The Statement of Intent and Agreement for Diehl Road – 41-acre Site, by and between the City of Naperville, and Anonymous Diehl, LLC, dated May 2, 2000 and recorded on February 16, 2001 as Document No. R2001-026349, is hereby amended by removing Provision S8.0 (Occupancy Restrictions for Lot 2 Construction).

**SECTION 4:** The variance approved by this Ordinance shall expire two years from the effective date of this Ordinance if (a) a building permit has not been obtained and the construction or alteration of the structure as specified in this Ordinance has not been started within that two-year period or (b) the use specified in this Ordinance has not commenced within that two-year period. The variance shall be subject to revocation for the failure to comply with all other applicable conditions set forth in the city's zoning regulations and all other applicable laws and ordinances.

**SECTION 5:** The City Clerk is authorized and directed to record this Ordinance and its exhibits with the DuPage County Recorder.

**SECTION 6:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

---

A. George Pradel  
Mayor

ATTEST:

---

Pam LaFeber, Ph. D.  
City Clerk

**HANDI SOUTH LLC**  
**APPLICATION FOR A ZONING VARIANCE**

**LEGAL DESCRIPTION/ PIN**

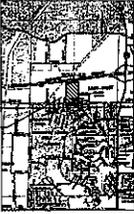
**PIN # 0704303004**

PARCEL 1: LOT 2 IN THE FINAL PLAT OF SUBDIVISION OF DIEHL ROAD 41 ACRE SITE, BEING A SUBDIVISION IN SECTION 4, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001, AS DOCUMENT R2001-26349, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE FINAL PLAT OF SUBDIVISION OF DIEHL ROAD 41 ACRE SITE RECORDED FEBRUARY 16, 2001 AS DOCUMENT R2001-026349 FOR VEHICULAR INGRESS AND EGRESS OVER AND ACROSS THE PORTIONS OF LOT 1 MARKED AND IDENTIFIED AS CROSS-ACCESS EASEMENT ON THE PLAT.

ADDRESS: 2275 DIEHL ROAD, NAPERVILLE, IL 60563

LOCATION MAP

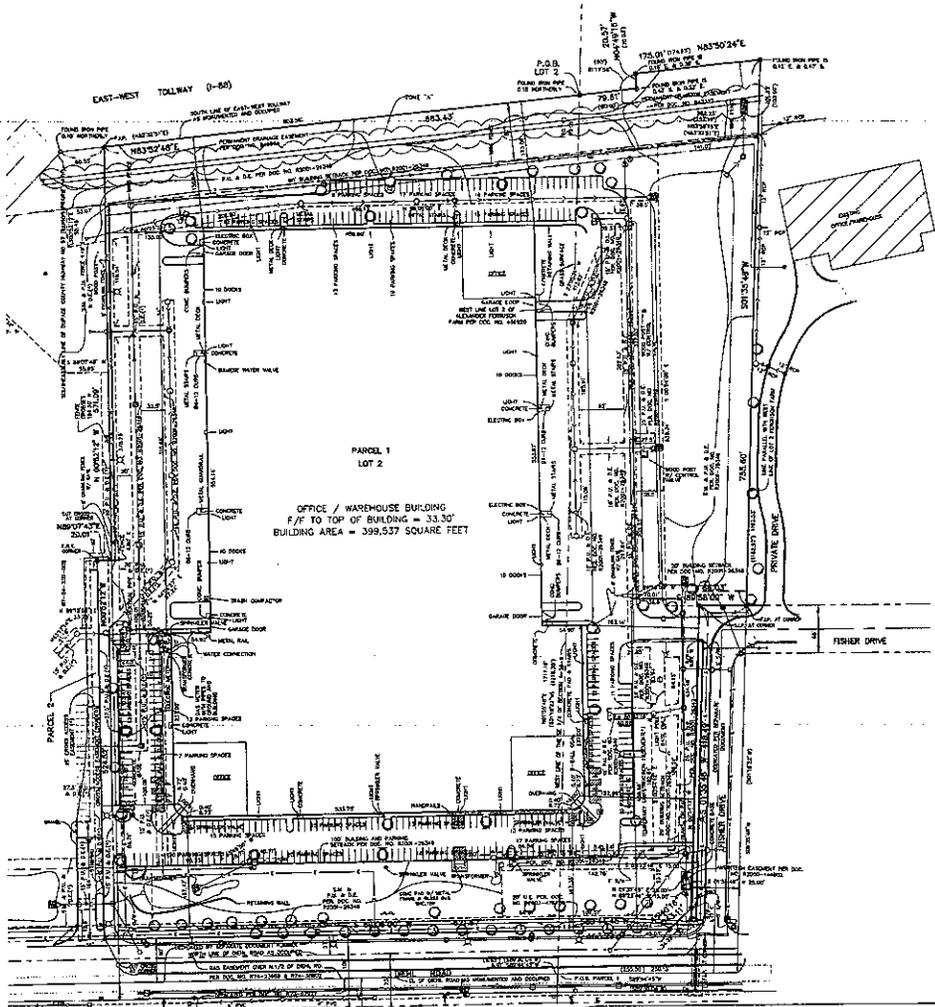


SITE LOCATION

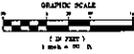
### ALTA/ACSM LAND TITLE SURVEY 2275 DIEHL ROAD

LEGAL DESCRIPTION

PARCEL 1, LOT 2 IN THE FINAL PLAT OF SUBDIVISION OF DIEHL ROAD "A" MAP, BEING A SUBDIVISION BY SECTION 4, TOWNSHIP 30 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 18, 2004 AS DOCUMENT #2004-23549, IN DEPICTED COUNTY, ILLINOIS.



- LEGEND**
- SURVEY EASEMENT
  - STORM SEWER
  - STORM WELLS
  - CURB SEWER
  - FINISHED ELEVATION
  - NAME AND WHAT
  - TREE EASEMENT
  - LIGHT POLE
  - TELEPHONE & CABLE
  - ELECTRIC TRANSMISSION LINE
  - TELEPHONE CONDUIT
  - TELEPHONE EASEMENT
  - TELEPHONE CONDUIT NUMBER
  - IRON PIPE
  - IRON ROD
  - P.A. NAIL
  - CONCRETE ANCHORAGE
  - UTILITY EASEMENT
  - 8" DUCTILE IRON WATER MAIN/UNPAVED VALE
  - SPRINKLER HEAD
  - WELLS SIGN MARKER
  - POWER POLE
  - ELECTRIC CABLE MARKED
  - GAS SIGN MARKER
  - STREET SIGN
  - REDUCED TREE
  - SYMBOL
- CENTER LINE  
--- BOUNDARY LINE  
--- EASEMENT LINE  
--- BUILDING FOOTPRINT LINE  
--- SECTION LINE  
--- PROPOSED POINT OF BEGINNING  
--- PROPOSED LOT LINE  
--- PROPOSED SET LINE
- P.A. & E. PUBLIC UTILITY AND DRAINAGE EASEMENT  
P.V. & E. PUBLIC UTILITY GENERAL AND DRAINAGE EASEMENT  
S.M. & P.U. & E. STORMWATER MANAGEMENT, PUBLIC UTILITY AND DRAINAGE EASEMENT
- 2"V. SIGNAGE  
S.P.A. SET HIGH MARK  
S.P.C. SET FOR MAIL  
F.A. FOUND HIGH MARK  
F.A.K. FOUND PAINTED SPRAY  
--- 3 --- STAKE MARK  
--- 4 --- SURVEY SIGN  
--- 5 --- ELECTRIC CONDUIT  
--- 6 --- WATER VALE  
--- 7 --- DUCTILE IRON WELLS  
--- 8 --- HANGING MARKING



LEGAL DESCRIPTION

**SURVEYOR'S NOTES**

1. I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT I AM A LICENSED SURVEYOR IN THE STATE OF ILLINOIS AND THAT I HAVE PERSONALLY CONDUCTED THIS SURVEY AND THAT I AM A MEMBER IN GOOD STANDING OF THE ILLINOIS SURVEYORS ASSOCIATION.
2. THE LOCATION OF THE PROPERTY LINES SHOWN ON THIS PLAN AND THE POSITION OF THE BUILDING FOOTPRINTS AND OTHER FEATURES SHOWN ON THIS PLAN ARE BASED ON THE FIELD SURVEY CONDUCTED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY ACCURATELY REPRESENT THE TRUE AND CORRECT LOCATION OF THE PROPERTY LINES AND OTHER FEATURES SHOWN ON THIS PLAN.
3. ONLY THE INSTRUMENTS WHICH WERE AVAILABLE FROM PUBLIC RECORDS AT THE TIME OF THIS SURVEY HAVE BEEN REFERRED TO IN THIS REPORT. THERE MAY BE OTHER INSTRUMENTS WHICH WERE FILED IN THE PUBLIC RECORDS AT THE TIME OF THIS SURVEY AND WHICH MAY AFFECT THE RIGHTS OF THE PARTIES TO THIS SURVEY.
4. I HAVE NOT BEEN ADVISED OF ANY OTHER INSTRUMENTS WHICH MAY AFFECT THE RIGHTS OF THE PARTIES TO THIS SURVEY.
5. I HAVE NOT BEEN ADVISED OF ANY OTHER INSTRUMENTS WHICH MAY AFFECT THE RIGHTS OF THE PARTIES TO THIS SURVEY.
6. I HAVE NOT BEEN ADVISED OF ANY OTHER INSTRUMENTS WHICH MAY AFFECT THE RIGHTS OF THE PARTIES TO THIS SURVEY.
7. THIS SURVEY HAS BEEN CONDUCTED IN ACCORDANCE WITH THE ILLINOIS SURVEYING ACT AND THE ILLINOIS SURVEYORS ASSOCIATION BY-LAWS AND I AM NOT PROVIDING ANY GUARANTEE OF ACCURACY FOR THIS SURVEY.
8. I HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR IN THE STATE OF ILLINOIS AND THAT I HAVE PERSONALLY CONDUCTED THIS SURVEY AND THAT I AM A MEMBER IN GOOD STANDING OF THE ILLINOIS SURVEYORS ASSOCIATION.
9. I HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR IN THE STATE OF ILLINOIS AND THAT I HAVE PERSONALLY CONDUCTED THIS SURVEY AND THAT I AM A MEMBER IN GOOD STANDING OF THE ILLINOIS SURVEYORS ASSOCIATION.
10. I HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR IN THE STATE OF ILLINOIS AND THAT I HAVE PERSONALLY CONDUCTED THIS SURVEY AND THAT I AM A MEMBER IN GOOD STANDING OF THE ILLINOIS SURVEYORS ASSOCIATION.

**TITLE EXCEPTION NOTES**

1. ALL EASEMENTS SHOWN ON THIS PLAN ARE BASED ON THE FIELD SURVEY CONDUCTED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY ACCURATELY REPRESENT THE TRUE AND CORRECT LOCATION OF THE PROPERTY LINES AND OTHER FEATURES SHOWN ON THIS PLAN.
2. THE ADDRESS OF THE SUBJECT PARCEL IS 2275 DIEHL ROAD, NAPERVILLE, ILLINOIS.
3. A PORTION OF THE LAND DESCRIBED IN THE LEGAL DESCRIPTION (AS DEFINED IN THE PLAT) IS A PLAT AREA "A" WHICH IS REFERRED TO AS "PLAT AREA A" IN THE LEGAL DESCRIPTION. THE PLAT AREA "A" IS A PORTION OF THE LAND DESCRIBED IN THE LEGAL DESCRIPTION AND IS REFERRED TO AS "PLAT AREA A" IN THE LEGAL DESCRIPTION.
4. THE BOUNDARY LINES OF THE BUILDING COMPLEX ARE 10.00 FEET FROM THE CENTER LINE OF THE ADJACENT SIDE DRIVE.
5. THERE ARE NO PARKING SPACES OF WHICH I AM AWARE FOR INDICATED SPACES AND ARE INDICATED BY THE SURVEYOR'S NOTES.
6. THERE ARE NO PARKING SPACES OF WHICH I AM AWARE FOR INDICATED SPACES AND ARE INDICATED BY THE SURVEYOR'S NOTES.
7. THE HAZARDOUS WASTE STORAGE (HWS) SIGN IS LOCATED APPROXIMATELY 10 FEET FROM THE CENTER LINE OF THE ADJACENT SIDE DRIVE.
8. THERE IS NO EVIDENCE OF EXISTING FOUNDATION, BUILDING CONSTRUCTION OR BUILDING FOOTPRINTS.
9. ADDITIONAL SIGNAGE HAS BEEN INSTALLED NEARBY THE WEST ENTRANCE TO THE SUBJECT PARCEL. THE OTHER INSTRUMENTS WHICH WERE REFERRED TO IN THIS REPORT ARE BASED ON THE FIELD SURVEY CONDUCTED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY ACCURATELY REPRESENT THE TRUE AND CORRECT LOCATION OF THE PROPERTY LINES AND OTHER FEATURES SHOWN ON THIS PLAN.

**TITLE EXCEPTION NOTES**

PARCEL 1, LOT 2 IN THE FINAL PLAT OF SUBDIVISION OF DIEHL ROAD "A" MAP, BEING A SUBDIVISION BY SECTION 4, TOWNSHIP 30 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 18, 2004 AS DOCUMENT #2004-23549, IN DEPICTED COUNTY, ILLINOIS.

DESCRIPTION OF THE EASEMENT RECORDED AS DOCUMENT #2004-23549 IS AS FOLLOWS: THE EASEMENT RECORDED AS DOCUMENT #2004-23549 IS A GRANT OF EASEMENT TO THE SURVEYOR FOR THE PURPOSES OF CONDUCTING SURVEYS AND FOR THE PURPOSES OF CONDUCTING SURVEYS AND FOR THE PURPOSES OF CONDUCTING SURVEYS.

DESCRIPTION OF THE EASEMENT RECORDED AS DOCUMENT #2004-23549 IS AS FOLLOWS: THE EASEMENT RECORDED AS DOCUMENT #2004-23549 IS A GRANT OF EASEMENT TO THE SURVEYOR FOR THE PURPOSES OF CONDUCTING SURVEYS AND FOR THE PURPOSES OF CONDUCTING SURVEYS AND FOR THE PURPOSES OF CONDUCTING SURVEYS.

STATE OF ILLINOIS )  
COUNTY OF LAKE )  
I, JAMES M. BOND, )  
CERTIFIED TO BE THE SURVEYOR )  
AND REGISTRAR OF THE )  
COUNTY OF LAKE, ILLINOIS. )  
I HEREBY CERTIFY THAT I AM A )  
LICENSED SURVEYOR IN THE )  
STATE OF ILLINOIS AND THAT I )  
HAVE PERSONALLY CONDUCTED )  
THIS SURVEY AND THAT I AM A )  
MEMBER IN GOOD STANDING OF )  
THE ILLINOIS SURVEYORS )  
ASSOCIATION. )  
I HEREBY CERTIFY THAT I AM A )  
LICENSED SURVEYOR IN THE )  
STATE OF ILLINOIS AND THAT I )  
HAVE PERSONALLY CONDUCTED )  
THIS SURVEY AND THAT I AM A )  
MEMBER IN GOOD STANDING OF )  
THE ILLINOIS SURVEYORS )  
ASSOCIATION. )

DATED THIS 6th DAY OF FEBRUARY, 2012.

*James M. Bond*

JAMES M. BOND, SURVEYOR No. 2015  
LICENSE EXPIRES FEBRUARY 30, 2017

OFFICE: 100 WEST WASHINGTON, NAPERVILLE, IL 60563  
PHONE: 630.255.1010  
WWW.MANHARDCONSULTING.COM



NO.	REVISIONS

2275 DIEHL ROAD  
NAPERVILLE, ILLINOIS  
EXHIBIT B

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
2275	01/08/12	1"=50'	TMB	TMB	TMB

Not to Scale

ALTA/ACSM LAND TITLE SURVEY OF 2275 DIEHL ROAD

# CITY OF NAPERVILLE APPLICATION FOR A ZONING VARIANCE

ADDRESS OF SUBJECT PROPERTY: 2275 Diehl Road, Naperville, IL 60563

PARCEL IDENTIFICATION NUMBER (PIN) 0704303004

APPLICANT'S NAME: Handi South LLC

APPLICANT'S ADDRESS: 135 East Hintz Road

CITY: Wheeling STATE: IL ZIP CODE: 60090

APPLICANT'S DAYTIME PHONE: (847) 353-1250

E-MAIL ADDRESS: pperkins@handi-foil.com

2275 Diehl Road, Inc., c/o David B. Allswang, Esq., Holland  
OWNER OF PROPERTY: & Knight, LLP

OWNER'S ADDRESS: 131 S. Dearborn Street, 30th Floor

CITY: Chicago STATE: IL ZIP CODE: 60603

OWNER'S DAYTIME PHONE: (312) 578-6666

ZONING OF PROPERTY: Industrial District

AREA OF PROPERTY (Acres or sq ft): 22.76 acres (991,511 sq. ft.)

List Improvements on property (buildings, fences, pools, decks, etc.)  
Please see attached Exhibit 1

DETAILED DESCRIPTION OF VARIANCE (include relevant Section numbers of Municipal  
Code; attached additional pages if needed):

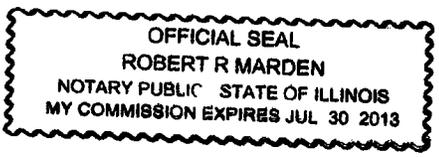
Please see attached Exhibit 2

## EXHIBIT A

The above information, to the best of my knowledge, is true and accurate:

*[Signature]* 5/10/12  
(signature of applicant) (date)

SUBSCRIBED AND SWORN TO before me this 10 day of MAY, 2012  
*[Signature]*  
(Notary Public and Seal)



**EXHIBIT A**

# STANDARDS FOR A ZONING VARIANCE

A zoning variance can only be granted if there are specific, land-related hardships or practical difficulties in carrying out the requirements of the ordinance for a particular piece of property. Self-inflicted hardships or increased profit or property value are not sufficient justifications to warrant a variance.

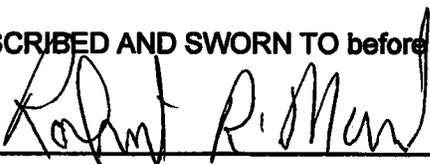
The recommendations prepared by staff and the Planning and Zoning Commission are prepared based upon the following standards, which are contained in Section 6-3-5 of the Naperville Municipal Code. *You should review the standards and, if necessary, prepare written findings or other evidence to support your request.*

- 1. The variance is in harmony with the general purpose and intent of this Title; and**
- 2. Strict enforcement of this Title would result in practical difficulties or impose exceptional hardships due to special and unusual conditions which are not generally found on other properties in the same zoning district; and**
- 3. The property cannot yield a reasonable return if permitted to be used only under the conditions allowed by this Title; and**
- 4. The variance, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property.**

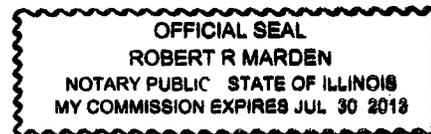
I have reviewed the Standards for a Zoning Variance and understand and acknowledge that my request will be considered based upon the extent to which it fulfills these standards. Further, I understand and acknowledge that I may be required to provide a written explanation detailing how my request fulfills these standards.


  
 \_\_\_\_\_  
 (signature of applicant) (date)

SUBSCRIBED AND SWORN TO before me this 10 day of May, 2012

  
 \_\_\_\_\_

(Notary Public and Seal)



**EXHIBIT A**

**HANDI SOUTH LLC**  
**APPLICATION FOR A ZONING VARIANCE**

**LEGAL DESCRIPTION/ PIN**

**PIN # 0704303004**

PARCEL 1: LOT 2 IN THE FINAL PLAT OF SUBDIVISION OF DIEHL ROAD 41 ACRE SITE, BEING A SUBDIVISION IN SECTION 4, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 2001, AS DOCUMENT R2001-26349, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE FINAL PLAT OF SUBDIVISION OF DIEHL ROAD 41 ACRE SITE RECORDED FEBRUARY 16, 2001 AS DOCUMENT R2001-026349 FOR VEHICULAR INGRESS AND EGRESS OVER AND ACROSS THE PORTIONS OF LOT 1 MARKED AND IDENTIFIED AS CROSS-ACCESS EASEMENT ON THE PLAT.

**HANDI SOUTH, LLC**  
**APPLICATION FOR A ZONING VARIANCE**

**EXHIBIT 1**

**List of Improvements on Property**

The property generally consists of a 399,537 square foot industrial building (the “Building”) on the central portion of the property, with 330 parking spaces, including 8 handicap accessible parking spaces, around the perimeter of the Building with landscape islands throughout. There are 40 loading docks connected to the Building; 20 docks along the western perimeter of the Building, and another 20 docks located along the eastern perimeter of the Building. Additional improvements are shown on the attached survey.

**HANDI SOUTH, LLC  
APPLICATION FOR A ZONING VARIANCE**

**EXHIBIT 2**

**Detailed Description of Variance**

**Overview of Variance Request:**

Applicant is the contract purchaser of the property located at 2275 Diehl Road and intends to retrofit the interior of the existing facility in order to conduct light manufacturing, packaging, warehousing and distribution related operations. The property consists of 22.76 acres (991,511 square feet) which includes a 399,537 square foot building, 330 parking spaces, including 8 accessible parking spaces, and 40 loading docks, as well as other improvements (the "Property").

To permit its operations on the Property, a parking variance is necessary to:

- (1) Reduce the number of required parking spaces in order to allow the existing 330 parking spaces, including 8 handicap accessible spaces, to satisfy the parking requirements of the Naperville Municipal Code (the "Code"). Note that under the existing Agreement described below, the City previously granted the original owner and developer of the Property the authority to construct parking in two phases and to land-bank approximately 64 spaces, subject to certain restrictions as discussed below; and
- (2) To remove the restriction contained in Section S8.1 of the "Statement of Intent and Agreement for Diehl Road – 41 Acre Site", by and between the City of Naperville, and Anonymous Diehl, LLC, dated May 2, 2000, and recorded as document number R2001-026349 (the "Agreement"), which allows approximately 64 parking spaces to be land-banked, but also restricts occupancy of the building to 336,000 square feet of space unless a variance is granted, or until the remainder of parking spaces required under the Code are constructed.

Set forth below is an overview of the Applicant, as well as the Applicant's current and intended operations. For the reasons set forth below, as well as the reasons set forth in the attached "Written Findings in Support of Variance Request," a parking variance should be granted by the City of Naperville, and the restriction contained in the Agreement should be removed or waived.

**The Applicant:**

Applicant, Handi South LLC, is the contract purchaser of the Property and an affiliate of Handi-foil Corp. ("Handi-foil"), the premiere leader in the production and sale of aluminum foil food containers sold to grocery stores, mass-merchants, warehouse clubs, and dollar stores. Handi-foil products are "eco-friendly" and cater to the consumer's desire for goods that are convenient and innovative, value-oriented, and green. For example, all Handi-foil Eco-Foil® aluminum foil baking pans are produced using 100% recycled aluminum. While aluminum foil is one of the most recyclable materials in the world, Eco-Foil® products are the only aluminum foil baking pans made from 100% recycled aluminum. From its state of the art, food-grade

manufacturing facilities, Hand-foil produces well over 50 different baking pans for the Handi-foil line. The company is dedicated to protecting the environment by operating energy efficient manufacturing facilities, recycling, and promoting sustainability and a green life-style through its Eco-foil.com website.

Handi-foil is the market share leader in aluminum foil bakeware products, and continues to bring new innovative products to the market place each year. With nearly 70% market share in the United States and continued growth internationally, Handi-foil is proud to be the number one brand of American-made aluminum foil bakeware. Its commitment as an American-made manufacture of consumer products is proudly displayed on its product packaging, sales brochures, and websites. Handi-foil's operating facilities continue to receive the highest marks in the industry during annual audits; consistently achieving a Superior rating each year from the American Institute of Baking (the "AIB"). In addition to this recognition from the AIB, many of its customers continue to recognize it with Vendor-of-the-Year awards. These recognitions stem from Handi-foil's commitment to superior service and to the continual development of innovative and superior quality products. Many of these awards are proudly displayed on its website and in its offices.

### **Expansion Project Overview:**

#### *Need for Additional Space and Overview of Existing Facility Operations:*

Established in the early 1980's as a privately-held organization, the company has experienced significant growth through mass acceptance of its innovative products in the marketplace. This growth continues to accelerate rapidly and has driven the need to expand its operations. Handi-foil anticipates that its revenues will double in the next 5 years. In anticipation of that growth and to accommodate current operations, it has contracted to purchase the Property to support all of its current and anticipated needs.

The company currently operates nearly 600,000 square feet of facilities in Wheeling, Illinois. The Wheeling facilities will continue to support the company's growing operations of its food service business including the manufacturing of aluminum foil pans and aluminum foil wraps used in the food service, bakery, and packer processor industries.

At its Wheeling facilities, there are approximately 750 employees that work during three shifts including 400 employees on the first shift, 200 employees on the second shift and 150 employees on the third shift. While these facilities contain approximately 600,000 square feet, there are approximately 451 parking spaces which have proven sufficient to satisfy all of the parking needs.

#### *Overview of Proposed Operations – Naperville:*

Similar to the Wheeling facilities, Handi-foil plans to commission the Naperville facility as primarily a light manufacturing, and packaging, warehouse and distribution facility for the production, and warehousing and distribution of food-grade aluminum foil baking pans, plastic lids for the pans, wire handles for the pans, and consumer-sized aluminum foil wraps. The

company anticipates that this facility will be staffed with approximately 250-380 people, including certain unionized workers and maintenance and professional staff, with room to grow the workforce as the business continues to grow. The company will operate on a “24/5” schedule, with the addition of weekend shifts as production volume dictates. The facility must meet food-grade standards and will be subject to annual AIB audits, along with regular audits by customers to ensure food-grade standards are maintained. The company’s commitment to efficient operations will drive the planning of the space from the layout of the facility for the efficient flow of materials, to the use of energy efficient lighting and the pursuit of LEED certification.

No changes are planned to the existing property surrounding the building including the open spaces and the parking areas. However, the interior of the building will be retrofitted to allow for the proposed manufacturing, warehousing, shipping and limited support services. Handi-foil intends to deploy 8-10 aluminum foil pan presses in this facility, one retail aluminum foil wrap rolls machine, and 35-40 aluminum foil pan packaging lines. Handi-foil also intends to deploy approximately 4-5 plastic thermal forming presses and two wire-handled machines to support production of its aluminum products.

The outdoor areas will be used only for employee parking and for the routing of inbound and outbound freight. As such, there will be no visible signs of operations from the outside other than these activities. The company intends to maintain a very clean and well maintained landscape on the outside, as the facility will be utilized to showcase operations to customers and prospective customers. The company also proposes to place a high quality corporate logo facing the I-88 interstate to promote its new state-of- the-art facility in the prominent and prestigious location of Naperville, Illinois, with its unique access to multiple expressways and interstate commerce.

It is anticipated that, similar to the Wheeling facilities, the Naperville facility will have three employee shifts with the first shift being the largest shift and may include approximately 190 employees, while the second shift may include approximately 115 employees, and third shift will be significantly smaller with approximately 75 employees. Based on its experience over the past 30 years with its Wheeling facilities and its existing work force, a sizeable portion of the employees will utilize ride sharing opportunities. The existing 330 parking spaces will be more than sufficient to accommodate all of the company’s parking needs, as is further discussed below.

*Parking Code Requirements and Use Percentages:*

Section 6-9-3 of the Code provides the following parking ratios applicable to Applicant’s intended uses:

- 2.5 parking spaces per 1,000 square feet of gross floor area for general manufacturing and industrial activities; and
- 1.0 parking spaces per 1,000 square feet of gross floor area for warehouse, storage and distribution facilities.

As stated above, Applicant intends to use the entire existing building for a mix of uses including light manufacturing, warehouse, distribution and attendant support services (lunch room, employee locker room and customer showroom areas, among others). For parking calculation purposes, the percentage of each use is difficult to discern as many of the operations may be considered manufacturing uses or warehouse and distribution uses. However, of the 399,537 square feet under roof, 156,852 – 222,667 space will include floor area devoted to forklift charging, labeling, shipping and receiving, glue lines, pans and lids, stretch wrapper/display assembly, scrap, raw materials and overflow areas, while 36,610 square feet will be used for the production lines. The remaining approximately 140,260 – 206,075 square feet will be used for warehouse and distribution-related uses including square footage devoted to a lunch room, finished goods storage areas and other similar uses. The most favorable parking determination, with only the production lines being considered manufacturing uses for parking determination purposes, would require a minimum of 454 parking spaces, of which 330 exist.

Based on Applicant's experience at its existing 600,000 square foot Wheeling facilities, Applicant asserts that the existing 330 parking spaces, including the 8 accessible spaces, are more than sufficient to meet its intended operational needs.

### **Statement of Intent and Agreement for Diehl Road – Restriction**

The Property is also subject to conditions contained in Section S8.1 of the Statement of Intent and Agreement for Diehl Road – 41 Acre Site”, by and between the City of Naperville, and Anonymous Diehl, LLC, dated May 2, 2000, and recorded as document number R2001-026349. Section S8.1 of the Agreement restricts the occupancy of the building to a maximum of 336,000 square feet of space unless a variance is granted, or until the remainder of parking spaces required under the Code are constructed. Applicant also seeks to have this restriction waived or removed.

### **Request:**

For the reasons set forth above and in the attached “Written Findings in Support of Variance Request,” Applicant hereby respectfully requests that a variance from the parking regulations of the Code be granted allowing it to conduct its intended operations and uses without constructing new parking spaces in addition to the existing 330 parking spaces, including the 8 handicap accessible spaces, currently existing on the Property. Applicant further respectfully requests that the occupancy restriction contained in the Agreement be removed or waived by the City of Naperville.

**WRITTEN FINDINGS IN SUPPORT OF VARIANCE REQUEST**

The application for a variance to reduce the number of required parking spaces at 2275 Diehl Road, Naperville, Illinois, meets the standards set forth in Section 6-3-5 of the Naperville Municipal Code (the “Code”), and the application should be granted. The standards for a parking variance require that:

1. The variance is in harmony with the general purpose and intent of Title 6 of the Code (the “Naperville Zoning Regulations”);
2. Strict enforcement of the Naperville Zoning Regulations would result in practical difficulties or impose exceptional hardships due to special and unusual conditions which are not generally found on other properties in the same zoning district;
3. The property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the Naperville Zoning Regulations; and
4. The variance, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property.

Our analysis of the Naperville standards as applied to the proposed parking variation for 2275 Diehl Road follows:

***Harmony with General Purpose of Naperville Zoning Regulations***

The granting of Applicant’s variance request, including its request for a waiver of the applicable restrictions contained in the Agreement, would be fully consistent with the purpose and intent of the Naperville Zoning Regulations as discussed in Section 6-1-2 of the Code. Applicant intends to operate a clean, quiet, and environmentally-friendly operation in furtherance of the purpose and intent of the Naperville Zoning Regulations, as well as the health, safety, comfort, convenience, and general welfare of the people. For example, Applicant intends to maintain the current open spaces, preserve the landscaping and green spaces currently on the Property, and obtain LEED certification for the existing building on the Property. Furthermore, Applicant’s intended operations and uses will not significantly increase congestion on public streets, cause overcrowding of land, nor facilitate the inappropriate development of land within Naperville.

In the absence of a parking variance and waiver of the restrictions contained in the Agreement, Applicant would be required to construct new parking spaces which would inadvertently lead to a reduction of green spaces and open spaces on the Property. The construction of new parking spaces would also add impervious surfaces which could contribute to storm run off and the “heat island” effect common in large parking areas. According to Applicant’s planned operations, a maximum of 280 employees will be working during peak hours of operation, and as such, construction of additional parking spaces on the property will not serve to facilitate operations on the Property, nor would it be in harmony with the general purpose and intent of the Naperville Zoning Regulations.

***Practical Difficulties and Exceptional Hardships***

Applicant desires to reasonably use the Property for the purposes that it was intended and for uses that are permitted in the Industrial Zoning District including manufacturing, packaging, warehouse and distribution, and attendant support services. However, to do so under the current zoning regulations would require a significant addition of parking spaces and a waiver of provisions of the Agreement that restrict the occupancy of the building to a maximum of 336,000 square feet of space unless a variance is granted, or until the remainder of parking spaces required under the Code are constructed. Without a parking variance and a waiver or removal of this occupancy restriction, the strict enforcement of the zoning regulations would result in Applicant not purchasing the Property. Accordingly, the occupancy restriction and the parking requirements present practical difficulties or impose exceptional hardships to Applicant due to the special and unusual conditions which are not generally found on other properties in the same zoning district.

Moreover, the Property is wedged between the East-West Tollway (I-88) to the north, Diehl Road to the south and Fisher Drive to the east, and in order to supply additional parking, significant open space and green space would be lost and replaced with unnecessary and unused parking spaces, unlike the surrounding properties. Moreover, a significant portion of the open space is encumbered with easements and is also used for storm water purposes which may affect the ability to add the additional parking spaces that may be required by Code or the Agreement. Accordingly, strict enforcement of the zoning regulations and the restriction in the Agreement would result in practical difficulties and impose exceptional hardships due to the special and unusual conditions which are not generally applicable to other properties in the same zoning district.

***Inability to Yield Reasonable Return***

Applicant intends to use the Property upon taking possession. If the Property cannot be used in its current condition, Applicant will likely not purchase the Property which would result in the loss of jobs, tax revenues and other economic opportunities. Accordingly, in the absence of a variance, the Property would remain dormant and unoccupied, resulting in an inability to yield a reasonable return. As such, a variance should be granted so that the Property may yield a reasonable return soon after Applicant takes possession of the Property.

Moreover, the Property, as stated above, is subject to the restrictions imposed by the Agreement and without the requested parking variance or the construction of a significant number of additional parking spaces, only a portion of the building may be used and occupied, which would also impact the ability of the Property to yield a reasonable rate of return.

***Maintenance of the Essential Character of the Neighborhood***

Located in an Industrial District, Applicant's intended uses and operations on the Property would be of the same character as the uses and operations conducted on similar parcels in the district. Furthermore, the neighborhood in which the Property is located is characterized by large open spaces and green spaces providing a generally pleasing aesthetic that is consistent with the purpose and intent of the Naperville Zoning Regulations. In the absence of a parking

variance, Applicant would be forced to decrease open spaces and green spaces on the Property, which would serve to detract from the essential character of the surrounding neighborhood. In other words, the construction of unnecessary additional parking spaces pursuant to the parking requirements under the Code may negatively alter the essential character of the neighborhood. As such, granting Applicant's variance request would likely serve to maintain the essential character of the neighborhood in which the Property exists.

***Conclusion***

Because Applicant meets all of the required standards for the granting of a parking variance, the Planning and Zoning Commission should recommend, and the City Council should grant Applicant's parking variance request and allow the existing 330 parking spaces, including the 8 accessible parking spaces, to meet the minimum requirements of the regulations and further, the City of Naperville should remove or waive the occupancy restriction contained in the Agreement.

### CITY OF NAPERVILLE DISCLOSURE OF BENEFICIARIES

In compliance with Ordinance 85-193, An Ordinance amending Title 1 (Administrative) of the Naperville Municipal Code, as amended, by adding Chapter 12 thereto requiring disclosure of certain interests by persons applying for permits, licenses, approvals or benefits from the City of Naperville.

1. Applicant: HANDI SOUTH LLL  
Address: 135 E. HINTZ ROAD  
WHEELING, IL 60090

2. Nature of Benefit sought: REQUEST FOR PARKING VARIANCE

3. Nature of Applicant (Please check one):

- a. Natural Person
- b. Corporation
- c. Land Trust/ Trustee
- d. Trust/Trustee
- e. Partnership
- f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:  
N/A

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. NORTON SARNOFF - 135 E. HINTZ ROAD, WHEELING, IL 60090
- b. DAVID SARNOFF - 135 E. HINTZ ROAD, WHEELING, IL 60090
- c. BRAD SARNOFF - 135 E. HINTZ ROAD, WHEELING, IL 60090
- d. \_\_\_\_\_

6. Name, address and capacity of person making this disclosure on behalf of the applicant:  
PETER PERKINS - CEO HANDI SOUTH LLL

**IMPORTANT NOTE:** In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

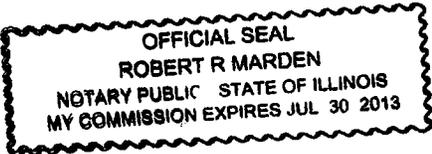
**VERIFICATION**

I, Peter Perkins, being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: Peter Perkins

Subscribed and Sworn to before me this 10 day of MAY, 2012.

Robert R. Marden  
Notary Public



**EXHIBIT B**

Liu, Ying

---

**From:** Carrel, Mitchell A.  
**Sent:** Monday, February 13, 2012 4:31 PM  
**To:** Liu, Ying; Helfert, Katie; Cooper, Joel T.  
**Subject:** 2275 Diehl Rd, Parking Summary

Ying-

It was a pleasure talking with you on Friday regarding Handi South LLC's application for a zoning variance for parking.

Per your request, based on information provided by my client, below is a summary of the proposed parking operations for the property at 2275 Diehl Road, Naperville, Illinois.

Proposed Parking Summary for 2275 Diehl Rd:

- Employees: 280 employees on the first shift; 50 employees on the second shift; and 50 employees on the third shift.
- Customer visits: 1-2 tours/week, resulting in 1-2 cars for each tour.
- Suppliers: by appointment only (minimal visits).
- Additional management visits: 1 car, 1-2 times per week.
- Outside service personnel visits will also occur (vending machine; landscaping; servicing; etc), some of which will be accommodated in the loading areas.
- At its existing Wheeling facilities, numerous employees participate in ride sharing opportunities and it is anticipated that ride sharing will take place at the Naperville facility.
- Loading activities will be accommodated in the existing loading docks and not in the parking area. At its existing Wheeling facilities, there are fewer than 30 loading docks servicing the approximately 600,000 square feet of facility space, whereas in Naperville, there are 40 docks to service a significantly smaller facility at 400,000 square feet.

Please let me know if you have any questions.

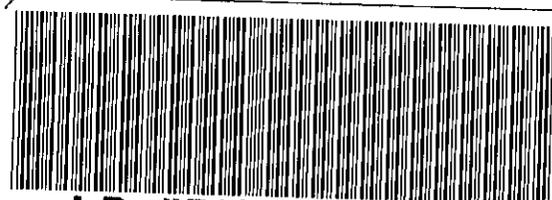
Regards  
Mitch

Mitchell A. Carrel  
Freeborn & Peters LLP  
311 S. Wacker Drive  
Chicago, IL 60606  
312.360.6542 (direct)  
[mcarrel@freebornpeters.com](mailto:mcarrel@freebornpeters.com)

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Created: 3/2/00  
Revised 3/9/00, 4/7/00, 4/13/00,  
4/24/00



**J.P. "RICK" CARNEY**

DUPAGE COUNTY RECORDER

FEB. 16, 2001

10:30 AM

PLAT

07-04-303-001

**039 PAGES**

**R2001-026349**

**PROPERTY ADDRESS:**  
SOUTH OF I-88,  
EAST OF THE IL  
PRAIRIE PATH,  
NAPERVILLE, IL 60563

P.I.N.  
07-04-401-007  
07-04-401-008  
07-04-303-001  
07-04-303-002

**RETURN TO:**  
City Clerk  
Post Office Box 3020  
Naperville, IL 60566-7020

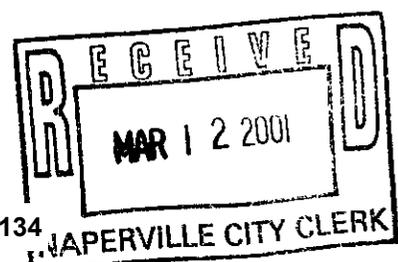
Portions of this document  
are illegible at time of  
scanning.

**STATEMENT OF INTENT AND AGREEMENT FOR**  
**DIEHL ROAD - 41 ACRE SITE**

THIS STATEMENT OF INTENT AND AGREEMENT (hereinafter Statement of Intent and Agreement) is entered into this 2nd day of May, 2000, between the City of Naperville, an Illinois municipal corporation, with offices at 400 South Eagle Street, Naperville, Illinois 60540, (hereinafter the "CITY") and Anonymous Diehl, LLC, (hereinafter referred to as "OWNER and DEVELOPER"), with offices at Colliers Bennett & Cahnweiler, 9700 West Bryn Mawr, Rosemont, Illinois 60018.

**RECITALS**

WHEREAS, the OWNER is the owner of record of all of the real property described in Exhibit "A", attached hereto and incorporated herein by reference (hereinafter the "SUBJECT



PROPERTY”), which has been duly annexed to the CITY and is subject to the following prior agreements and approved ordinances:

- A. Annexation Agreement, dated February 22, 1983,
- B. Ordinance Nos. 99-195 – Approval of Zoning for Diehl Road 41-Acre Site
- C. Preliminary Plat of Subdivision, identified as Job No 2277 5 and dated June 9, 1999, last revised August 8, 1999,
- D. Preliminary Engineering Plans, identified as Job No. 2277, and dated June 4, 1999 and last revised August 4, 1999; and

WHEREAS, the OWNER and DEVELOPER propose that the SUBJECT PROPERTY be developed pursuant to the provisions of Title 7 of the Naperville Municipal Code, as amended, and as may be modified by the General Conditions and attached Special Conditions, incorporated herein by reference, which together constitute the terms and conditions of this Statement of Intent and Agreement.

NOW THEREFORE, in consideration of the premises and mutual promises contained herein, the parties agree that.

**GENERAL CONDITIONS FOR THE DEVELOPMENT OF THE SUBJECT PROPERTY**

**G1.0 RECITALS/CONSTRUCTION OF AGREEMENT.**

G1.1 The above-stated Recitals are a material part of this Agreement and are hereby incorporated in this paragraph 1 1 by reference.

G1.2 The "General Conditions" of this Agreement shall control, except as provided in the "Special Conditions," which are attached hereto and incorporated herein by reference.

**G2.0 SUPPORTING DOCUMENTS.**

G2 1 The OWNER and DEVELOPER shall develop the SUBJECT PROPERTY as required by the CITY’s Subdivision Control Regulations except as modified by the terms and conditions of this Statement of Intent and Agreement and in accordance with the plans and supporting documents, identified in Section S1.0.

**G3.0 ENGINEERING CHANGES.**

G3 1 Minor changes to the engineering plans and drawings determined by the City Engineer to be appropriate and necessary and which do not affect the Final Plat, will be allowed as follows:

- A The revisions shall be submitted to the CITY for review.
- B Upon review, if the City Engineer approves the proposed revisions, he will sign and adequately annotate the changes.
- C Nine copies of the annotated revisions will be submitted by the DEVELOPER and shall be made part of this Statement of Intent and Agreement by means of a transmittal letter from the CITY's Department of Community Development.

**G4.0 AMENDMENTS.**

G4 1 Except as specified in Section G3.0 of this Statement of Intent and Agreement, all amendments to this Statement of Intent and Agreement shall be in writing, duly authorized by the parties in accordance with CITY ordinances in effect at the time the amendment is requested

**G5.0 DEVELOPMENT SCHEDULE.**

G5.1 No building permits for any structure on the SUBJECT PROPERTY shall be issued until the Final Plat of Subdivision has been approved and recorded in the office of the applicable County Recorder, and all applicable Naperville Municipal Code requirements have been satisfied.

G5.2 No building permits shall be issued for a particular lot or parcel within the SUBJECT PROPERTY until the Departments of Transportation & Engineering and Public Utilities have determined that sufficient improvements have been installed and are functioning to protect the health, safety, and welfare of the public

G5 3 Except as otherwise provided in this Statement of Intent and Agreement, the installation of all public improvements, identified in EXHIBIT "C" shall proceed in an orderly fashion with an estimated (or scheduled) completion date specified in Section S2 0, or three (3) years from the date on which this Agreement is executed by the parties, whichever is later.

G5.4 The time for completion of said improvements may be extended, but only upon the review and approval of an amendment to this Statement of Intent and Agreement approved by the City Council in accordance with Section 7-1-5:1 of the Naperville Municipal Code, as amended.

G5.5 The CITY may withhold issuing any building or occupancy permits for any lot(s) or parcel(s) within the SUBJECT PROPERTY if the OWNER or DEVELOPER has failed or refused to fulfill any of their respective obligations with respect to the SUBJECT PROPERTY under the Naperville Municipal Code, unless otherwise provided in this Statement of Intent and Agreement.

**G6.0 EXCEPTIONS.**

G6.1 Subject to the provisions of S7.0, exceptions to the strict adherence of Subdivision Control Regulations will be permitted only with respect to the construction of sidewalks which may be deferred until the earlier of the construction of buildings on or full development of adjacent lots, or upon written request of the City Engineer. Such request shall not be made before three (3) years after the date of this Statement of Intent and Agreement.

G6.2 Notwithstanding the above, all required sidewalks located within the rights-of-way of any arterial or major collector streets shall be constructed as part of the required roadway improvements.

G6.3 Any sidewalks required on school and park sites shall be constructed as part of the roadway improvements adjacent to the SUBJECT PROPERTY and not deferred in accordance with this Section.

**G7.0 FINANCIAL SURETY.**

G7.1 To guarantee the completion of public improvements, the OWNER and DEVELOPER has provided financial surety, in a form approved by the City Attorney, as specified in Section S3.0. A copy of the financial surety is attached hereto and incorporated herein by reference as EXHIBIT "E<sub>1</sub>", and the original financial surety has been filed with the City Clerk.

G7.2 To guarantee the completion of earthwork and soil erosion sedimentation control improvements, the OWNER and DEVELOPER has provided financial surety, in a form

approved by the City Attorney, as specified in Section S3.0 A copy of the financial surety is attached hereto and incorporated herein by reference as EXHIBIT "E<sub>2</sub>", and the original financial surety has been filed with the City Clerk.

G7 2 The OWNER and DEVELOPER, as applicable, shall give sixty (60) days written notice by certified mail, addressed to the City Clerk, prior to the expiration date of said financial surety Thirty (30) days prior to expiration of said financial surety, the OWNER and DEVELOPER shall submit to the CITY new financial surety in the form and text as then required by CITY ordinances and as approved by the City Attorney. Failure to submit such financial surety to the CITY at least thirty (30) days prior to the expiration date of said financial surety shall be considered a default and, upon written demand of the CITY served on the financial institution issuing the financial surety, a sum of money equal to the amount needed to complete the public improvements secured by the financial surety shall be paid over to the CITY in order to guarantee completion of said improvements

#### **G8.0 FEES AND CHARGES.**

G8 1 OWNER and DEVELOPER shall pay all applicable fees and charges and any applicable rebates, special connection fees, recapture fees, special assessment amounts, or Special Service Area taxes which may be due prior to the recording of the Final Plat of Subdivision or Planned Unit Development.

G8 2 Fees applicable to the SUBJECT PROPERTY include, but are not limited to, those specified in Section S4.0.

#### **G9.0 FAIR SHARE ASSESSMENTS.**

G9 1 OWNER and DEVELOPER shall pay as a fair share assessment, such amounts specified in Ordinance 98-89, as amended from time to time

#### **G10.0 ELECTRICAL SERVICE.**

G10.1 Upon receipt of a properly completed application and payment of all applicable fees and charges, the CITY shall permit the connection of structures reasonably contemplated to be built on the SUBJECT PROPERTY to the CITY's electrical system, and the CITY shall supply electrical service to those structures to the same extent as supplied to other structures of comparable size and use within the CITY

G10.2 OWNER and DEVELOPER shall accept all electrical power and energy required for the SUBJECT PROPERTY from the CITY's electrical system. OWNER and DEVELOPER shall be responsible for the cost of all Infrastructure Availability Charges, Connection Fees, on-site electrical distribution facilities, and user fees in accordance with Title 8 of the Naperville Municipal Code, as amended from time to time

**G11.0 UTILITY OVERSIZING.**

G11.1 The OWNER and DEVELOPER shall construct and install at their sole cost and expense all water and sanitary sewer lines shown on the approved final engineering plans submitted for development of the SUBJECT PROPERTY

G11.2 Upon the installation and acceptance by the CITY of such lines, the CITY shall reimburse the DEVELOPER for the difference, if any, between the cost to construct the required line and the cost to construct any oversized lines, constructed and installed as required by the CITY in accordance with the provisions of Section 7-3-6 of the Naperville Municipal Code (Cost Sharing Policy), as amended from time to time.

**G12.0 UTILITY LINES AND EASEMENTS.**

G12.1 The OWNER and DEVELOPER shall grant to the CITY, at no cost to the CITY, any easements within the SUBJECT PROPERTY which the CITY may determine are necessary for the purposes of constructing, installing, replacing and maintaining sanitary sewers, water mains, electric service facilities, and other utilities necessary or incidental to service the SUBJECT PROPERTY, as reflected on the final plat.

G12.2 The CITY shall allow the OWNER and DEVELOPER to use appropriate easements obtained by the CITY from other parties for the purpose of providing sanitary sewers, water mains and other utilities to service the SUBJECT PROPERTY

**G13.0 WATER SUPPLY AND DISTRIBUTION SYSTEM AND SANITARY SEWER COLLECTION SYSTEM.**

G13.1 The OWNER and DEVELOPER shall be solely responsible for the cost and expense incurred to extend the CITY's water distribution system and sanitary sewer collection system to the SUBJECT PROPERTY Payment shall be due at the time a building permit is issued if the CITY constructs and installs the proposed extension or any portion thereof.

G13.2 Prior to the construction of any such extension, and upon the written request of the OWNER and DEVELOPER, the CITY shall enter into a cost recapture agreement which shall be recorded against title for the properties reasonably expected to benefit from the extension of the water distribution system and sanitary sewer collection system.

G13.3 The CITY shall permit the connection of the structures reasonably contemplated to be built on the SUBJECT PROPERTY to the CITY's water supply and distribution system and sanitary sewer collection system, and to supply water and collection facilities thereto to the same extent as may be supplied to other structures of comparable size and use within the CITY

G13.4 The OWNER and DEVELOPER shall be responsible for the cost of all water lines and sanitary sewer lines and related appurtenances located on the SUBJECT PROPERTY

G13.5 The OWNER and DEVELOPER shall also be responsible to pay for all infrastructure availability charges, connection fees and user fees for the CITY's water distribution system and sanitary sewer collection system as set forth in the CITY'S ordinances, rules, and regulations.

#### **G14.0 WASTEWATER TREATMENT PLANT CAPACITY.**

G14.1 The CITY guarantees that at the time building permits are requested, sufficient wastewater treatment plant capacity shall exist to provide complete and adequate wastewater treatment services for the SUBJECT PROPERTY without payment of any fees other than those specified in subsection G14.2 of this Agreement

G14.2 The OWNER and DEVELOPER shall pay all applicable wastewater infrastructure availability charges, connection fees and customary wastewater user fees in accordance with Title 8 of the Naperville Municipal Code, as amended and any rules and regulations promulgated pursuant to Title 8

#### **G15.0 EMERGENCY ACCESS.**

G15.1 At the time construction begins within the subdivision, the OWNER and DEVELOPER, at their sole cost and expense, shall construct two emergency access points in accordance with the applicable City standards. The OWNER and DEVELOPER shall maintain said access points until the permanent roadways are completed

G15.2 The required emergency access points shall be as specified in Section S5.0.

**G16.0 STORMWATER DETENTION AREA EASEMENT AND COVENANT PROVISIONS.**

G16.1 OWNER shall have full responsibility for the maintenance of any stormwater management detention/retention easement areas on lots 1 & 2 until such time (if any) as the easement areas may be conveyed to a Property Owners Association (The "ASSOCIATION"). The term "OWNER" as used in this document shall mean the Owner(s) from time to time of the Lots in the Diehl Road 41-Acre Site, and the responsibility for the cost to maintain and repair said stormwater management detention/retention areas and facilities shall be allocated among the respective Owner(s) of said Lots from time to time, in accordance with the Final Plat of Subdivision identified in S1.1.A and attached hereto as **EXHIBIT "B"**

G16.2 The Owner or, upon conveyance to the ASSOCIATION, the ASSOCIATION shall have the perpetual duty and obligation to perform or have performed all maintenance on said easement areas, and all maintenance of any stormwater detention/retention easement areas so that they function as hydraulically and hydrologically planned in accordance with all applicable statutes, ordinances, and rules and regulations.

G16.3 The OWNER, or upon conveyance to the ASSOCIATION, the ASSOCIATION, their agents or contractors, shall not destroy or modify the grades or slopes without the prior written approval of the City Engineer of the City of Naperville or other Governmental entity having jurisdiction over the stormwater management detention/retention easement areas.

G16.4 If the maintenance responsibilities are transferred to a Property Owners Association, the ASSOCIATION shall have the perpetual duty and obligation to assess its members on no less than an annual basis for a prorated share of the cost to maintain the stormwater management detention/retention easement areas conveyed to the ASSOCIATION, as well as for a prorated portion of the real estate property taxes to become due and payable on such stormwater management detention/retention easement areas conveyed to the ASSOCIATION.

G16 5 Perpetual public stormwater and drainage easements are hereby granted to the City of Naperville, its agents, successors, assigns, or any other Governmental entity having jurisdiction over drainage or stormwater facilities, over, on, across and under all of the areas marked "Stormwater Management Easement" or (S.M.E.) on the plat for the right, privilege, and authority for the purposes of.

G16.5 a Surveying, constructing, reconstructing, repairing, inspecting, maintaining, and operating all stormwater management facilities, structures, and grades and slopes on the stormwater management detention/retention easement areas;

G16.5 b Entering onto the stormwater management detention/retention easement areas or any adjoining lot to perform the work specified in paragraph 1, together with the right of access for necessary personnel and equipment to do any of the required work, and

G16 5.c Cutting down, trimming, or removing trees, shrubs, plants, mulch, landscaping structures, retaining walls, or any other materials on the stormwater management detention/retention easement areas which interfere with the operations of the stormwater functions.

G16.6 No permanent buildings, structures, or public utilities shall be constructed on the stormwater management detention/retention easement areas, by the OWNER, the ASSOCIATION, or any of their successors in interest, but the easement areas may be used for other purposes, including pedestrian paths, that do not now or later interfere or conflict with the aforesaid uses or rights or in any way affect or impede the storage or free flow of stormwater on and over the easement areas

G16 7 If the OWNER or THE ASSOCIATION (if applicable) fail to maintain any stormwater management detention/retention easement areas as required, the CITY of Naperville or other Governmental entity having jurisdiction over drainage or stormwater facilities on the easement areas shall give written notice to the OWNER or the ASSOCIATION

(if applicable) to repair or otherwise maintain the stormwater management detention/retention easement areas within a reasonable period to complete the work. If the OWNER or the ASSOCIATION (if applicable) fails to make necessary repairs or to do necessary maintenance in a timely manner, then the CITY, its agents or contractors, or other Governmental entity having such jurisdiction, shall have the right, but not obligation, to enter the property to perform maintenance, repair, construction or reconstruction necessary to maintain stormwater storage or flow on the easements

G16 8 The Owner(s) of Lot 1 created by the Final Plat of Subdivision, or the ASSOCIATION (if applicable) or their heirs, legatees, assigns or successors in interest, shall be jointly and severally liable for all costs incurred by the CITY or other Governmental entity having jurisdiction over drainage or stormwater facilities on the easement areas in performing such work, plus an additional ten (10%) percent and any reasonable attorneys' fees, including the costs of in-house counsel, connected with the collection of such costs. The Owner(s) of Lot 1 created by the Final Plat of Subdivision, or the ASSOCIATION (if applicable) or their heirs, legatees, assigns or successors in interest, shall be jointly and severally liable for all costs incurred by the CITY of other Governmental entity having jurisdiction over drainage or stormwater facilities on the easement areas in performing such work on said Lot 1, plus an additional ten (10%) percent and any reasonable attorney's fees, including the costs of in-house counsel, connected with the collection of such costs

G16 9 If the CITY's cost to maintain the stormwater management detention/retention easement areas are not paid within thirty (30) days of receipt by the OWNER or the ASSOCIATION (if applicable) of an invoice for such costs, the CITY shall be authorized to record a lien against the affected lot(s) in the subdivision for the CITY's actual cost to perform said necessary work, as determined by the CITY, plus ten (10%) percent and any reasonable attorneys' fees which lien may be foreclosed by action brought by or on behalf of the CITY against the affected lot(s) created by the plat. The lien shall have a priority as of the date of the recording of the lien.

G16 10 The provisions of the covenants and declarations relating to stormwater management obligations shall not be amended, modified, or abrogated without the prior written

approval of the CITY or other Governmental entity having jurisdiction over drainage or stormwater facilities on the stormwater management detention/retention easement areas.

G16 11 All of the above-stated obligations shall also be clearly referenced on the Final Plat of Subdivision, in covenants, conditions, declarations, and restrictions recorded against all of the lots created by this Final Plat of Subdivision, and in any deeds or title documentation required for the conveyance of any of such individual lots

**G17.0 REFUSE AND WEED CONTROL.**

G17 1 During all phases of construction, OWNER and DEVELOPER shall clear the SUBJECT PROPERTY of all windblown trash and debris.

G17.2 During all phases of construction, OWNER and DEVELOPER shall provide a sufficient number of construction-sized dumpsters to contain all trash and debris generated throughout the entire area of the project

G17 3 OWNER and DEVELOPER shall prevent such containers from overflowing and shall prevent debris from blowing from the site by having the containers emptied as soon as reasonably possible once they are filled.

G17 4 During all phases of construction, OWNER and DEVELOPER shall regularly cut all weeds and grass in excess of eight (8") inches high on the site and on the right-of-way adjacent to the site

**G18.0 OWNER/DEVELOPER.**

G18 1 With respect to any obligations and commitments set forth herein which have been agreed to by DEVELOPER and not by the OWNER, OWNER as such, is exculpated from any personal liability or obligation to perform the commitments and obligations set forth herein, and the CITY will look solely to the DEVELOPER for such performance

**G19.0 CITY ACCEPTANCE.**

G19 1 Upon execution of this Statement of Intent and Agreement by the parties, the CITY hereby accepts and approves the Final Plat of Subdivision, depicted on **EXHIBIT "B,"** and the City Clerk is hereby authorized and directed to record said plat in the office of the County Recorder in the County in which the SUBJECT PROPERTY is situated.

**G20.0 BINDING EFFECT AND TERM.**

G20.1 The parties intend that the terms and conditions of this Statement of Intent and Agreement shall be a covenant running with the land and shall constitute a lien against the SUBJECT PROPERTY enforceable by the CITY and shall be binding upon and inure to the benefit of the parties hereto, their grantees, successors in interest, assignees, heirs, executors, or lessees during their respective periods of ownership or occupancy of the SUBJECT PROPERTY OR PORTIONS THEREOF, provided however, OWNER and DEVELOPER and their successors may be relieved of their obligations herein upon their successor's posting adequate financial surety, in a form acceptable to the City Attorney, to guarantee performance of such obligation.

**G21.0 CUMULATIVE REMEDIES.**

G21.1 The parties' rights and remedies hereunder shall be cumulative, and the exercise of any rights or remedies shall neither preclude enforcement of other rights and remedies nor waive other rights and remedies. The failure of either party to exercise any rights or remedies shall neither preclude enforcement of any rights or remedies nor constitute a waiver of any rights or remedies

**G22.0 GOVERNING LAW AND VENUE.**

G22.1 This Agreement shall be governed by the laws of the State of Illinois both as to interpretation and performance, and any legal proceeding of any kind arising from this Agreement shall be filed in the Circuit Court for the Eighteenth Judicial Circuit, DuPage County, Illinois.

**G23.0 FORCE MAJEURE.**

G23.1 Whenever a period of time is provided for in this Agreement for either the CITY or OWNER and DEVELOPER to do or perform any act or obligation, neither party shall be liable for any delays or inability to perform due to causes beyond the control of said party such as war, riot, strike or lockout by or against either party's *own* employees or suppliers, unavoidable casualty or damage to personnel, materials or equipment, fire, flood, storm, earthquake, tornado, or any act of God provided, however, that said time period shall be extended for only the actual amount of time said party is so delayed. Except for a strike or lockout by or

against either party's *own* employees or suppliers, an act or omission shall not be deemed to be "beyond OWNER's and DEVELOPER's control" if committed, omitted or caused by OWNER or DEVELOPER, OWNER's or DEVELOPER's employees, officers or agents or a subsidiary, affiliate or parent of OWNER or DEVELOPER, or by any corporation or other business entity that holds a controlling interest in OWNER or DEVELOPER, whether held directly or indirectly

**G24.0 ENFORCEABILITY.**

G24.1 Subject to the provisions of Section G26.0 hereof, this Agreement shall be enforceable by any of the parties hereto by an appropriate action at law or in equity to secure the performance of the covenants and terms of this Agreement.

**G25.0 EFFECT OF THIS AGREEMENT.**

G25.1 If any pertinent prior agreement, or interpretation thereof, between the parties, is inconsistent with or conflicts with any provision of this Statement of Intent and Agreement, then the provisions of this Statement of Intent and Agreement shall supersede the terms of said inconsistent prior agreement as it relates to the SUBJECT PROPERTY.

**G26.0 SEVERABILITY.**

G26.1 If any of the provisions of this Statement of Intent and Agreement are determined by a court of competent jurisdiction to be invalid, such provisions shall be deemed to be stricken, and such adjudication shall not affect the validity of the remainder of the terms of this Statement of Intent and Agreement as a whole or of any section, subsection, sentence or clause not adjudged to be invalid.

**G27.0 REQUIRED NOTICES.**

G27.1 Any notice required under the terms of this Agreement shall be deemed sufficiently given if delivered personally to the other party or if sent by U S Mail, certified, return receipt requested, properly addressed, and postage prepaid to the parties as listed in Section S10.0

**SPECIAL CONDITIONS FOR THE DEVELOPMENT OF  
THE SUBJECT PROPERTY**

**S1.0 SUPPORTING DOCUMENTS.**

S1.1 The OWNER and DEVELOPER shall develop the SUBJECT PROPERTY in accordance with the plans and supporting documents, identified as follows:

- A. Final Subdivision Plat for Diehl Road 41-acre Site, prepared by Cowhey Gudmundson Leder, Ltd identified as Job No. 2277 5, dated June 10, 1999, last revised April 6, 2000, attached hereto and incorporated herein by reference as **EXHIBIT "B"**.
- B. Final Engineering Plans for Diehl Road 41-acre Site, prepared by Cowhey Gudmundson Leder, Ltd , identified as Job No.2277A, dated August 4, 1999, last revised March 21, 2000, attached hereto and incorporated herein by reference as **Exhibit "C"**.

*NOT ATTACHED*

	<u>Date</u>	<u>Revised</u>
Sheet 1 Cover Sheet	8/4/99	3/21/00
Sheet 2-3 Project Notes & Specifications	8/4/99	3/21/00
Sheet 4 Master Development Plan	8/4/99	3/21/00
Sheet 5 Soil Erosion Control Plan	8/4/99	3/21/00
Sheet 6 Lot 1 Improvement Plan	8/4/99	3/21/00
Sheet 7 Lot 2 Site Dimensional Plan	8/4/99	3/21/00
Sheet 8 Lot 2 Grading Plan	8/4/99	3/21/00
Sheet 9 Lot 2 Utility Plan	8/4/99	3/21/00
Sheet 10 Plan & Profile Sheet	8/4/99	1/25/00
Sheet 11 Special Sections & Details	8/4/99	3/21/00
Sheet 12 - 13 Construction Standards & Details	8/4/99	1/25/00

- C. Engineer's Estimate of Costs for public improvements, identified as Job No.2277A, dated August 4, 1999, last revised March 21, 2000, attached hereto and incorporated herein by reference as **EXHIBIT "D<sub>1</sub>"**

1	Sanitary Sewer	75,400.20
2.	Watermain	202,170.00
3	Storm Sewer	163,202.00
4.	Paving, Curbs & Sidewalks	83,305.50
5.	Street Lighting	<u>16,950 00</u>
	Total	\$ 541,017 70

D. Engineer's Estimate of Costs for earthwork and soil erosion and sedimentation control, identified as Job No.2277A, dated August 4, 1999, last revised February 18, 2000, attached hereto and incorporated herein by reference as EXHIBIT "D<sub>2</sub>"

\$335,725 00

E. Specifications included as part of EXHIBIT "C."

**S2.0 CONSTRUCTION SCHEDULE FOR PUBLIC IMPROVEMENTS.**

S2.1 The OWNER and DEVELOPER shall construct and install the public improvements required by this Statement of Intent and Agreement not later than three (3) years after the date on which this Statement of Intent and Agreement is executed by the parties.

**S3.0 FINANCING SURETY - LETTER OF CREDIT.**

S3 1 The Irrevocable Letter of Credit for public improvements, in a form approved by the City Attorney, required by this Statement of Intent and Agreement shall be issued by Carolina Casualty Insurance Company in the face amount of \$595,130 47 and dated April 12, 2000.

S3 2 The Irrevocable Letter of Credit for earthwork and soil erosion and sedimentation control, in a form approved by the City Attorney, required by this Statement of Intent and Agreement shall be issued by Carolina Casualty Insurance Company in the face amount of \$369,298.00 and dated March 13, 2000

S3 3 The allocation of said funds shall also be specified in the Letter of Credit.

S3.4 The OWNER and DEVELOPER may apply to the CITY to reduce the amount of the outstanding Irrevocable Letter of Credit or Corporate Surety Bond, and the CITY shall in good faith consent to such reduction, by the amount of all work and improvements under this Statement of Intent and Agreement which have been approved and accepted by the CITY form time to time

**S4.0 UTILITY REBATES, SPECIAL CONNECTION FEES, RECAPTURE FEES, SPECIAL ASSESSMENTS OR SPECIAL SERVICE AREA TAXES.**

S4.1 There are currently no existing Utility Rebates, Special Connection Fees, Recapture Fees, Special Assessments, or Special Service Area Taxes applicable to the SUBJECT PROPERTY.

S4.2 The CITY agrees to reimburse OWNER and DEVELOPER the cost of the extension of watermains and sanitary sewer lines as provided in Paragraphs 4 & 5 of the East-West Properties Agreement (Exhibit C & D of Ordinance No. 77-25) dated February 7, 1977. The CITY's obligation will be for 1,672 feet at \$30.00 per foot for water and 250 feet at \$30.00 per foot sewer lines totaling \$57,660.00 (\$50,160.00 for water and \$7,500.00 for sewer)

**S5.0 EMERGENCY ACCESS.**

S5.1 The required emergency access points shall be located at Diehl Road and Diehl Road at Fischer Drive.

**S6.0 REQUIRED NOTICES - ADDRESSES.**

S6.1 Required notices shall be sent to the parties as designated from time to time by written notice to the City Clerk.

**IF TO THE CITY:**

City Clerk, City of Naperville  
400 South Eagle Street, P O Box 3020  
Naperville, Illinois 60566-7020

**IF TO OWNER AND DEVELOPER:**

Anonymous Diehl, LLC  
Colliers Bennett & Kahnweiler  
9700 W. Bryn Mawr  
Rosemont, Illinois 60018

**WITH COPIES TO THE ATTORNEYS:**

Mr Kevin Breslin  
Katz Randall Weinberg & Richmond  
333 W. Wacker Drive, Suite 1800  
Chicago, Illinois 60606

**S7.0 SIDEWALKS.**

S7.1 In lieu of installing a public sidewalk along the Lot 1 Diehl Road frontage as required by City Ordinance, the OWNER and DEVELOPER do hereby elect to pay the CITY Sixteen Thousand Two Hundred Fifty Dollars (\$16,250.00), and upon payment of said sum to the CITY, the CITY shall be deemed to release the OWNER and DEVELOPER from the

obligation to construct said sidewalk along Diehl Road. The CITY shall install said sidewalk along the westerly 650 feet of Lot 1 in conjunction with the improvements to Diehl Road.

**S8.0 OCCUPANCY RESTRICTIONS FOR LOT 2 CONSTRUCTION**

S8.1 The OWNER and DEVELOPER has submitted site specific engineering to construct a 400,100 square foot Warehouse/Distribution facility with accessory office space on Lot 2 of the Subject Property. Per CITY ordinances, warehouse/distribution facilities are required to provide 1.0 parking spaces per 1,000 square feet of gross floor area. As such the minimum number of parking spaces required to serve this facility is 401 stalls. The site specific plans for the proposed facility call for the construction of 410 parking stalls in two phases. Phase I involves the construction of approximately 336 parking stalls with the remaining 64 spaces to be land-banked and constructed at a future date. Per the terms and conditions of this agreement, the undersigned parties, their successors and assigns hereby agree that occupancy of the building will be restricted to a maximum of 336,000 square feet of space until the remainder of the parking spaces required by CITY ordinances are constructed to serve the 64,100 square foot balance of the proposed facility or obtain the necessary variances to the parking regulations Chapter 6-9 (Off-street Parking).

**S9.0 LANDSCAPING AND PERMIT RESTRICTIONS FOR LOT 2 CONSTRUCTION**

S9.1 It is recognized by the undersigned parties that the OWNER and DEVELOPER is in the process of submitting revised landscape plans to the CITY that will comply with the CITY's Landscaping and Screening Regulations contained in Chapter 10 of Title 5 of the Naperville Municipal Code. In order to facilitate issuance of the building permit for Lot 2, the undersigned parties hereby agree that a building permit will be issued for the subject property in advance of final approval of the landscape plan. The OWNER and DEVELOPER hereby agree to expeditiously submit revised landscape plans to the CITY for review and approval with the further understanding that no occupancy or stocking permits of any kind, including temporary occupancy permits, will be issued until landscape plans which meet the requirements of all applicable CITY ordinances have been submitted to and been approved by the CITY.

**S10.0 CITY PURCHASE OF ADDITIONAL STORMWATER CAPACITY**

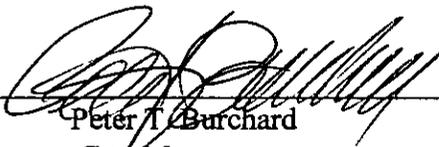
S10 1 In conjunction with the Diehl Road improvements, the CITY requires additional stormwater capacity. The OWNER and DEVELOPER has agreed to provide the CITY 1.47 acre-feet of storage in their on-site stormwater detention area and is granting the CITY the right to route its stormwater through the stormwater facilities. As compensation for the additional storage and said stormwater routing, the CITY shall pay the OWNER and DEVELOPER \$82,320 as a one-time payment.

**S11.0 COMPENSATION FOR ADDITIONAL RIGHT-OF-WAY**

S11 0 As required by CITY ordinance, the OWNER and DEVELOPER has dedicated 33 feet of right-of-way along their frontage on Diehl Road. The CITY has required the OWNER and DEVELOPER to dedicate an additional 27 feet of right-of-way to facilitate the improvements to Diehl Road. As compensation for the additional right-of-way dedication, the CITY shall pay the OWNER and DEVELOPER \$146,601.18 (2,049 lineal feet of frontage x 27 feet of additional right-of-way x \$2.65/sf).

IN WITNESS WHEREOF, the parties set their hands and seals as of the date first written above

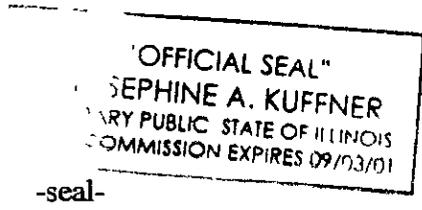
**CITY OF NAPERVILLE**

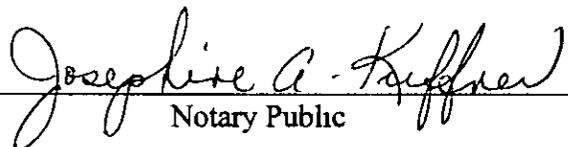
By:   
Peter T. Burchard  
City Manager

Attest  
By:   
Suzanne L. Gagner  
City Clerk

State of Illinois )  
                                  )  
County of DuPage )

The foregoing instrument was acknowledged before me by Peter T. Burchard, City Manager, and Suzanne L. Gagner, City Clerk, this 27th day of December, 2000, A. D



  
Notary Public

**OWNER & DEVELOPER**

Anonymous Diehl, LLC  
Colliers Bennett & Kahnweiler  
9700 W Bryn Maur  
Rosemont, Illinois 60018

By: [Signature]  
[name] MICHAEL J. BORO  
[title] MEMBER

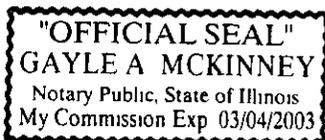
Attest  
By: [Signature]  
[name] ROBERT L. WOLSKI JR  
[title] MEMBER

State of Illinois )  
County of Cook )

The foregoing instrument was acknowledged before me by Michael J. Boro,  
and Robert L. Wolski Jr, this 29<sup>th</sup>  
day of August, 2000, A. D.

[Signature]  
Notary Public

-seal-



( This instrument was prepared by The City of Naperville, 400 S. Eagle Street, Naperville, Illinois, 60540. )

EXHIBIT APROPERTY LEGAL DESCRIPTION

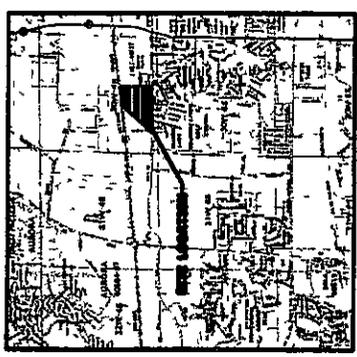
THAT PART OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF DIEHL ROAD, AS MONUMENTED AND OCCUPIED, WITH THE WEST LINE OF LOT 2 OF THE ALEXANDER FERGUSON FARM, RECORDED AS DOCUMENT NO. 456920, IN DUPAGE COUNTY, ILLINOIS; THENCE SOUTH 89° 30' 04" WEST, ALONG SAID CENTERLINE OF DIEHL ROAD, 6.85 FEET, TO A BEND POINT IN SAID CENTERLINE; THENCE SOUTH 88° 48' 30" WEST, ALONG SAID CENTERLINE, 1859.95 FEET, TO A POINT ON A CURVE ON THE SOUTHEASTERLY LINE OF THE DUPAGE COUNTY PARKWAY; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF THE DUPAGE COUNTY PARKWAY, ON A NON-TANGENT CURVE, WHOSE CENTER LIES NORTHWESTERLY AND HAS A RADIUS OF 2898.00 FEET, 527.19 FEET, ARC, (CHORD BEARING NORTH 48° 33' 15" EAST, 526.46 FEET CHORD) TO A POINT OF TANGENCY ON SAID SOUTHEASTERLY LINE; THENCE NORTH 43° 20' 34" EAST, ALONG SAID SOUTHEASTERLY LINE, 1135.86 FEET, TO THE SOUTHERLY LINE OF THE EAST-WEST TOLLWAY, AS MONUMENTED AND OCCUPIED; THENCE NORTH 83° 32' 51" EAST, ALONG THE SAID SOUTHERLY LINE OF THE EAST-WEST TOLLWAY, 724.50 FEET, TO THE SAID WESTERLY LINE OF LOT 2 OF THE ALEXANDER FERGUSON FARM; THENCE SOUTH 01° 18' 22" WEST ALONG SAID WESTERLY LINE OF LOT 2, A DISTANCE OF 80.74 FEET, TO THE SOUTH LINE OF A PERMANENT DRAINAGE EASEMENT, (PARCEL 3-1D-374.5), RECORDED AS DOCUMENT 843327 IN DUPAGE COUNTY, ILLINOIS, THENCE NORTH 83° 32' 51" EAST, ALONG THE SOUTH LINE OF SAID DRAINAGE EASEMENT, 252.18 FEET; THENCE SOUTH 01° 18' 22" WEST PARALLEL WITH THE AFORESAID WESTERLY LINE OF LOT 2, A DISTANCE OF 1162.97 FEET TO THE AFORESAID CENTERLINE OF DIEHL ROAD; THENCE SOUTH 89° 30' 04" WEST, ALONG THE SAID CENTERLINE OF DIEHL ROAD, 250.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

ALL IN DUPAGE COUNTY, ILLINOIS

PIN: 07-04-401-007-0000  
07-04-401-008-0000

# FINAL PLAT OF SUBDIVISION DIEHL ROAD 41 ACRE SITE

A SUBDIVISION IN SECTION 4, TOWNSHIP 38 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

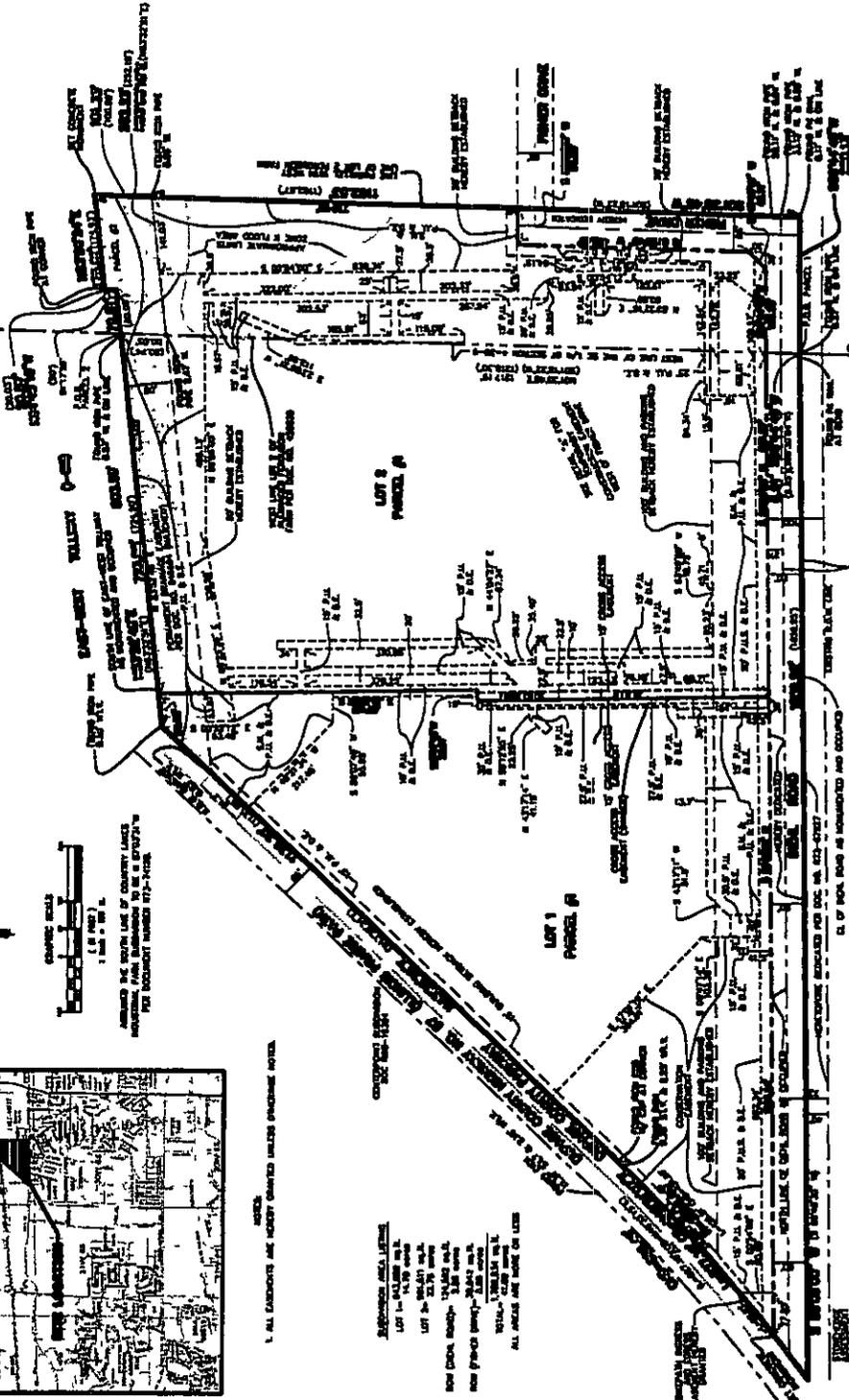
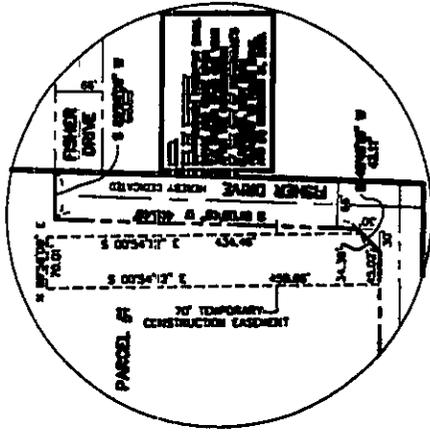


CURRENT TAX PARCELS IN SUBDIVISION  
07-04-301-000  
07-04-301-000  
07-04-301-000  
07-04-301-007

ENGINEER  
COWEY SUBDIVISION LINES, L.P.A.  
100 PARK BOULEVARD  
EAST OF W. 120TH ST.  
MARIETTA, GA 30067  
TEL: 770-426-1100  
FAX: 770-426-1101  
WWW.COWEYSUBDIVISION.COM

- LEGEND
- IRON PILE
  - IRON ROD
  - CONCRETE MONUMENT
  - CENTER LINE
  - BOUNDARY LINE
  - EASEMENT LINE
  - SECTION LINE
  - EXISTING RIGHT OF WAY LINE
  - EXISTING LOT LINE
  - PROPOSED LOT LINE
  - PUBLIC UTILITY AND DRAINAGE EASEMENT
  - PUBLIC UTILITY, DRAINAGE AND DRAINAGE EASEMENT
  - PA & S.E. STRENGTHENED CONCRETE UTILITY AND DRAINAGE EASEMENT

DETAIL "A"  
NOT TO SCALE



1" = 100'



PRELIMINARY NO.	2777
DATE	08/21/12
SCALE	AS SHOWN
DESIGNED BY	W. J. COWEY
DRAWN BY	W. J. COWEY
CHECKED BY	W. J. COWEY
APPROVED BY	W. J. COWEY
DATE	08/21/12

FINAL PLAT OF SUBDIVISION

DIEHL ROAD 41 ACRE SITE  
MARIETTA, ILLINOIS

EXHIBIT "B"

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR RECORD
2	ISSUED FOR RECORD
3	ISSUED FOR RECORD
4	ISSUED FOR RECORD
5	ISSUED FOR RECORD
6	ISSUED FOR RECORD
7	ISSUED FOR RECORD
8	ISSUED FOR RECORD
9	ISSUED FOR RECORD
10	ISSUED FOR RECORD

**COWEY SUBDIVISION LINES, L.P.A.**  
 100 PARK BOULEVARD  
 MARIETTA, ILLINOIS 62454  
 CONSULTING ENGINEERS (800) 260-0000

Cowhey Gudmundson Leder, Ltd  
 Final Engineering - Diehl Road 41-acre Site  
 Job No 2277A  
 March 21, 2000

		<u>Date</u>	<u>Revised</u>
Sheet 1	Cover Sheet	8/4/99	3/21/00
Sheet 2-3	Project Notes & Specifications	8/4/99	3/21/00
Sheet 4	Master Development Plan	8/4/99	3/21/00
Sheet 5	Soil Erosion Control Plan	8/4/99	3/21/00
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Sheet 9	Lot 2 Utility Plan	8/4/99	3/21/00
Sheet 10	Plan & Profile Sheet	8/4/99	1/25/00
Sheet 11	Special Sections & Details	8/4/99	3/21/00
Sheet 12 - 13	Construction Standards & Details	8/4/99	1/25/00

**EXHIBIT "C"**

**COWHEY GUDMUNDSON LEDER, LTD.**

CONSULTING ENGINEERS LAND SURVEYORS NATURAL RESOURCES

300 Park Boulevard Suite 350  
Itasca, Illinois 60143  
Phone (630) 250-9595  
Fax (630) 250-9644  
Email INFO@cgl-ltd.com  
Website http://www.cgl-ltd.com**ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST  
FOR  
PUBLIC IMPROVEMENTS  
NAPERVILLE 400  
NAPERVILLE, ILLINOIS***(BASED ON PLANS BY CGL, LTD DATED AUGUST 4, 1999, LATEST REVISION MARCH 21, 2000)*

FILE 2277A

DATE 03/21/2000

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>ESTIMATED QUANTITY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>EXTENSION</u>
<b>A. SANITARY SEWER</b>					
1	8" PVC SANITARY SEWER	1,515	L F	20 00	30,300 00
2	8" PVC SANITARY SEWER	277	L F	27 00	7,479 00
3	48" MANHOLE TYPE A W/ FRAME & LID	7	EA	2,000 00	14,000 00
4	SELECT GRANULAR BACKFILL (MAINLINE)	1,020	L F	20 00	20,400 00
5	CONNECT TO EXIST MANHOLE	1	EA	750 00	750 00
6	TELEWISE MAINLINE SEWER	1,792	L F	1 10	1,971 20
7	OFFSITE RESTORATION	1	L S	500 00	500 00
<b>TOTAL SANITARY SEWER</b>					<b>75,400 20</b>
<b>B. WATERMAIN</b>					
1	6" D I WATERMAIN	540	L F	17 00	9,180 00
2	12" D I WATERMAIN	3,630	L F	30 00	108,900 00
3	PRESSURE CONNECTION WITH 12" VALVE & 72" VAULT	2	EA	4,500 00	9,000 00
4	12" VALVE & 60" VAULT	3	EA	2,500 00	7,500 00
5	FIRE HYDRANT ASSEMBLY, COMPLETE	12	EA	1,600 00	19,200 00

FILE 2277A

DATE 03/21/2000

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>ESTIMATED QUANTITY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>EXTENSION</u>
6	SELECT GRANULAR BACKFILL (MAINLINE)	1,426	L F	15 00	21,390 00
7	CONNECT TO EXISTING 12" WM STUB	1	EA	1,000 00	1,000 00
8	AUGER & 20" SLEEVE INCL COMPACTED BACKFILL OR AUGER PIT W/ SELECT GRANULAR PIT	100	L F	250 00	25,000 00
9	OFFSITE RESTORATION	1	L S	1,000 00	1,000 00
<b>TOTAL WATERMAIN</b>					<b>202,170 00</b>

**C STORM SEWER**

1	12" RCP	701	L F	17 00	11,917 00
2	24" RCP	497	L F	26 00	12,922 00
3	36" RCP	1,238	L F	41 00	50,758 00
4	42" RCP	111	L F	55 00	6,105 00
5	48" MANHOLE TYPE C W/ FRAME & LID	3	EA	1,200 00	3,600 00
6	60" MANHOLE TYPE C W/ FRAME & LID	1	EA	1,700 00	1,700 00
7	72" MANHOLE TYPE C W/ FRAME & LID	1	EA	2,400 00	2,400 00
8	84" MANHOLE TYPE C W/ FRAME & LID	1	EA	3,000 00	3,000 00
9	48" CATCH BASIN TYPE C W/ FRAME & GRATE	6	EA	1,300 00	7,800 00
10	60" CATCH BASIN TYPE C W/ FRAME & GRATE	8	EA	2,000 00	16,000 00
11	84" CATCH BASIN TYPE C W/ FRAME & GRATE	1	EA	3,200 00	3,200 00

FILE 2277A  
DATE 03/21/2000

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>ESTIMATED QUANTITY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>EXTENSION</u>
12	24" INLET TYPE A W/ FRAME & GRATE	7	EA	600 00	4,200 00
13	12" RCP FLARED END SECTION INCL BAR GRATE	6	EA	400 00	2,400 00
14	24" RCP FLARED END SECTION INCL BAR GRATE	4	EA	900 00	3,600 00
15	36" RCP FLARED END SECTION INCL BAR GRATE	2	EA	1,300 00	2,600 00
16	42" RCP FLARED END SECTION INCL BAR GRATE	1	EA	1,600 00	1,600 00
17	SELECT GRANULAR BACKFILL (MAINLINE)	1,260	L F	15 00	18,900 00
18	RIP RAP WITH GEOTEXTILE UNDERLAYMENT	200	S Y	40 00	8,000 00
19	RESTRICTOR ASSEMBLY, COMPLETE	2	EA	750 00	1,500 00
20	OFFSITE RESTORATION	1	L S	1,000 00	1,000 00
<b>TOTAL STORM SEWER</b>					<b>163,202 00</b>

**D PAVING, CURBS, SIDEWALK****FISHER DRIVE/DIEHL RD. ENTRANCE**

1	2" BIT CONC SURFACE COURSE CL I, MIX C	2,435	S Y	3 70	9,009 50
2	2" BIT CONC BINDER COURSE, MIX B	2,435	S Y	3 50	8,522 50
3	6" BAM 1700 (MS)	2,435	S Y	1 50	3,652 50
4	4" BASE COURSE, CA-6, TYPE B	2,435	S Y	9 60	23,376 00

**CONCRETE PAVEMENT AND SIDEWALK**

5	5" PCC SIDEWALK WITH 2" AGGREGATE BASE	7,915	S F	3 00	23,745 00
---	---	-------	-----	------	-----------

**CURB, ETC**

6	B6 12 CONCRETE CURB & GUTTER	1,625	L F	8 00	13,000 00
7	PAVEMENT STRIPES, SIGNS & SYMBOLS	1	L S	2,000 00	2,000 00

FILE 2277A  
 DATE 03/21/2000

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>ESTIMATED QUANTITY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>EXTENSION</u>
<b>TOTAL PAVING, CURBS, SIDEWALK</b>					83,305 50
<b>E STREET LIGHTING</b>					
1	STREET LIGHT 23' STANDARD 100 WATT, COMPLETE INCL WIRING & TRENCHING	3	EA	5,000 00	15,000 00
2	2" (PVC) CONDUIT	45	L F	10 00	450 00
3	ELECTRIC HOOKUP	1	EA	1,500 00	1,500 00
<b>TOTAL STREET LIGHTING</b>					16,950 00

**SUMMARY**

<b>A. SANITARY SEWER</b>	75,400 20
<b>B WATERMAIN</b>	202,170 00
<b>C. STORM SEWER</b>	163,202 00
<b>D. PAVING, CURBS, SIDEWALK</b>	83,305 50
<b>E STREET LIGHTING</b>	<u>16,950 00</u>
<b>TOTAL OPINION OF CONSTRUCTION COST</b>	<b>\$541,027 70</b>

NOTE THIS ENGINEER'S OPINION OF PROBABLE COST HAS BEEN PREPARED BASED UPON THE ENGINEER'S EXPERIENCE AS A DESIGN PROFESSIONAL AND IS FURNISHED FOR INFORMATION ONLY IT DOES NOT CONSTITUTE A GUARANTEE OF ACTUAL CONSTRUCTION COSTS

**COWHEY GUDMUNDSON LEIDER LTD**  
 CONSULTING ENGINEERS LAND SURVEYORS NATURAL RESOURCES

500 Park Boulevard Suite 101  
 Itasca, Illinois 60143  
 Phone (830) 250-8585  
 Fax (830) 250-8844  
 Email INFO@cgl-ltd.com  
 Website: http://www.cgl-ltd.com

**ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST  
 FOR  
 EROSION CONTROL LETTER OF CREDIT  
 NAPERVILLE 400  
 NAPERVILLE, ILLINOIS**

(BASED ON PLANS BY CGL LTD. DATED AUGUST 4 1999 LATEST REVISION JANUARY 25, 2000)

FILE 2277A  
 DATE 02/18/2000

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>ESTIMATED QUANTITY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>EXTENSION</u>
1.	CLAY EXCAVATION & PLACEMENT IN STRUCTURAL FILL AREAS WITH COMPACTION	70 245	C Y	2.20	154,539.00
2.	CLAY BORROW EXCAVATION & PLACEMENT IN STRUCTURAL FILL AREAS WITH COMPACTION	27 220	C.Y	2.20	59,884.00
3	18" SPECIAL TOPSOIL RESPREAD IN WETLAND MITIGATION AREAS	7 520	C.Y	3.00	22,560.00
4	6" TOPSOIL RESPREAD-400 BLDG	6 360	C Y	3.00	19,080.00
5	4" TOPSOIL RESPREAD-OUTLOT	7,000	C Y	3.00	21,000.00
6.	EROSION CONTROL INCL. STRAW BALES DIVERSION DITCHES ETC	41 1	AC.	250.00	10,275.00
7	SILT FENCE	2,110	LF	1.50	3,165.00
8	RIP RAP WITH GEOTEXTILE UNDERLAYMENT	200	S.Y	40.00	8,000.00
9	RESTRICTOR ASSEMBLY COMPLETE	2	EA	750.00	1,500.00
10	12" RCP	956	L F	17.00	16,452.00
11.	48" CATCH BASIN TYPE C W/ FRAME & GRATE	13	EA.	1,300.00	16,900.00
12.	12" RCP FLARED END SECTION INCL. BAR GRATE	6	EA.	400.00	2,400.00
<b>SUB-TOTAL</b>					<b>336,725.00</b>
<b>ADD 10%</b>					<b>33,572.50</b>
<b>TOTAL EROSION CONTROL LOC AMOUNT \$</b>					<b>368,297.50</b>

EXHIBIT "D<sub>2</sub>"

**IRREVOCABLE PUBLIC IMPROVEMENT BOND**

Bond No 78367

KNOW ALL MEN BY THESE PRESENTS, **FCL BUILDERS, INC. 1150 Spring Lake Drive, Itasca, IL 60143**, as **PRINCIPAL**, a corporation organized and existing under the laws of the State of Illinois, and authorized to do business in the State of Illinois, and **CAROLINA CASUALTY INSURANCE COMPANY 2850 W. Golf Rd., Rolling Meadows, IL 60008**, as **SURETY**, a corporation organized and existing under the laws of the State of Florida, and authorized to transact surety business in the State of Illinois, are held and firmly bound unto the **CITY OF NAPERVILLE, Illinois**, a municipal corporation, as **OBLIGEE**, its successors and assigns in the sum of **Five Hundred Ninety Five Thousand One Hundred Thirty One & 00/100 (\$595,131.00)** Dollars, lawful money of the United States for the payment of which to be made to the **OBLIGEE**, its successors and assigns Said **PRINCIPAL** and **SURETY**, hereby firmly bind ourselves, our heirs, administrators, executors, successors, and assigns, jointly and severally, by this Irrevocable Bond This Irrevocable Bond is issued for the supply, installation and construction of all subdivision improvements regarding the **Naperville 400 Project** Subdivision, in accordance with applicable **CITY OF NAPERVILLE** Ordinances, and plans and specifications and cost estimate prepared by Cowhey, Gudmunson and Leder, cost estimate dated 2/18/00 approved by the City of Naperville on 4/19/00 and the Statement of Intent and Agreement for **Naperville 400 Project**, as approved by the **CITY OF NAPERVILLE**, and as may be amended or modified from time to time by agreement of **PRINCIPAL** and **OBLIGEE**, including the following improvements

<b>Sanitary Sewer</b>	<b>\$ 75,400.20</b>
<b>Watermain</b>	<b>202,170.00</b>
<b>Storm Sewer</b>	<b>163,202.00</b>
<b>Paving, Curbs, Sidewalk</b>	<b>83,305.50</b>
<b>Street Lighting</b>	<b>16,950.00</b>

---

**Total Opinion of Construction Cost \$541,027.70**

The **PRINCIPAL** has agreed to pay all expenses incurred by the **OBLIGEE** for engineering, legal fees and other expenses in connection with the making of such improvement(s), and that in the event of a default declared by the **OBLIGEE**, the **OBLIGEE** shall have the authority to complete the work required, at the expense of the **PRINCIPAL** and **SURETY**

The condition of this obligation is such that if the OBLIGEE accepts the aforesaid improvements by action of the Naperville City Council, and the said PRINCIPAL posts acceptable surety guaranteeing maintenance of the improvements for one (1) year, then this obligation shall be null and void, otherwise it shall remain in full force and effect. The SURETY will, upon written declaration of default by the OBLIGEE to the PRINCIPAL and SURETY, at the option of the OBLIGEE, complete the improvement(s), pay to the OBLIGEE or the PRINCIPAL such amounts up to the principal amount of this Irrevocable Bond, which will allow the OBLIGEE or the PRINCIPAL to complete the improvements, or pay the person designated by the OBLIGEE who has completed the improvements. Failure of SURETY to honor the OBLIGEE'S demand of either payment or performance within five (5) business days shall constitute dishonor.

It is agreed that any one or more of the following exclusive list of circumstances shall constitute a default by the PRINCIPAL, and shall entitle the OBLIGEE to make demand on this Irrevocable Bond.

- 1 That the PRINCIPAL has failed to satisfactorily complete or carry on the work, installation and construction of the required improvement(s), as scheduled or at a faster pace, or
- 2 That the PRINCIPAL has demonstrated that it will be unable to complete the improvements, or
- 3 That the improvement(s) have been or are likely to be the subject of liens or other claims by contractors, subcontractors or third parties.

This Irrevocable Bond sets forth in full the terms of the undertaking between the SURETY and OBLIGEE, and such undertaking shall not in any way be modified, amended, amplified or limited by reference of any document, instrument or agreement referred to herein. Any such reference shall not be deemed to incorporate said document or agreement into this Irrevocable Bond, but is made for the purpose of identifying the items and costs of completion. The obligations of SURETY under this Irrevocable Bond are not dependent upon the financial solvency of the PRINCIPAL and as such shall continue even if the PRINCIPAL has filed bankruptcy.

This Irrevocable Bond shall remain in full force and effect and shall not be discharged or reduced until release is granted in writing by certification of the City Clerk in accordance with Section 7-1-6 of the City's Ordinances, and OBLIGEE'S acceptance of all of the improvements secured by this Irrevocable Bond.

This Irrevocable Bond may be substituted by the PRINCIPAL and SURETY prior to the completion of all the aforementioned improvement(s) by submitting a new Irrevocable Bond in the same form and substance as this Irrevocable Bond to the City Clerk in an amount equal to one hundred ten percent (110%) of the estimated cost to complete and pay for all the remaining above described improvements, certified as remaining by OBLIGEE. Any renewal, replacement





POWER OF ATTORNEY  
CAROLINA CASUALTY INSURANCE COMPANY  
JACKSONVILLE, FLORIDA

NOTICE: The warning found elsewhere in this Power of Attorney affects the validity thereof. Please review carefully

KNOW ALL MEN BY THESE PRESENTS that CAROLINA CASUALTY INSURANCE COMPANY ("Company") a corporation duly organized and existing under the laws of the State of Florida, having its Principal office in Jacksonville, Florida, has made, constituted and appointed, and does by these presents make, constitute and appoint James Scheer or Michael J. Scheer or James I. Moore or Stephen T. Kazmer or Alice Rhoads or Bonnie Kruse or Dawn L. Morgan or Peggy Faust or Kelly A. Jacobs of Countryside, IL

its true and lawful Agent and Attorney-in-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, seal, acknowledge and deliver any and all bonds and undertakings

and to bind the Company thereby as fully and to the same extent as if such bonds had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office in their own proper persons

This Power of Attorney is granted pursuant to the Minutes of the Special Meeting of the Board of Directors of Carolina Casualty Insurance Company held on March 30, 1966, to wit

RESOLVED "That the following Officers of the Carolina Casualty Insurance Company, Chairman of the Board, President, Secretary and Treasurer, or either of them, are hereby authorized to execute on behalf of the Carolina Casualty Insurance Company, Powers of Attorney authorizing and qualifying the Attorney-in-Fact named therein to execute bonds on behalf of the Carolina Casualty Insurance Company, and further, that the said Officers of the Company mentioned, are hereby authorized to affix the corporate seal of the said Company to Powers of Attorney executed pursuant hereto "

RESOLVED FURTHER, this Power of Attorney limits the acts of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind the company except in the manner and to the extent therein stated

RESOLVED FURTHER, this Power of Attorney revokes all previous powers issued on behalf of the attorney-in-fact named above

RESOLVED FURTHER, that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any power of attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the Company, and such signature and seal when so used shall have the same force and effect as though manually affixed. The Company may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Company, notwithstanding the fact that they may have ceased to be such at the time when such instruments shall be issued

IN WITNESS WHEREOF Carolina Casualty Insurance Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 20th day of March, 2000



Attest.  
By Betty C. Sutherland  
Betty C. Sutherland  
Vice President & Secretary

Carolina Casualty Insurance Company  
By Armin W. Blumberg  
Armin W. Blumberg  
President & Chief Executive Officer

WARNING THIS POWER INVALID IF NOT PRINTED ON GREEN "MONITOR" SECURITY PAPER.

STATE OF FLORIDA) SS  
COUNTY OF DUVAL)

On this 20th day of March, 2000, before me personally came Betty C. Sutherland, to me known, who, being by me duly sworn, did depose and say that she is Secretary of Carolina Casualty Insurance Company, the Corporation described in and which executed the above instrument, and that she knows the seal of said Corporation, that the seal affixed to the said instrument is such corporate seal, that it was so affixed by order of the Board of Directors of said Corporation and that he/she signed his/her name thereto by like order

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year first above written

Sharon P. Francis  
Notary Public, State of Florida at Large  
SHARON P. FRANCIS  
MY COMMISSION # CC 793036  
EXPIRES November 23, 2002  
Bonded Thru Pichard Insurance Agency

CERTIFICATE

I, the undersigned, Secretary of CAROLINA CASUALTY INSURANCE COMPANY, DO HEREBY CERTIFY that the foregoing is a just true, correct and complete copy of original Power of Attorney, that the said Power of Attorney has not been revoked or rescinded and that the authority of the Attorney-in-Fact set forth therein, who executed the bond to which this Power of Attorney is attached, is in full force and effect as of this date

Given under my hand and the seal of the Company, this 12th day of April, 2000



Betty C. Sutherland

## IRREVOCABLE PUBLIC IMPROVEMENT BOND

Bond No. 78362

KNOW ALL MEN BY THESE PRESENTS, **FCL BUILDERS, INC., 1150 SPRING LAKE DRIVE, ITASCA, IL 60143**, as **PRINCIPAL**, a corporation organized and existing under the laws of the State of Illinois, and authorized to do business in the State of Illinois, and **CAROLINA CASUALTY INSURANCE COMPANY 2850 W. GOLF RD., ROLLING MEADOWS, IL 60008**, as **SURETY**, a corporation organized and existing under the laws of the State of Florida, and authorized to transact surety business in the State of Illinois, are held and firmly bound unto the **CITY OF NAPERVILLE, Illinois**, a municipal corporation, as **OBLIGEE**, its successors and assigns in the sum of **THREE HUNDRED SIXTY NINE THOUSAND TWO HUNDRED NINETY EIGHT & 00/100 (\$369,298.00)** Dollars, lawful money of the United States for the payment of which to be made to the **OBLIGEE**, its successors and assigns. Said **PRINCIPAL** and **SURETY**, hereby firmly bind ourselves, our heirs, administrators, executors, successors, and assigns, jointly and severally, by this Irrevocable Bond. This Irrevocable Bond is issued for the supply, installation and construction of all subdivision improvements regarding the **NAPERVILLE 400 PROJECT** Subdivision, in accordance with applicable **CITY OF NAPERVILLE** Ordinances, and plans and specifications and cost estimate prepared by Cowhey, Gudmunson and Leder, cost estimate dated 1/25/00 approved by the City of Naperville on 3/7/00 for **NAPERVILLE 400 PROJECT**, as approved by the **CITY OF NAPERVILLE**, and as may be amended or modified from time to time by agreement of **PRINCIPAL** and **OBLIGEE**, including the following improvements:

### SOIL EROSION

The **PRINCIPAL** has agreed to pay all expenses incurred by the **OBLIGEE** for engineering, legal fees and other expenses in connection with the making of such improvement(s); and that in the event of a default declared by the **OBLIGEE**, the **OBLIGEE** shall have the authority to complete the work required, at the expense of the **PRINCIPAL** and **SURETY**.

1

EXHIBIT "E<sub>2</sub>"

The condition of this obligation is such that if the OBLIGEE accepts the aforesaid improvements by action of the Naperville City Council, and the said PRINCIPAL posts acceptable surety guaranteeing maintenance of the improvements for one (1) year, then this obligation shall be null and void; otherwise it shall remain in full force and effect. The SURETY will, upon written declaration of default by the OBLIGEE to the PRINCIPAL and SURETY, at the option of the OBLIGEE, complete the improvement(s), pay to the OBLIGEE or the PRINCIPAL such amounts up to the principal amount of this Irrevocable Bond, which will allow the OBLIGEE or the PRINCIPAL to complete the improvements, or pay the person designated by the OBLIGEE who has completed the improvements. Failure of SURETY to honor the OBLIGEE'S demand of either payment or performance within five (5) business days shall constitute dishonor.

It is agreed that any one or more of the following exclusive list of circumstances shall constitute a default by the PRINCIPAL, and shall entitle the OBLIGEE to make demand on this Irrevocable Bond

1. That the PRINCIPAL has failed to satisfactorily complete or carry on their work, installation and construction of the required improvement(s), as scheduled or at a faster pace, or
2. That the PRINCIPAL has demonstrated that it will be unable to complete the improvements, or
3. That the improvement(s) have been or are likely to be the subject of liens or other claims by contractors, subcontractors or third parties

This Irrevocable Bond sets forth in full the terms of the undertaking between the SURETY and OBLIGEE, and such undertaking shall not in any way be modified, amended, amplified or limited by reference of any document, instrument or agreement referred to herein. Any such reference shall not be deemed to incorporate said document or agreement into this Irrevocable Bond, but is made for the purpose of identifying the items and costs of completion. The obligations of SURETY under this Irrevocable Bond are not dependent upon the financial solvency of the PRINCIPAL and as such shall continue even if the PRINCIPAL has filed bankruptcy.

This Irrevocable Bond shall remain in full force and effect and shall not be discharged or reduced until release is granted in writing by certification of the City Clerk in accordance with Section 7-1-6 of the City's Ordinances, and OBLIGEE'S acceptance of all of the improvements secured by this Irrevocable Bond.

This Irrevocable Bond may be substituted by the PRINCIPAL and SURETY prior to the completion of all the aforementioned improvement(s) by submitting a new Irrevocable Bond in the same form and substance as this Irrevocable Bond to the City Clerk in an amount equal to one hundred ten percent (110%) of the estimated cost to complete and pay for all the remaining above described improvements, certified as remaining by OBLIGEE. Any renewal, replacement

or amendment of this Irrevocable Bond shall clearly state the then current total balance outstanding as well as the amount applicable to each of the estimates for public improvements which are the subject of this Irrevocable Bond.

The SURETY further agrees and commits to pay the OBLIGEE six percent (6%) prejudgment interest and consequential damages, including all of its costs and attorneys' fees reasonably incurred in the enforcement of this Irrevocable Bond if wrongfully dishonored by SURETY

IN WITNESS WHEREOF, we have set our hands and seals this 13th day of March , 2000

FCL BUILDERS, INC.

CAROLINA CASUALTY INSURANCE COMPANY\_\_

By: *Robert L. Woliki, Jr.*  
Principal *Robert L. Woliki, Jr.*

By: *Dawn L. Morgan*  
Surety DAWN L MORGAN  
ATTORNEY-IN-FACT

CITY OF NAPERVILLE

By: *[Signature]*  
Obligee



POWER OF ATTORNEY
CAROLINA CASUALTY INSURANCE COMPANY
JACKSONVILLE, FLORIDA

NOTICE: The warning found elsewhere in this Power of Attorney affects the validity thereof. Please review carefully.

KNOW ALL MEN BY THESE PRESENTS that CAROLINA CASUALTY INSURANCE COMPANY ("Company") a corporation duly organized and existing under the laws of the State of Florida, having its Principal office in Jacksonville, Florida, has made, constituted and appointed, and does by these presents make, constitute and appoint James Scheer or Michael J. Scheer or James I. Moore or Stephen T. Kazmer or Alice Rhoads or Bonnie Kruse or Dawn L. Morgan of Countryside, IL its true and lawful Agent and Attorney-in-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, seal, acknowledge and deliver any and all bonds and undertakings and to bind the Company thereby as fully and to the same extent as if such bonds had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office in their own proper persons

This Power of Attorney is granted pursuant to the Minutes of the Special Meeting of the Board of Directors of Carolina Casualty Insurance Company held on March 30, 1966, to wit

RESOLVED "That the following Officers of the Carolina Casualty Insurance Company, Chairman of the Board, President, Secretary and Treasurer, or either of them, are hereby authorized to execute on behalf of the Carolina Casualty Insurance Company, Powers of Attorney authorizing and qualifying the Attorney-in-Fact named therein to execute bonds on behalf of the Carolina Casualty Insurance Company, and further, that the said Officers of the Company mentioned, are hereby authorized to affix the corporate seal of the said Company to Powers of Attorney executed pursuant hereto"

RESOLVED FURTHER, this Power of Attorney limits the acts of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind the company except in the manner and to the extent therein stated

RESOLVED FURTHER, this Power of Attorney revokes all previous powers issued in behalf of the attorney-in-fact named above

RESOLVED FURTHER, that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any power of attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the Company, and such signature and seal when so used shall have the same force and effect as though manually affixed The Company may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Company, notwithstanding the fact that they may have ceased to be such at the time when such instruments shall be issued

IN WITNESS WHEREOF Carolina Casualty Insurance Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 20th day of August, 1998



Attest

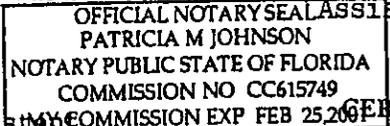
By Kathleen D. Webb, CPCU, AIM Assistant Secretary

Carolina Casualty Insurance Company By Armin W. Blumberg, President & Chief Executive Officer

WARNING: THIS POWER INVALID IF NOT PRINTED ON GREEN "MONITOR" SECURITY PAPER.

STATE OF FLORIDA)
COUNTY OF DUVAL) SS

Sworn to before me, a Notary Public in the State of Florida, this 20th day of August, 1998, by Kathleen D. Webb who is known to me to be the Secretary of Carolina Casualty Insurance Company



Notary Public, State of Florida at Large

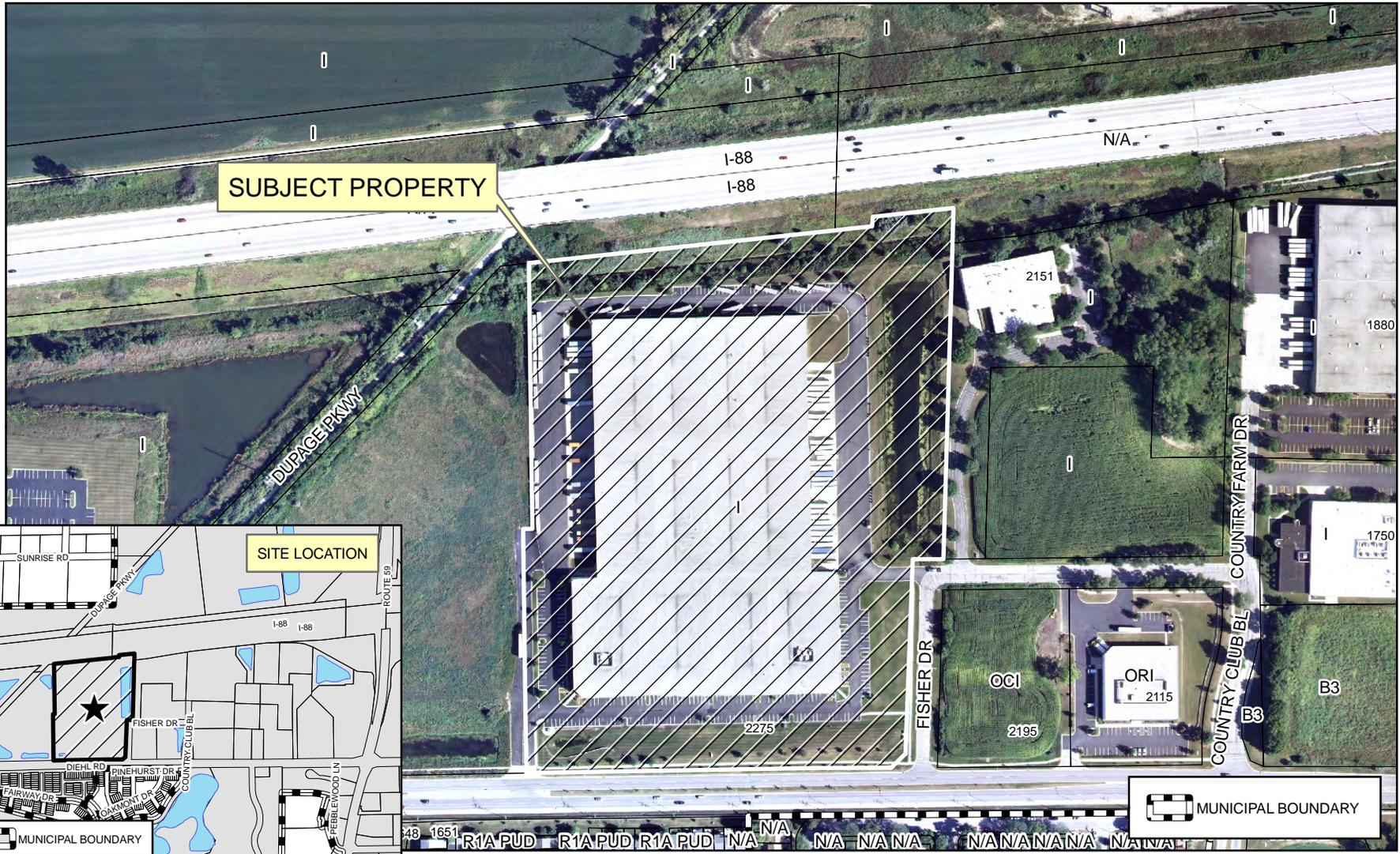
I, the undersigned, Secretary of CAROLINA CASUALTY INSURANCE COMPANY, DO HEREBY CERTIFY that the foregoing is a just, true, correct and complete copy of original Power of Attorney, that the said Power of Attorney has not been revoked or rescinded and that the authority of the Attorney-in-Fact set forth therein, who executed the bond to which this Power of Attorney is attached, is in full force and effect as of this date

Given under my hand and the seal of the Company, this 13th day of March, 2000

Kathleen D. Webb, Assistant Secretary



City of Naperville  
2275 W. DIEHL ROAD



Transportation, Engineering and  
Development Business Group  
Questions Contact (630) 420-6719  
www.naperville.il.us  
February 2012



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**NAPERVILLE PLANNING AND ZONING COMMISSION  
DRAFT MINUTES OF JUNE 6, 2012**

**Call to Order**

**7:01 p.m.**

**A. Roll Call**

Present: Bruno, Coyne, Frost, Gustin, Messer, Meyer, Trowbridge, Williams, Herzog  
Absent:  
Student Members:  
Staff Present: Planning Team – Allison Laff, Ying Liu, Tim Felstrup

**D4. PZC Case  
# 12-1-068  
Handi-Foil**

The petitioner requests approval of a variance from Section 6-9-3:2 (Schedule of Off-Street Parking Requirements) of the Municipal Code to reduce the number of required off-street parking spaces from 454 to 330 spaces for the manufacturing/warehousing facility located at 2275 W. Diehl Road. Ying Liu, Planning Services Team, gave an overview of the request.

Mitchell Carrel, Attorney with Freeborn & Peters LLP, spoke on behalf of the petitioner:

- No changes are proposed to the building or the parking lot.
- Based on 30 years of experience with the company, believes there will be a surplus of parking spaces available on the site.

Pete Perkins, Petitioner, spoke on behalf of the petitioner:

- Introduced the company and its products.
- Hopes to move half of the existing operations at the Wheeling facility to Naperville.
- Anticipates a total of 352 employees divided in three shifts (175, 115, 62) at the Naperville location during non-peak seasons. During the peak seasons, there will be a total of 380 employees in three shifts (190, 115, 75).
- The peak seasons of the facility starts in mid August and ends in mid November.
- A large majority of existing employees do ride share.

Planning and Zoning Commission inquired about:

- Understands that Statement of Intent and Agreement for Diehl Road is not subject to the Planning and Zoning Commission’s review, but wants to understand the impacts of this agreement on parking requirements for the site.
- Peak employee counts for the proposed facility.
- Peak seasons for the proposed facility.

Naperville Planning and Zoning Commission  
June 6, 2012  
Page 2 of 2

- Whether the petitioner agrees the condition of approval.
- Whether accessible parking spaces are being provided on the site.

**Public Testimony:** None

Planning and Zoning Commission closed the public hearing.

**Planning and Zoning Commission Discussion:**

- Bruno – Appreciates the new jobs that will be brought to the City.
- Frost – There will be a surplus of parking which will allow future growth of the company. Will support the case.
- Messer – Is comfortable to support the case with staff's condition.
- Herzog – Concurs with other commissioners. Fully supports the case.

Planning and Zoning Commission moved to recommend approval of PZC 12-0-068 for a variance from Section 6-9-3:2 (Schedule of Off-Street Parking Requirements) of the Municipal Code to reduce the number of required off-street parking spaces from 454 to 330 spaces for the manufacturing/warehousing facility located at 2275 W. Diehl Road.

Motion by: Gustin  
Seconded by: Meyer

Approved  
(9 to 0)



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Nascar Car Wash at Cantore Place – PZC 12-1-037

**TYPE OF VOTE:** Simple majority

**ACTION REQUESTED:**

Pass the ordinance granting a conditional use for an automobile service station and car wash in B2 (Community Shopping Center District), a major change to the Cantore Place Planned Unit Development (PUD), and a final PUD plat to allow the development of a car wash and lube facility, known as Nascar Car Wash, on Lot 5 in Cantore Place.

**BOARD/COMMISSION REVIEW:**

The Planning and Zoning Commission considered this matter on May 16, 2012 and voted to recommend approval of the request (Approved 7-0). Staff concurs.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date of Action	Item No.	Action
8/4/2003	M6B	The City Council approved a preliminary PUD plat and letter of development requirements for Cantore Place.
9/5/2006	H19	The City Council approved a conditional use, a major change to the PUD and a final PUD plat to develop a car wash and lube facility (Spotless Car Wash) on Lot 5 in Cantore Place.
4/19/2011	I17	The City Council approved a major change to the PUD and a revised final PUD plat to allow development of a daycare center on Lot 5.

**DEPARTMENT:** TED – Planning Services Team

**SUBMITTED BY:** Ying Liu, AICP, Community Planner

**FISCAL IMPACT:**

N/A

*Nascar Car Wash at Cantore Place (PZC 12-1-037)*

*June 19, 2012*

*Page 2 of 3*

**BACKGROUND:**

The subject property, known as Lot 5 in Cantore Place, is located at the northwest corner of Cantore Road and Forgue Road and consists of 1.23 acres. The property is zoned B2 and is part of the 26-acre Cantore Place PUD. The property is presently vacant.

**DISCUSSION:**

The petitioner requests approval of a conditional use for an automobile service station and car wash in the B2 district, a major change to the Cantore Place PUD, and a final PUD plat in order to develop a car wash and lube facility (Nascar Car Wash) on the subject property.

*Parking*

Based on information provided by the petitioner, customers visiting the car wash would drive their own vehicles through the automatic pay stations and car wash bay. No hand-drying or detailing services would be offered that would generate employee or customer parking associated with the car wash. Only customers visiting the oil lube services would need to park their vehicles on the site. Therefore, staff applied the parking requirement for automobile service stations (i.e. 4.5 parking spaces per 1,000 square feet) to the oil service and customer service areas (2,013 square feet). As a result, a total of 9 parking spaces are required, which are met by the 14 parking stalls provided.

*Final PUD Plat and Landscape Plan*

The final PUD plat provides site layout details for the proposed Nascar Car Wash and is in full compliance with the setback requirements and drive-through standards set forth in Title 6, Zoning Regulations. The landscape plan proposes landscaping improvement for the site and is in full compliance with Section 5-10-3 (Landscaping and Screening) of the Municipal Code. Both the final PUD plat and the landscape plan are in harmony with the Southwest Community Area Commercial Design Guidelines and the provisions of Ordinance 03-166 approving Cantore Place PUD.

*Building Elevations*

The building will be primarily constructed of a brick façade. The design of the building is four-sided in nature, incorporating roofline variation, a stone knee wall, stone banding, a prominent cornice and windows and brick pattern on all sides. The overall design, materials and colors of the proposed building are consistent with the intent of the PUD and approved commercial buildings in the development. Staff has reviewed the building elevations and finds that they are consistent with the Building Design Guidelines and the Southwest Community Area Design Guidelines as well as the architectural design considerations established through Ordinance 03-166.

*Planning and Zoning Commission Action*

The Planning and Zoning Commission considered this matter at their meeting on May 16, 2012. Following staff's presentation, Kathy West, Attorney, Dommermuth, Brestal, Cobine & West, gave an overview of the request. The Planning and Zoning Commission inquired about the reaction from adjacent business owners and noise generated from the vacuum system. The petitioner responded that the vast majority of the adjacent business owners responded favorably to the proposed car wash and a central vacuum system would be used to minimize noise. No

*Nascar Car Wash at Cantore Place (PZC 12-1-037)*

*June 19, 2012*

*Page 3 of 3*

members of the public provided testimony. After further discussion, the Planning and Zoning Commission closed the public hearing and voted unanimously to recommend approval for the case (approved 7-0).

**RECOMMENDATION:**

Pass the ordinance granting approval of a conditional use for an automobile service station and car wash in B2 (Community Shopping Center District), a major change to the Cantore Place Planned Unit Development (PUD), and a final PUD plat to allow the development of a car wash and lube facility, known as Nascar Car Wash, on Lot 5 in Cantore Place.

**ATTACHMENTS:**

1. Nascar Car Wash at Cantore Place – Ordinance – PZC 12-1-037
2. Nascar Car Wash at Cantore Place – Exhibit A Legal Description – PZC 12-1-037
3. Nascar Car Wash at Cantore Place – Exhibit B Final PUD Plat – PZC 12-1-037
4. Nascar Car Wash at Cantore Place – Exhibit C Landscape Plan – PZC 12-1-037
5. Nascar Car Wash at Cantore Place – Exhibit D Building Elevations – PZC 12-1-037
6. Nascar Car Wash at Cantore Place – Petition – PZC 12-1-037
7. Nascar Car Wash at Cantore Place – May 16, 2012 PZC Minutes – PZC 12-1-037

PIN: 01-03-307-130

ADDRESS:  
2783 FORGUE DRIVE  
NAPERVILLE, IL 60564 (Vacant/Undeveloped)

PREPARED BY:

CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170

RETURN TO:

CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60540

P.Z.C. Case #12-1-037

**ORDINANCE NO. 12- \_\_**

**AN ORDINANCE APPROVING A MAJOR CHANGE TO  
THE PLANNED UNIT DEVELOPMENT, A CONDITIONAL USE FOR  
A AUTOMOBILE SERVICE STATION AND CAR WASH FACILITY, A FINAL  
PLANNED UNIT DEVELOPMENT PLAT  
FOR LOT 5 OF CANTORE PLACE (NASCAR CAR WASH), NAPERVILLE, ILLINOIS**

**WHEREAS**, 1093, LLC. ("Petitioner"), has petitioned the City of Naperville for approval of a conditional use for an automobile service station and car wash facility in B2 (Community Shopping Center District), a major change to the Cantore Place Planned Unit Development (PUD), and a final PUD plat to allow for the development of a car wash and lube facility, known as Nascar Car Wash, on Lot 5 of Cantore Place with a common street address of 2783 Forgue Drive, legally described in **Exhibit A** and depicted on **Exhibit B** ("Subject Property"); and

**WHEREAS**, the Subject Property is currently zoned B2 (Community Shopping Center District) with a Conditional Use for a Planned Unit Development; and

**WHEREAS**, on August 4, 2003, the City Council passed Ordinance 03-166, approving a preliminary/final plat of subdivision, a preliminary PUD plat and letter of development

requirements to allow for the development of eleven (11) commercial lots on the Subject Property;  
and

**WHEREAS**, on September 5, 2006, the City Council passed Ordinance 06-211, approving a conditional use for an automobile service station and car wash, a major change to the Cantore Place PUD and a final PUD plat to allow for the development of a car wash and lube facility on the Subject Property; and

**WHEREAS**, on April 19, 2011, the City Council passed Ordinance 11-063, which superseded Ordinance 06-211 and approved a conditional use for a day care center, a major change to the Cantore Place PUD and a final PUD plat to allow the development of a day care facility on the Subject Property; and

**WHEREAS**, the Petitioner is requesting approval of a conditional use for an automobile service station and car wash facility in the B2 District, a major change to the PUD and a final PUD plat to establish development details for a new car wash and lube facility on Subject Property; and

**WHEREAS**, on May 16, 2012, the Planning and Zoning Commission conducted a public hearing to consider the requested conditional use, major change to the PUD and final PUD plat for the Subject Property and recommended approval of the Petitioner' requests; and

**WHEREAS**, the City Council of the City of Naperville has determined that the Petitioner's requests should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The foregoing recitals are incorporated herein as though fully set forth.

**SECTION 2:** A conditional use to allow for an automobile service station and car wash facility on the Subject Property pursuant to Section 6-7C-3 of the Municipal Code is hereby granted.

**SECTION 3:** A major change to the Cantore Place Planned Unit Development for the establishment of development details for a car wash and lube facility is hereby approved.

**SECTION 4:** The Final Planned Unit Development Plat for Lot 5 of Cantore Place, attached to this Ordinance as **Exhibit B**, is hereby approved.

**SECTION 5:** The Landscape Plan for Lot 5 of Cantore Place, attached to this Ordinance as **Exhibit C**, is hereby approved.

**SECTION 6:** The Building Elevations for Lot 5 of Cantore Place, attached to this Ordinance as **Exhibit D** are hereby approved.

**SECTION 7:** This Ordinance is subject to all conditions and requirements set forth in the Naperville Municipal Code, as amended, and to all supporting documents and exhibits contained as a part of the record of the public hearing before the Planning and Zoning Commission.

**SECTION 8:** The City Clerk is authorized and directed to record this Ordinance and its exhibits with the Will County Recorder.

**SECTION 9:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph. D.

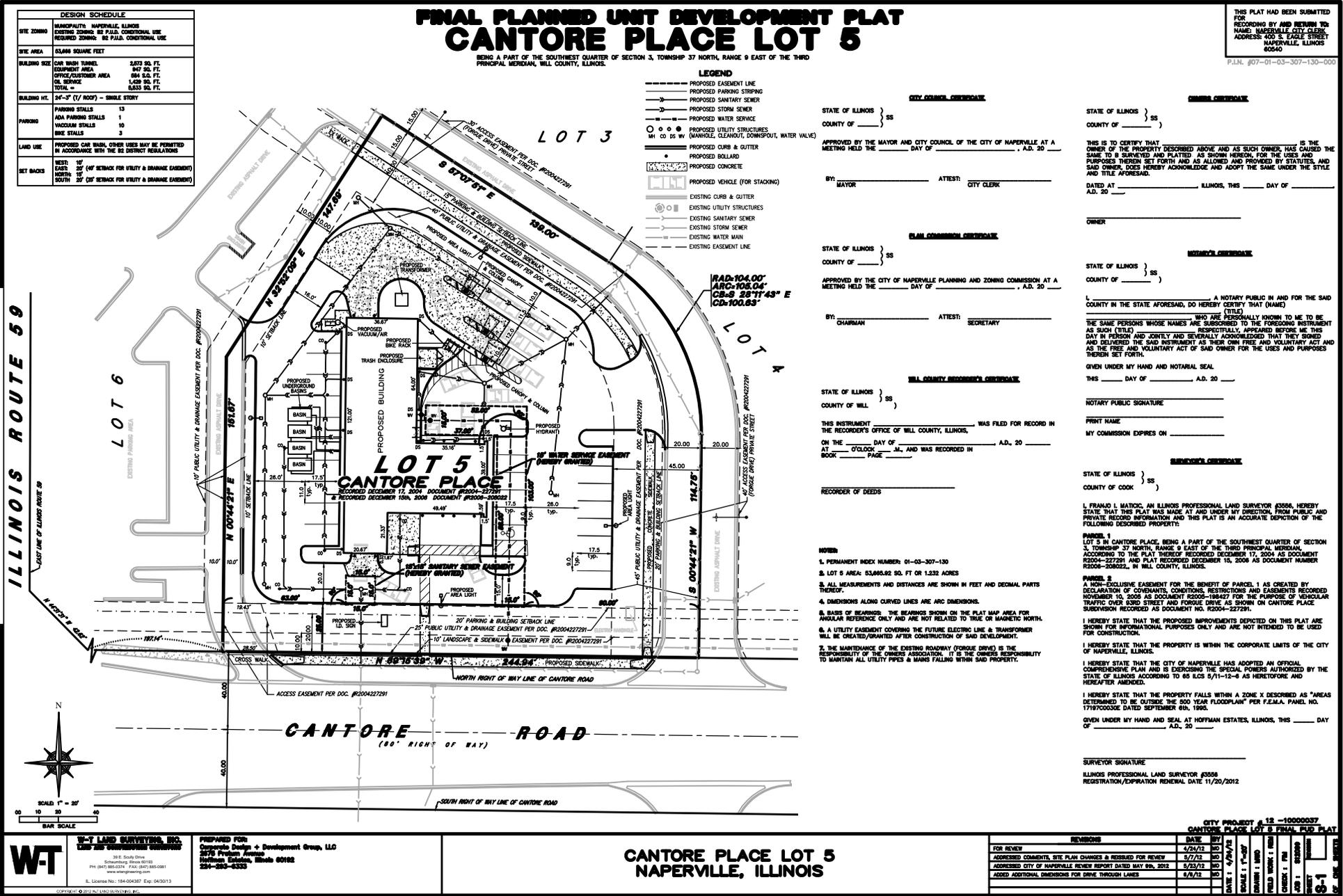
City Clerk

**LEGAL DESCRIPTION**

LOT 5 IN CANTORE PLACE BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED ON DECEMBER 17, 2004 AS DOCUMENT NO. R04-227291 IN WILL COUNTY, ILLINOIS.

Permanent Tax Index Number: 01-03-307-130-0000

Address: 2783 Forgue Drive, Naperville, IL 60564



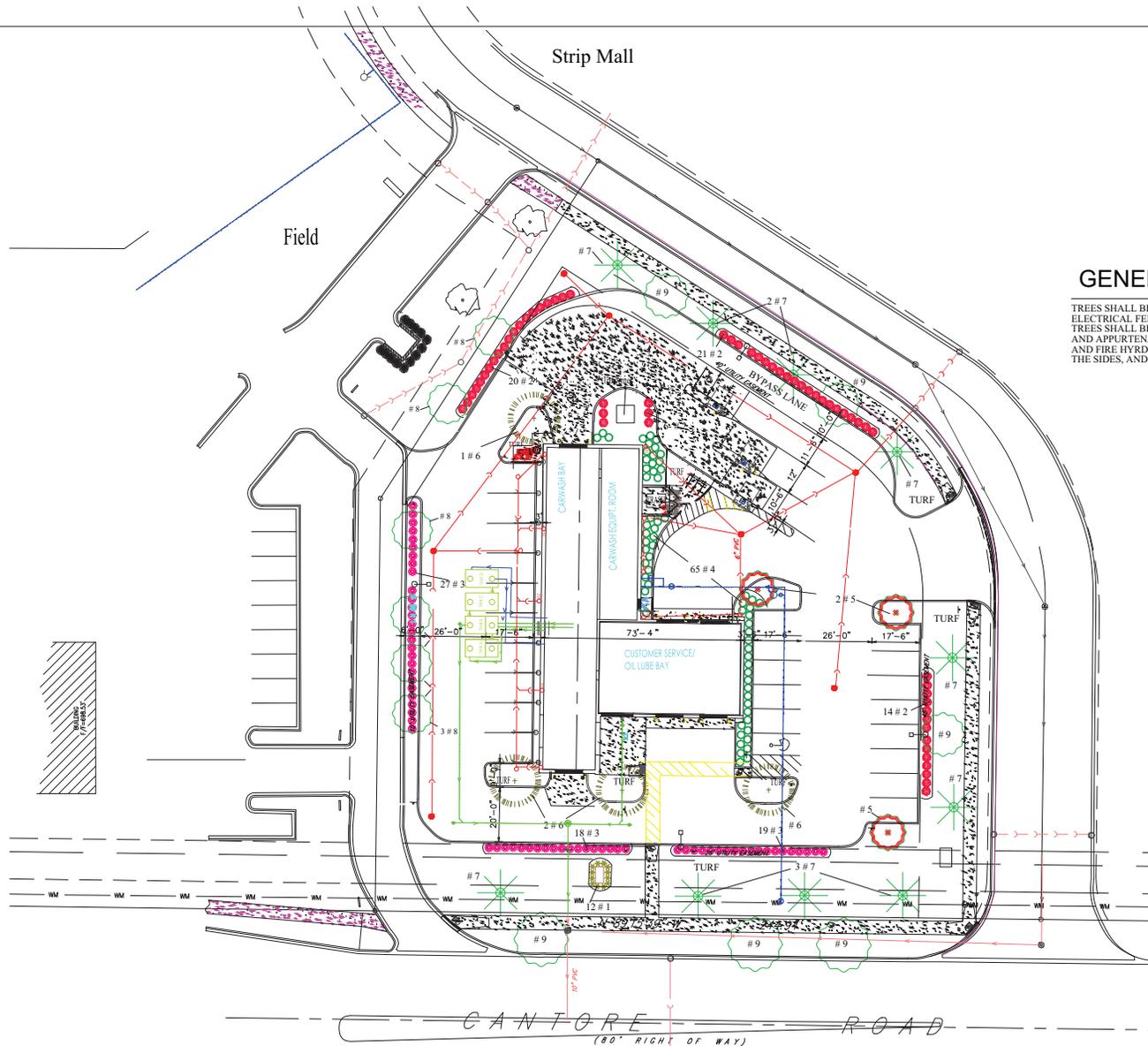
THIS PLAT HAD BEEN SUBMITTED FOR RECORDING BY AND RETURN TO: NAME: NAPERVILLE CITY CLERK, ADDRESS: 400 S. EAGLE STREET, NAPERVILLE, ILLINOIS 60540  
P.L.N. #07-01-03-307-130-000

**W-T LAND SURVEYING, INC.**  
138 E. South Drive  
Naperville, Illinois 60563  
P: (630) 885-0274 F: (630) 885-0881  
www.wtlandsurveying.com  
E: lisa@wtlandsurveying.com (630) 885-0274

PREPARED FOR:  
Cantore Development Group, LLC  
2470 Progress Avenue  
Naperville, Illinois 60563  
331-256-4333

### CANTORE PLACE LOT 5 NAPERVILLE, ILLINOIS

REVISIONS	DATE	BY
FOR REVIEW	5/25/12	MD
ADDED COMMENTS, SITE PLAN CHANGES & REVISIONS FOR REVIEW	5/27/12	MD
ADDED CITY OF NAPERVILLE REVIEW REPORT DATED MAY 09, 2012	5/23/12	MD
ADDED ADDITIONAL DIMENSIONS FOR DRIVE THROUGH LANES	5/23/12	MD



**NORTH**  
SCALE: 1" = 20'

**GENERAL NOTES**

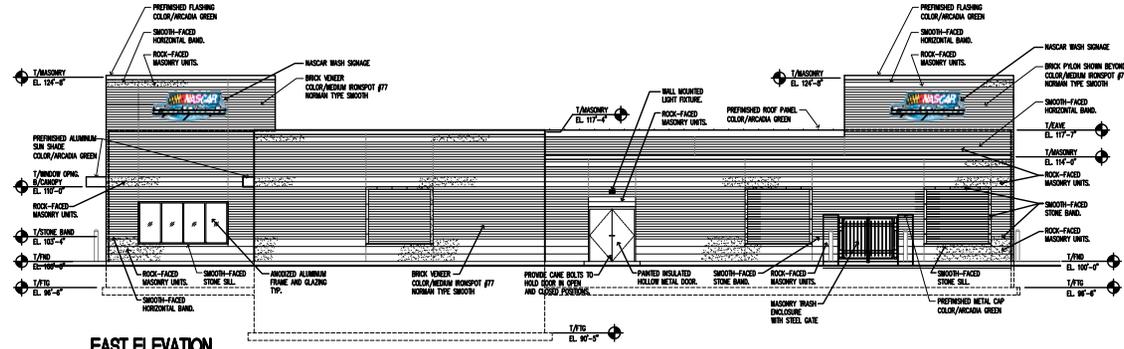
TREES SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES, AND FIRE HYDRANTS. NO TREES, SHRUBS OR OBSTACLES WILL BE ALLOWED 10' IN FRONT OF, 5' ON THE SIDES, AND 7' TO THE REAR OF THE ELECTRICAL TRANSFORMER.

Legend			
Common Name	Botanical Name	Size	Qty
Flower, Perennial			
1 Daylily, Stella	Hemerocallis hybrid	1 Gal.	12
Shrub, Deciduous			
2 Lilac, Dwarf Korean	Syringa patula Korean	24"	61
3 Cotoneaster	Cotoneaster apiculatus	24"	64
Shrub, Evergreen Conifer			
4 Juniper, Sargent	Juniperus chinensis var. sargentii	3 Gal.	65
Tree, Deciduous			
5 Lilac, Ivory Silk	Syringa reticulata 'Ivory Silk'	2 1/2"	3
6 Linden, Glenleven	Tilia cordata 'Glenleven'	2 1/2"	4
7 Locust, Skyline	Gleditsia triacanthos 'Skyline'	2 1/2"	10
8 Maple, Columnar Norway	Acer platanoides fastigiata	2 1/2"	6
9 Maple, Emerald Queen	Acer platanoides 'Emerald Queen'	1 1/2"	6

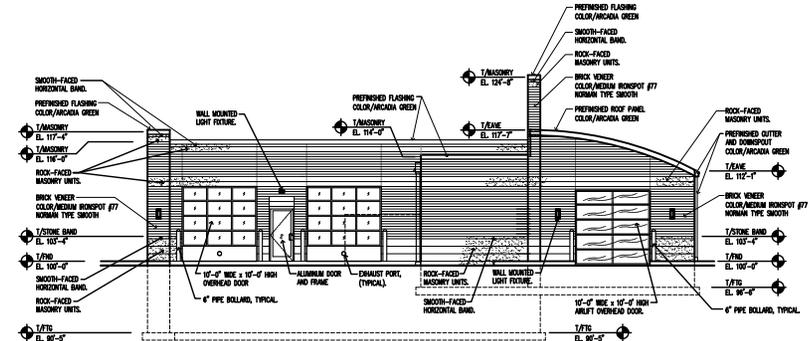
- Install fertilizer, seed, & excelsior blanket over all lawn areas.
- Apply pre-emergent herbicide & install hardwood mulch into all planting beds.

PAT'S LANDSCAPING 60 227TH PLACE STEGER, ILLINOIS 60475	NASCAR CARWASH NEX OF CANTORE STREET & IL RT 59 NAPERVILLE, ILLINOIS 60564	LANDSCAPE PLAN	DRAWN BY : M/G DATE : MARCH 18, 2012 SCALE : AS SHOWN PROJECT # : 11-10000037	REVISIONS	L-1
				DATE : APRIL 18, 2012 DATE : MAY 08, 2012 DATE : MAY 23, 2012 DATE : JUNE 06, 2012	

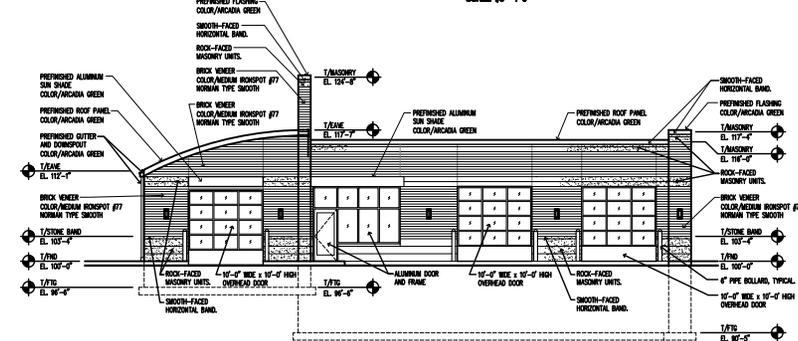
**EXHIBIT C**



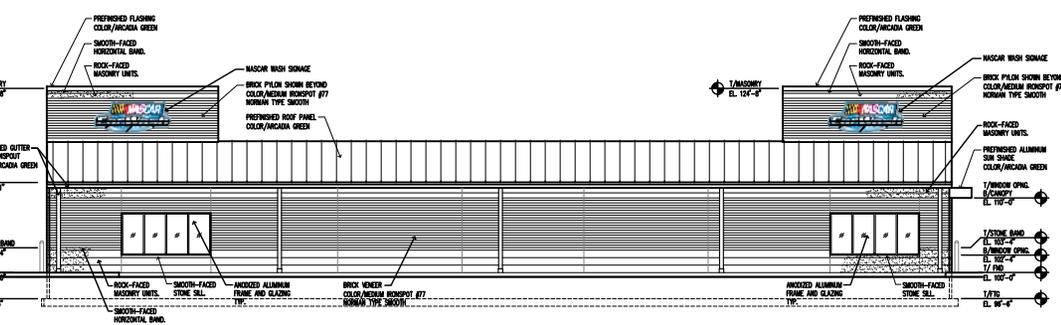
**EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



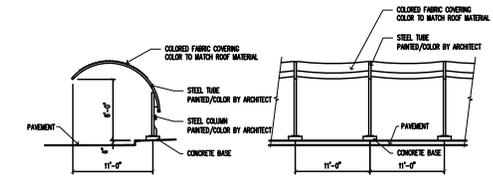
**WEST ELEVATION**  
SCALE 1/4" = 1'-0"

COLOR LEGEND (CONSISTENT WITH DEVELOPMENT REQUIREMENTS)

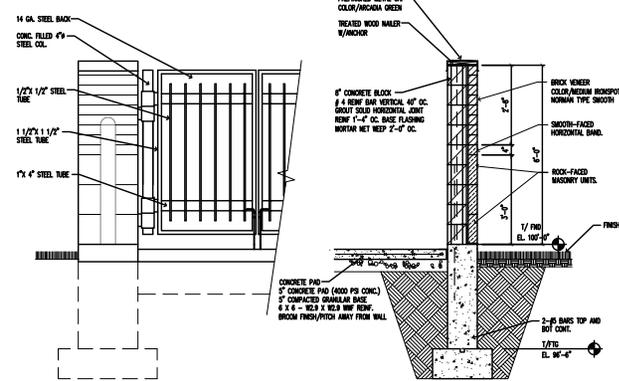
- BRICK VENEER COLOR/MEDIUM ROSESPOT #77 NORMAN TYPE SMOOTH
- STONE BAND NATURAL GREY
- SMOOTH-FACED MASONRY UNITS COLOR/MACADA GREEN
- PREPARED ALUMINUM SIDING COLOR/MACADA GREEN
- PREPARED METAL FLASHING COLOR/MACADA GREEN
- PREPARED GUTTER AND DOWNSPOUT COLOR/MACADA GREEN
- ADJUSTED ALUMINUM FRAMES COLOR/CLEAR ANODIZED

NOTE: ALL ROOFTOP MECHANICAL EQUIPMENT INCLUDING ALL PIPES AND VENT STACKS SHALL BE SCREENED TO THE FULL HEIGHT OF THE UNITS IN THE FORM OF A PARAPET WALL.

**PAY STATION CANOPY**  
SCALE 1/4" = 1'-0"



**VACUUM CANOPY**  
SCALE 1/4" = 1'-0"



**TRASH ENCLOSURE GATE/WALL**  
SCALE 1/4" = 1'-0"

buchar, mitchell, baird architects, inc.

722 essington road suite d  
joliet, illinois 60435  
815 741-8229 FAX 815 741-8709

Participating Consultants:

Project Name:  
CONSTRUCTION DOCUMENT

NASCAR CAR W/

FOR  
STEVE TIMMER  
CANTORE PLACE LOT 5  
NAPERVILLE, ILLINOIS

Architect's Certification:

STATEMENT OF COMPLIANCE  
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications to the best of my knowledge and belief to be in accordance with all applicable laws, codes and regulations, and I am a duly licensed architect under the laws of the State of Illinois.

Firm #: 1840021  
Expires: 04/29/2013  
License: 08-00229  
Expires: 11/30/2012

Drawing Title:  
BUILDING ELEVATIONS  
CANOPY ELEVATIONS  
TRASH ENCLOSURE DETAIL

Issue/Revision	No.	Date	Description
	1	04/20/2012	ISSUANCE REVIEW
	2	05/20/2012	OWNER REVIEW

Project No.: 21087-3 Date: 05-10-2012  
Drawn By: TBS Checked By: TBS

**A5-1**

© 2012 BUCHAR, MITCHELL, BAIRD ARCHITECTS, INC.

NASCAR CAR WASH

STATE OF ILLINOIS )  
 )  
COUNTIES OF DUPAGE & WILL )  
 )  
CITY OF NAPERVILLE )

PETITION TO GRANT A MAJOR CHANGE TO THE PLANNED  
UNIT DEVELOPMENT AND A CONDITIONAL USE FOR LOT 5  
OF CANTORE PLACE PLANNED UNIT DEVELOPMENT

The undersigned Petitioner, 1903, LLC, being the contract purchaser of the real property legally described in **Exhibit A** and depicted on **Exhibit B**, which exhibits being attached hereto and made a part hereof (hereinafter referred to as the "Subject Property") respectfully petitions the City of Naperville to grant (a) a Major Change to the Cantore Place Planned Unit Development for the Subject Property pursuant to Section 6-4-6 of the Zoning Regulations of the Naperville Municipal Code, (b) a Conditional Use for an automobile service (quick lube) station and car wash pursuant to Section 6-7B-3 of the Zoning Regulations of the Naperville Municipal Code, and (c) any requisite zoning and/or subdivision deviations and/or variances associated with the requested Major Change to the Planned Unit Development and Conditional Use.

In support of this Petition, the Petitioner represents to the City of Naperville as follows:

1. That the Petitioner, 1903, LLC, 2121 Oneida Street, Suite 402, Joliet, Illinois 60435, is the contract purchaser and developer of the Subject Property.
2. That the owner of the Subject Property is Red Brick Developers, Ltd., 4 N 426 Knoll Creek Drive, St. Charles, Illinois 60175.
3. That the Subject Property consists of approximately 1.23 acres and is located at the northwest corner of Forgue Drive and Cantore Road, and is within the corporate boundaries

of the City of Naperville.

4. That the Subject Property is zoned B2 (Community Shopping Center District) with a Conditional Use for a Planned Unit Development pursuant to City of Naperville Ordinance Nos. 94-181 and 03-165.

5. That the Subject Property is vacant.

6. That the existing land uses surrounding the Subject Property are as follows:

North: Commercial Shopping Center

South: Commercial Shopping Center

East: Commercial Shopping Center

West: Commercial Shopping Center.

7. That the Petitioner proposes to construct an automobile service (quick lube) station and car wash on the Subject Property as depicted on the Site Plan which is attached hereto as **Exhibit B**.

8. That the Petitioner requests that the Subject Property be granted a Major Change to the Planned Unit Development as designated in Naperville Ordinance Nos. 94-181 and 03-165.

9. That the requested Major Change to the Planned Unit Development would allow for the development of the Subject Property as described above.

10. That granting the requested Major Change to the Cantore Place Planned Unit Development is appropriate, pursuant to Section 6-4-7 of the Zoning Ordinance, based on the following factors:

*a. The design of the planned unit development presents an innovative and creative approach to the development of land and living environments.*

The proposed development of the Subject Property maintains the overall character of the Cantore Place Planned Unit Development and will comply with its design guidelines.

- b. *The planned unit development meets the requirements and standards of the planned unit development regulations.*

The proposed Major Change to the Planned Unit Development meets the requirements and standards of the planned unit development regulations.

- c. *The physical design of the planned unit development efficiently utilizes the land and adequately provides for transportation and public facilities while preserving the natural features of the site.*

The proposed change to the Planned Unit Development will not affect the previously approved physical design of the overall development.

- d. *Open space, common open space and recreational facilities are provided.*

The amount and type of open space is not being reduced by the Major Change to the Planned Unit Development.

- e. *The modifications in design standards from the subdivision control regulations and the waivers in bulk regulations from the zoning regulations fulfill the intent of those regulations.*

The Petitioner is not seeking additional subdivision or zoning modifications.

- f. *The planned unit development is compatible with the adjacent properties and nearby land uses.*

The Subject Property is part of a commercial development which is located within the Route 59 commercial corridor. This area has a variety of commercial uses which serve the entire Naperville/Aurora area. The proposed automobile service (quick lube) station and car wash is consistent with the existing and proposed uses along Route 59.

- g. *The planned unit development fulfills the objectives of the comprehensive plan and planning policies of the city.*

The Southwest Area Community Plan recommends that the Subject Property be developed with commercial uses and in accordance with design guidelines. The Cantore Place Planned Unit Development incorporated design guidelines to which this proposed use will adhere. Furthermore, the proposed use is consistent with Southwest Area Community Plan and therefore the proposed modification fulfills the objective of the City's Comprehensive Plan.

11. That granting the requested Conditional Use for an automobile service (quick lube) station and car wash is appropriate, pursuant to Section 6-3-8 of the Zoning Ordinance, based on the following factors:

- a. *The establishment, maintenance or operation of the conditional use will not be detrimental to, or endanger the public health, safety and general welfare.*

The Subject Property is part of the Cantore Place Planned Unit Development which is a commercial development located along the Route 59 commercial corridor. This proposed use is consistent with and compatible with surrounding land uses. Because conditions will be placed on the Subject Property through the planned unit development, the development of the Subject Property will not be detrimental to nor endanger the public health, safety and general welfare.

- b. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate area for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The proposed Conditional Use for an automobile service (quick lube) station and car wash is consistent with and compatible with surrounding commercial land uses. This development will provide goods and services to the public and will promote customer use of the entire commercial center. The quick lube station/car wash will not negatively impact Cantore Place nor will it have a negative effect on the use and enjoyment of the development as a whole. This proposed development will not be injurious to the use and enjoyment of other commercial properties in the area nor will it diminish or impair property values within the neighborhood.

- c. *The establishment of the conditional use will not impede the normal and orderly development and improvement of the adjacent property for uses permitted in the district.*

The Subject Property is surrounded by properties which are already developed or which have development proposals which have already been approved by the City as part of the Cantore Place Planned Unit Development. Because of the conditions placed on a planned unit development, this Conditional Use will not impede the normal and orderly improvement of adjacent properties.

WHEREFORE, the Petitioner respectfully requests:

1. That a Major Change to the Planned Unit Development for the Subject Property, legally described in **Exhibit A**, be granted pursuant to Section 6-4-6 of the Zoning Regulations of the Naperville Municipal Code.

2. That a Conditional Use for the Subject Property for an automobile service (quick lube) station and car wash, as depicted on **Exhibit B**, be granted pursuant to Section 6-7B-3 of the Zoning Regulations of the Naperville Municipal Code.

3. That any requisite zoning and/or subdivision deviations and/or variances associated with the requested Major Change to the Planned Unit Development and Conditional Use be granted.

4. That such other action be taken as is appropriate in the premises.

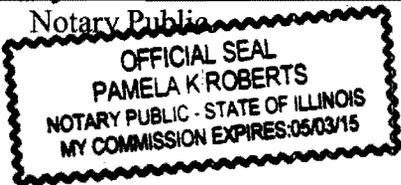
RESPECTFULLY SUBMITTED this 14<sup>th</sup> day of March, 2012.

PETITIONER:  
GB&S CAR WASH PROPERTIES, LLC

By: Kathleen C. West  
Dommermuth, Brestal, Cobine and West, Ltd.,  
Its Attorney

SUBSCRIBED and SWORN to before me  
this 14<sup>th</sup> day of March, 2012,

[Signature]  
Notary Public



Prepared by:  
Kathleen C. West  
Dommermuth, Brestal, Cobine and West, Ltd.  
123 Water Street  
Post Office Box 565  
Naperville, Illinois 60566-0565



**NAPERVILLE PLANNING AND ZONING COMMISSION  
MINUTES OF MAY 16, 2012**

**Call to Order**

**7:00 p.m.**

**A. Roll Call**

Present: Coyne, Frost, Gustin, Bruno, Messer, Meyer, Williams  
Absent: Herzog, Trowbridge  
Student Members:  
Staff Present: Planning Team – Ying Liu, Allison Laff  
Engineering Team – Kimberly Schmidt

**D. Public Hearings**

**D1. PZC Case #12-1-037  
Nascar Car Wash**

The petitioner requests approval of a conditional use for an automobile service station and car wash in the B2 (Community Shopping Center District), a major change to the Cantore Place Planned Unit Development (PUD), and Final PUD Plat in order to develop a car wash and lube facility, known as Nascar Carwash, on Lot 5 in Cantore Place.

Liu, Planning Services Team, gave an overview of the request.

Kathy West, Dommermuth, Brestal, Cobine,& West, Attorney, spoke on behalf of the petitioner:

- The drying machine would be inside of the car wash bay.
- As the car wash bay is located on the west side of the building, noise generation should not have an impact on the adjacent residences to the east.
- The door of the car wash bay would be closed and only open to allow cars to exit.

Planning and Zoning Commission inquired about:

- The responses from the adjacent existing businesses regarding the proposed business. Steve Timmer, representing the petitioner, responded that all business owners responded positively to the proposed car wash. The only negative comment was from a neo-surgeon, who is concerned about the increased traffic.
- Noise control measures for the vacuum system. Timmer responded that the site will use a central vacuum system which is very quiet.
- Whether the business was licensed by Nascar. Timmer responded that the owner has a contract with Nascar to use the brand.

Naperville Planning and Zoning Commission  
May 16, 2012  
Page 2 of 2

**Public Testimony:** None

Planning and Zoning Commission closed the public hearing.

**Planning and Zoning Commission Discussion:**

- Gustin – Believes this is a good development and a good location for the use.
- Messer – The underlying zoning permits the use.
- Meyer – Likes the site plan and is in favor of the case.
- Williams – The plan is well done.

Planning and Zoning Commission moved to recommend approval of a conditional use for an automobile service station and car wash in the B2 (Community Shopping Center District), a major change to the Cantore Place Planned Unit Development (PUD), and Final PUD Plat in order to develop a car wash and lube facility, known as Nascar Carwash, on Lot 5 in Cantore Place.

Motion by: Meyer  
Seconded by: Williams

Approved  
(7 to 0)



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** 719 Prairie Avenue – PCZ 12-1-043

**TYPE OF VOTE:** Simple majority

**ACTION REQUESTED:**

Pass the ordinance granting a variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District: Yard Requirements) of the Naperville Municipal Code in order to construct a covered front porch at a distance of 26’ from the front lot line and 9.83’ from the corner side yard lot line for the property located at 719 Prairie Avenue, PCZ 12-1-043.

**BOARD/COMMISSION REVIEW:**

The Planning and Zoning Commission considered this matter on May 2, 2012 and voted to recommend approval of the request (Approved 8-0). Staff concurs.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date of Action	Item No.	Action
N/A		

**DEPARTMENT:** TED – Planning Services Team

**SUBMITTED BY:** Tim Felstrup, Assistant Planner

**FISCAL IMPACT:**

N/A

**BACKGROUND:**

The subject property, zoned R1B (Low Density Single-Family Residence District), is located at 719 Prairie Avenue and encompasses 10,001 square feet. It is currently improved with a single-family residence that encroaches 5.37’ into the 15’ required corner side yard setback. The petitioner, Casa by Charleston is currently remodeling the single family home for the current owners of the property Rodney and Christine Bell.

719 Prairie Avenue (PCZ 12-1-043)

June 19, 2012

Page 2 of 2

**DISCUSSION:**

The proposed covered porch will encroach into two required yards, the front and the corner side. The covered porch will not extend past the south side of the existing home that currently encroaches 5.37' into the corner side yard. Although a roofed structure, the covered porch will be a single story and maintain a 26' setback from the front property line (30' required) as well as a 9.83' setback from the corner side property line (15' required).

The requested variance, if approved, will be subject to compliance with the site plan (Attachment 2) and will only be applicable to the portion of the covered porch inside the 30' front yard and 15' corner side yard setbacks as shown on the site plan. If the petitioner were to seek additional improvement in the future which encroaches further into the zoning setback, an additional variance would be required to be processed.

*Planning and Zoning Commission Action*

The Planning and Zoning Commission considered this matter at their meeting on May 2, 2012. No member of the public provided testimony. Following limited discussion, the Planning and Zoning Commission closed the public hearing and voted unanimously to recommend approval for the case (approved 8-0). Staff concurs with the Planning and Zoning Commission's recommendation.

*Conclusion*

Staff finds that such improvement will not alter or destroy the essential character of the neighborhood or be a substantial detriment to the adjacent property. Staff finds that the proposed improvement will be an enhancement to both the property and the neighborhood and supports the request. Staff concurs with the petitioner that the requested variance meets the standards for granting a zoning variance as defined in Section 6-3-5:2 (Standards for Variances) of the Municipal Code.

**RECOMMENDATION:**

Pass the ordinance granting a variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District: Yard Requirements) of the Naperville Municipal Code in order to construct a covered front porch at a distance of 26' from the front lot line and 9.83' from the corner side yard lot line for the property located at 719 Prairie Avenue, PCZ 12-1-043.

**ATTACHMENTS:**

1. 719 Prairie Avenue – Ordinance – PCZ 12-1-043
2. 719 Prairie Avenue – Legal Description – PCZ 12-1-043
3. 719 Prairie Avenue – Site Plan – PCZ 12-1-043
4. 719 Prairie Avenue – Elevations – PCZ 12-1-043
5. 719 Prairie Avenue – Planning and Zoning Commission Minutes May 2, 2012 – PCZ 12-1-043

**PIN: 08-19-202-01**

**ADDRESS:  
719 Prairie Avenue  
Naperville, IL 60540**

**PREPARED BY:**

**CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170**

**RETURN TO:**

**CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
P.O. BOX 3020  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60566-7020**

**P.C. Case #12-1-043**

**ORDINANCE NO. 12 - \_\_\_\_**

**AN ORDINANCE GRANTING A FRONT AND SIDE YARD SETBACK VARIANCE  
FROM SECTION 6-6B-7:1 OF TITLE 6 (ZONING REGULATIONS)  
OF THE NAPERVILLE MUNICIPAL CODE FOR THE PROPERTY  
LOCATED AT 719 PRAIRIE AVENUE**

**WHEREAS**, Casa by Charleston, on behalf of Rodney and Christine Bell as owners of the property, has petitioned the City of Naperville for approval of a setback variance for the home located at 719 Prairie Avenue, Naperville, IL, which is legally described in **Exhibit A**, and depicted on **Exhibit B** (site plan); and

**WHEREAS**, the Subject Property is currently zoned R1B (Low Density Single-Family Residence District) and improved with a single-family residence; and

**WHEREAS**, the existing single-family residence currently encroaches 5.37' into the 15-foot R1B required corner yard setback; and

**WHEREAS**, the Petitioner requests approval of a variance to Section 6-6B-7:1 (R1B Low Density Single-Family Residence District; Yard Requirements) to reduce the 30' front yard and

15' corner side yard setback requirements in order to construct a covered porch at a distance of 26' from the front lot line and 9.83' from the corner side yard lot line of the property; and

**WHEREAS**, on May 2, 2012, the Planning and Zoning Commission considered the Petitioner's request and recommended approval of a reduction to the 30' front yard and 15' corner side yard setback requirements in order to construct a covered porch at a distance of 26' from the front lot line and 9.83' from the corner side yard lot line of the property; and

**WHEREAS**, the City Council of the City of Naperville has determined that the variance should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The foregoing recitals are incorporated herein as though fully set forth.

**SECTION 2:** A variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District; Yard Requirements) to reduce the 30' front yard and 15' corner side yard setback requirements in order to construct a covered porch at a distance of 26' from the front lot line and 9.83' from the corner side yard lot line of the property located at 719 Prairie Avenue is hereby granted as depicted on **Exhibit B** (site plan).

**SECTION 3:** The variance approved by this Ordinance shall expire two years from the effective date of this Ordinance if (a) a building permit has not been obtained and the construction or alteration of the porch as specified in this Ordinance has not been started within that two-year period or (b) the use specified in this Ordinance has not commenced within that two-year period. The variance shall be subject to revocation for the failure to comply with all other applicable conditions set forth in the city's zoning regulations and all other applicable laws and ordinances.

**SECTION 4:** The City Clerk is directed to record this Ordinance and its exhibits with the DuPage County Recorder.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

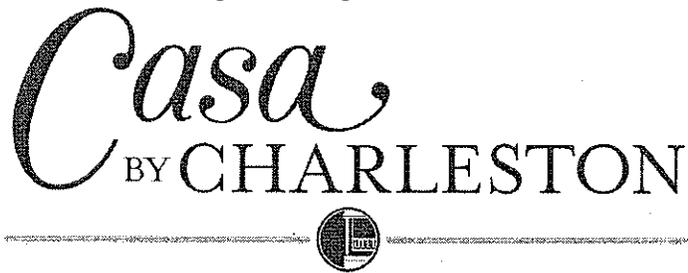
ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph. D.  
City Clerk



DESIGN • BUILD • RENOVATE

719 Prairie Avenue  
Naperville, IL 60540

P.I.N. 08-19-202-013

**Legal Description:**

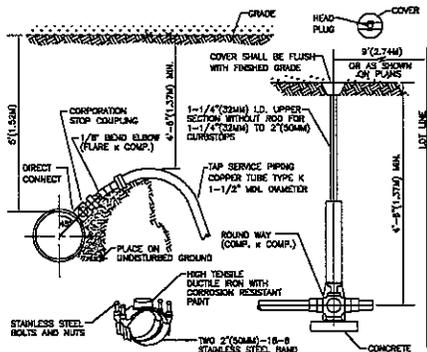
Lot 18 in Block 5 in Arthur T. McIntosh and Company's Naperville Highlands, being a subdivision of in sections 18 and 19, Township 38 North, Range 10, East of the Third Principal Meridian, According to the Plat thereof Recorded January 8, 1926 as Document 205844, in DuPage County, Illinois.

DUO TO NORMAL CONSTRUCTION TOLERANCES AND VARIATIONS BETWEEN RECORD AND ACTUAL LOT DIMENSIONS, ROAKE AND ASSOCIATES, INC. CAN ACCEPT NO LIABILITY FOR MINOR ENCROACHMENTS OF ZONING SETBACKS WHEN STRUCTURES HAVE BEEN REQUESTED TO BE LAID OUT WITHIN 8 INCHES (0.50 FT) OF THE REQUIRED SETBACKS. FOUNDATION LAYOUT PERFORMED BY ROAKE AND ASSOCIATES, INC. SHALL HAVE THE TOP OF FOUNDATION ELEVATION NOTED ON THE CURB OR CURB WITH THE CALCULATED CUT OR FILL GRADE NECESSARY TO ACHIEVE TOP OF FOUNDATION. THE CONTRACTOR SHALL VERIFY THAT THE TOP OF FOUNDATION STAKED MATCHES THE TOP OF FOUNDATION NOTED ON THE APPROVED LOT GRADING PLAN.

# PLOT PLAN OF

LOT 18 IN BLOCK 5 IN ARTHUR T. MCINTOSH AND COMPANY'S NAPERVILLE HIGHLANDS, BEING A SUBDIVISION OF IN SECTIONS 18 AND 19, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 8, 1926 AS DOCUMENT 205844, IN DU PAGE COUNTY, ILLINOIS.

719 PRAIRIE AVENUE  
P.L.N. 08-19-202-013



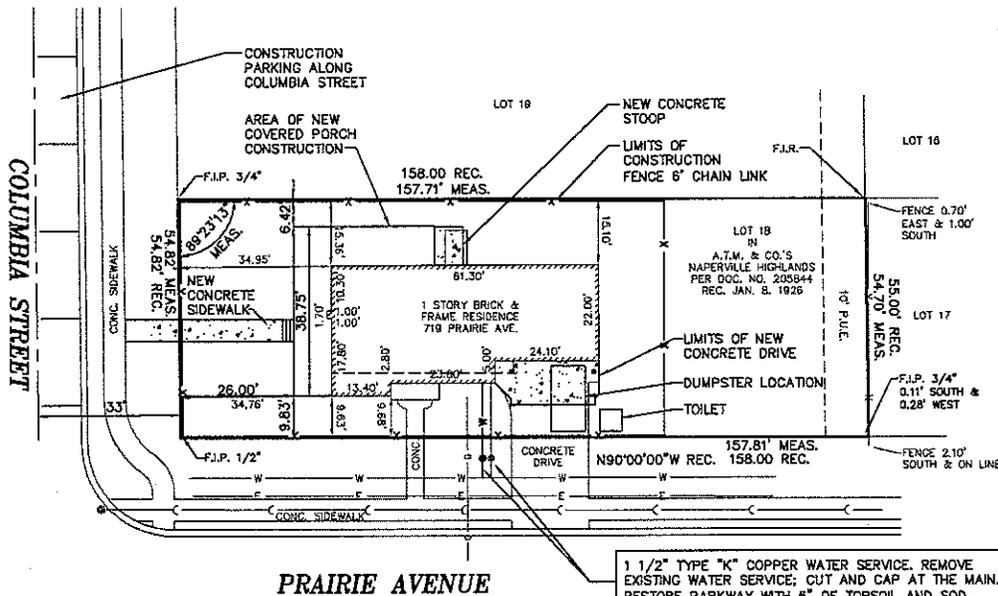
**NOTES:**

1. CORPORATION IS TO BE FLARING TYPE (FORD F-800 OR EQUAL BY MUELLER OR A.Y. MCDONALD), OR A.Y. MCDONALD.
2. 1/8" BEND ELBOW - FEMALE FLARE TO COMPRESSION (FORD L48-44 OR EQUAL BY MUELLER OR A.Y. MCDONALD).
3. CURB BOX IS ARCH PATTERN, WITH INTERIOR ROD FOR 1"(25MM) UPPER SECTION ONLY WHEN USING 1"(25MM) CURB STOPS.
4. CURB BOX IS ARCH PATTERN WITHOUT ROD WITH 1-1/4"(32MM) UPPER SECTION ONLY (USING 1-1/4"(32MM) TO 2"(50MM) CURB STOP, WITH 1-1/4"(32MM) BRASS PENTAGON PLUG, OR EQUAL, BY MUELLER OR A.Y. MCDONALD).
5. CURB STOP IS WITH COMPRESSION COUPLING - FORD 844-444 (1"(25MM) CURB STOP), OR EQUAL, BY MUELLER OR A.Y. MCDONALD.
6. B-SIDE HAS 1"(25MM) THICK BRASS PENTAGON PLUG WITH THE WORD "WATER" IN RAISED LETTERS ON CAP, (1-1/4"(32MM) PORT, PLUG FOR 1-1/4"(32MM) ID, B-SIDES).
7. SERVICE TAP OPERATOR SHALL 1"(25MM) IN COMPACT MUST HAVE A STAINLESS STEEL, DUAL SANGED DUCTILE IRON SANGE (FORD 23-22, 202 OR IS ON APPROVED EQUAL) OR ALL STAINLESS STEEL FULL CIRCLE CLAMP WITH OUTLET.
8. CORPORATION STOPS SHALL BE INSTALLED A MINIMUM OF 18"(457MM) FROM PIPE JOINTS AND BAYS. MULTIPLE INSTALLATIONS SHOULD BE STAGGERED AROUND THE MAIN BY 22-1/2" AND SEPARATED FROM EACH OTHER BY 18"(457MM).

**SERVICE TAP AND CONNECTION**  
A.T.S.

**LEGEND. SURVEY LINE TYPES & ABBREVIATIONS**

- SITE BOUNDARY
- EXISTING LOT LINE
- CENTER LINE
- - - EASEMENT LINE
- ⊙ EXISTING MANHOLE
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND GAS LINE
- EXISTING FENCE
- ⊙ EXISTING BBOX
- REC. MEAS. RECORD DATA MEASURED DATA
- P.U.E. PUBLIC UTILITY EASEMENT
- ⊙ PROPOSED BBOX
- X — PROPOSED FENCE



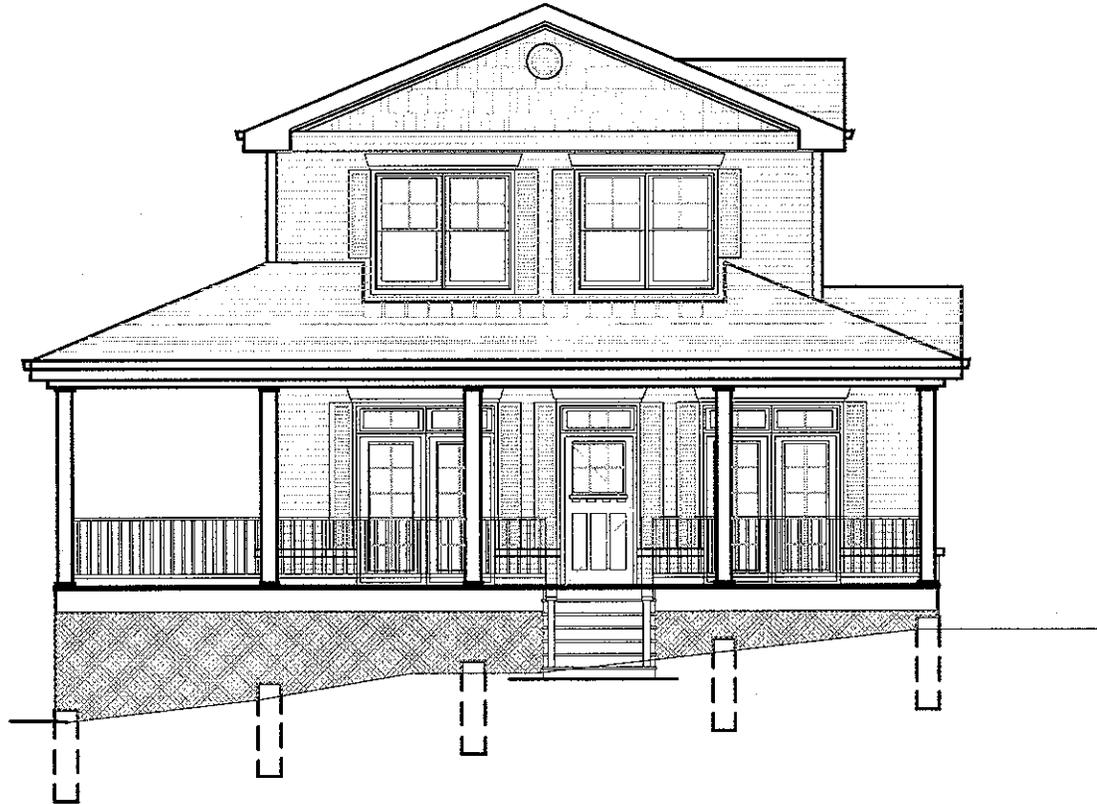
1 1/2" TYPE "K" COPPER WATER SERVICE. REMOVE EXISTING WATER SERVICE; CUT AND CAP AT THE MAIN. RESTORE PARKWAY WITH 6" OF TOPSOIL AND SOD.

**NOTES:**

1. SURVEY INFORMATION INCLUDING PLANIMETRICS AND BUILDING TIES AS DEPICTED ON THE PLAT OF SURVEY PREPARED BY ARS SURVEYING SERVICES, LLC DATED AUGUST 2, 2011 (JOB NO. 11190-11).
2. PROPOSED INFORMATION REGARDING THE BUILDING AND BUILDING SETBACKS AS DEPICTED ON THE DRAWINGS PREPARED BY 12/12 ARCHITECTS.
3. UTILITY INFORMATION SHOWN IN THE PRAIRIE AVENUE RIGHT OF WAY AS SURVEYED IN THE FIELD BY ROAKE AND ASSOCIATES, INC.

STATE OF ILLINOIS COUNTY OF DU PAGE	SS	PREPARED FOR: <b>CHARLESTON DEVELOPMENT</b>	<b>ROAKE AND ASSOCIATES, INC.</b> CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS 1684 QUINCY AVENUE, SUITE 100A • NAPERVILLE, IL 60540 • 630-355-3232																									
I HEREBY CERTIFY THAT THIS PLAT, AND THE SURVEY UPON WHICH IT IS BASED, HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION, ALL DISTANCES ARE GIVEN IN FEET AND DECIMALS THEREOF.		<ul style="list-style-type: none"> <li>• COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE.</li> <li>• COMPARE ALL POINTS ON THE GROUND BEFORE BUILDING BY SAME AND REPORT ANY DIFFERENCE AT ONCE.</li> <li>• BUILDING LINES AND EASEMENTS INDICATED HAVE BEEN TAKEN FROM THE ORIGINAL RECORDED SUBDIVISION PLAT, FOR SUBSEQUENT EASEMENTS AND ENCROACHMENTS THEREON, ALTERED, OR NOT TO YOUR TITLE POLICY, STATING SAME.</li> </ul>																										
THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 007, LICENSE EXPIRES APRIL 30, 2013, FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREIN. REPRODUCTION OR USE BY THIRD PARTIES IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MENSURAM STANDARDS FOR A BOUNDARY SURVEY. DATED THIS _____ DAY OF _____, 2012.		<table border="1"> <thead> <tr> <th>TYPE</th> <th>ORN BY</th> <th>DATE</th> <th>JOB NO.</th> </tr> </thead> <tbody> <tr> <td>VACANT</td> <td></td> <td></td> <td></td> </tr> <tr> <td>PLOT PLAN</td> <td>PRS</td> <td>02/27/12</td> <td>533.120023</td> </tr> <tr> <td>FINISH</td> <td></td> <td></td> <td></td> </tr> <tr> <td>GRADING</td> <td></td> <td></td> <td></td> </tr> <tr> <td>MTG</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>			TYPE	ORN BY	DATE	JOB NO.	VACANT				PLOT PLAN	PRS	02/27/12	533.120023	FINISH				GRADING				MTG			
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BELL HOUSE  
14 DECEMBER 2011

WEST ELEVATION - NEW SCHEME B REVISED  
1/8" = 1'-0"

*12/12*  
architects  
& planners



BELL HOUSE  
14 DECEMBER 2011

SOUTH ELEVATION - NEW SCHEME B REVISED  
1/8" = 1'-0"

*12/12*  
architects  
& planners



**NAPERVILLE PLANNING AND ZONING COMMISSION  
DRAFT MINUTES OF MAY 2, 2012**

**Call to Order**

**7:02 p.m.**

**A. Roll Call**

Present: Frost, Coyne, Gustin, Herzog, Meyer, Messer, Trowbridge, Williams  
Absent: Bruno  
Student Members:  
Staff Present: Planning Team – Ying Liu, Tim Felstrup  
Engineering – Trude Terreberry

**B. Minutes**

Approve the minutes of April 18, 2012.

Motion by: Meyer  
Second by: Gustin

Approved  
(8 to 0)

**C. Old Business**

**D. Public Hearings**

**D1. Case #12-1-047  
Aquatic Visions**

The petitioner is requesting a variance in order to have window signage that covers more than fifty (50) percent of the window-surface area of Suite 109 at 2695 Forgue Drive.

Terreberry, Engineering Services Team, gave an overview of the request.

- The petitioner indicated the sign was installed for safety reasons due to a recent break-in incident. The Police Department indicated that there is no criminal record associated with the subject property or the surrounding commercial development.
- The building code does not prevent people from blocking their windows. However, window signage is subject to the 50% requirement.

Michael Elmore, Aquatic Visions, spoke on behalf of the petitioner.

- The proposed signage is to improve the appearance of the storefront.
- Window covering is to protect the fish tank behind the window.
- The false dry wall serves the purpose of blocking the sun light.

Planning and Zoning Commission inquired about

- Whether the “window-surface area” includes the door and transom.
- What would be considered window signage? Staff responded that a bank film or graphics with generic patterns covering the window are not

considered signage. However, if the graphics are associated with the logo or products/services of the business, they are considered signage. A graphic with a pattern of fish would be considered a sign.

- Whether the false wall behind the window violates the building code. Staff responded that it doesn't violate the building code.
- The purpose of requiring 50% of the windows free of signage. Staff indicated that the purpose is to prevent sign clutter.
- Whether the proposed sign should be considered a wall sign.
- Whether the fish tank can be relocated away from the window in the store. The petitioner responded no.
- Whether the regulations are different for signage inside the window.

**Public Testimony:** None

Planning and Zoning Commission closed the public hearing.

**Plan Commission Discussion:**

- Coyne – Likes the design of the sign. However, concerned that this sign would set a precedent.
- Gustin – Agrees with Coyne. Suggests that the petitioner change the sign to a generic pattern and remove the text. Feels that a fish pattern is generic.
- Messer – It is an eye-catching sign. Agrees that a fish pattern is generic. Would like the petitioner to modify the sign.
- Trowbridge – Agrees with Gustin and Messer. Suggests the petitioner reduce the sign to 50% of the window area and remove the text.
- Herzog – The sign is well-designed. However, believes that the sign creates signage clutter on the storefront. Would prefer a blank covering for the window.

Planning and Zoning Commission moved to recommend approval of PZC 12-1-047 for a variance in order to have window signage that covers more than fifty (50) percent of the window-surface area of Suite 109 at 2695 Forgue Drive.

Motion by: Gustin

Seconded by: Trowbridge

The Planning and Zoning Commission moved to amend the main motion to approve window signage to cover 100% of the window-surface area subject to the condition that the text of the sign be removed and the graphic provide a fish and coral pattern similar to the existing design. Not Approved (2 to 6)

Motion by: Gustin

Seconded by: Messer

Ayes: Gustin, Messer

Nays: Coyne, Frost, Meyer, Trowbridge, Williams, Herzog

The Planning and Zoning Commission voted on the main motion.

Not Approved  
(0 to 8)

**D1. Case #12-1-051  
Midwest Title Loans**

The petitioner requests a variance in order to replace the face panels on an existing, nonconforming pole sign without bringing the sign into compliance with the current monument-sign regulations for the property located at 905 E. Ogden Avenue.

Felstrup, Planning Services Team, gave an overview of the request.

Kevin Booker, Vertex Signs, spoke on behalf of the petitioner

- Customer has leased the building with the assumption that the sign could be reused.
- The ability to use the existing sign is critical to their business.
- Proposes to use the sign for a definite period of time and then comply with the code requirement once the business is established.
- The measurement of the property frontage is more than 100' which allows for a freestanding sign.

Planning and Zoning Commission inquired about:

- The goal of the Ogden Avenue Corridor Study is to beautify the corridor and provide a connection to the Downtown area.
- Temporary use of the existing sign is subject to the City Council's consideration.
- Whether the business is a national business. The petitioner indicated yes, and there are about 600 stores nationwide.
- Whether the design and colors of the proposed sign can be improved. Petitioner indicated that the design of the sign is the business' national model.

**Public Testimony:** None

Planning and Zoning Commission closed the public hearing.

**Plan Commission Discussion:**

- Coyne – The sign is in conflict with the Ogden Avenue Corridor Study which is intended to improve the appearance of the Ogden Avenue Corridor.
- Gustin – Agrees with Coyne. Doesn't think it is an appealing sign.
- Messer – Concurs with other commissioners.
- Meyer – The sign is in conflict with the recommendations of the Ogden Avenue Corridor Study.

Planning and Zoning Commission moved to recommend approval of PZC 12-1-051 for a variance to allow replacement of the face panels on an existing, nonconforming pole sign without bringing the sign into compliance with the current monument-sign regulations for the property located at 905 E. Ogden Avenue.

Motion by: Meyer  
Seconded by: Williams

Not Approved  
(0 to 8)

**D1. Case #12-1-043  
719 Prairie Avenue**

The petitioner requests a variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District: Yard Requirements) of the Naperville Municipal Code to reduce the 30' front yard setback requirement as well as reduce the 15' corner side yard setback in order to construct a covered front porch at a distance of 26' from the front lot line and 9.83' from the corner side yard lot line for the property located at 719 Prairie Avenue.

Felstrup, Planning Services Team, gave an overview of the request.

Adam Someren, Casa by Charleston, spoke on behalf of the petitioner.

- The proposed front porch wrap-around greatly improves the home's appearance.
- The design of the front porch is consistent with the style and size of the surrounding homes in the area.
- Presented the exterior elevations of the home.
- The width of the porch has been reduced to save a tree in the front yard.

Planning and Zoning Commission inquired about

- Whether changing the orientation of the house from Prairie Avenue to Columbia Street will affect the determination of the front yard of the property. Staff responded that the determination of the front yard is not dependent upon the orientation of the home.
- Whether a variance is required for the current encroachment of the existing home.
- Whether a variance was approved for the current encroachment of the home.
- How much of the front porch is in the setback. The petitioner indicated about 4' of the porch is in the setback and the additional width allows the porch to be more usable.

**Public Testimony:** None

Planning and Zoning Commission inquired about

- Whether the porch encroachment would create a safety concern for vehicles travelling along Columbia Street. Staff responded that the proposed porch maintains a 25' setback from the street and is out of the

sight triangle. Staff doesn't believe it will be a problem.

Planning and Zoning Commission closed the public hearing.

**Plan Commission Discussion:**

- Gustin – The hardship of the case is that the existing home can't be shifted. Will support the variance based on the hardship. The proposal will be a wonderful addition to the home.
- Messer – Commends the owner for trying to work with the existing home rather than tearing it down.
- Williams – The proposed addition is excellent. Believes the impact on the surrounding properties is minimal. Commends the petitioner for trying to stay with the home and preserve the tree in the front yard. Williams also noted that the current encroachment doesn't give the permission to new encroachment.

Planning and Zoning Commission moved to recommend approval of PZC #12-1-043 for a variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District: Yard Requirements) of the Naperville Municipal Code to reduce the 30' front yard setback requirement as well as reduce the 15' corner side yard setback in order to construct a covered front porch at a distance of 26' from the front lot line and 9.83' from the corner side yard lot line for the property located at 719 Prairie Avenue.

Motion by: Trowbridge  
Seconded by: Williams

Approved  
(8 to 0)

**D1. Case #12-1-045  
30 S. Ellsworth St.**

The petitioner requests a variance to reduce the 25' front yard setback requirement in order to construct a new single-family structure 19.75' from the front lot line and a covered front porch 15.75' from the front lot line for the property located at 30 S. Ellsworth Street.

Liu, Planning Services Team, gave an overview of the request.

Paul Nordini, Owner and Petitioner, spoke on behalf of the petitioner

- Provided the history of the property and the reasons why construction was stopped in 2010.
- Wishes to redevelop the property to conform to its original design.
- Reviewed the historical function of a summer kitchen. The proposed summer kitchen is part of the home.
- The home was designed based on the historical footprint of the original home, which is smaller than the current footprint of the existing structure.
- The proposed encroachment in the setback is in keeping with the adjacent structures. Without the variance, the home would appear out of

place.

Planning and Zoning Commission inquired about

- Reasons to stop construction in 2012.
- Comparison of the footprint of the proposed structure and the existing structure.
- The necessity for the setback variance since it is new construction.
- What is a summer kitchen.
- The status of the litigation between the petitioner and his construction load lender.
- The timeline for completion of the project. The petitioner noted that he hopes to finish the project by next Spring.

**Public Testimony:** None

Planning and Zoning Commission inquired about

- What is a Certificate of Appropriateness (COA).
- The mission of the Historic District. Staff indicated that the purpose of the city's historic preservation regulations and guidelines is to preserve the character and appearance of the Historic District, rather than the materials.

Planning and Zoning Commission closed the public hearing.

**Planning and Zoning Commission Discussion:**

- Coyne – The proposed home is in keeping with the surrounding properties.
- Gustin – The existing structure is a dilapidated. Gustin is leaning toward approving the variance in order to allow consistency with the adjacent homes.
- Messer – As the PZC representative on the Historic Preservation Commission, Messer reviewed the rationale of the Historic Preservation Commission for approving the COA and variance. Although the HPC hates to see the structure to be demolished, they felt that the proposed structure is more appropriate in terms of its size and its compatibility with the adjacent properties.
- Herzog – Appreciate Messer's explanation on the HPC's decision, which provides context for the case. Will support the case for reasons noted by the other Commissioners.

Planning and Zoning Commission moved to recommend approval of PZC #12-1-045 for a variance to reduce the 25' front yard setback requirement in order to construct a new single-family structure 19.75' from the front lot line and a covered front porch 15.75' from the front lot line for the property located at 30 S. Ellsworth Street.

Motion by: Williams  
Seconded by: Meyer

Approved  
(8 to 0)

**D1. Case #12-1-023**  
**First Community**  
**Bank of Joliet**

The petitioner requests approval for five zoning variance, a subdivision deviation and a landscape variance in order to add a drive-through facility for the building located at 24 W. Gartner Road.

Liu, Planning Services Team, gave an overview of the request

Kathy West, Attorney, Dommermuth, Brestal, Cobine & West, Ltd. Spoke on behalf of the petitioner

- The proposed drive-through matches the footprint of the previous drive-through and is not increasing the encroachment into the setbacks.
- The proposed variances don't have negative impacts on the surrounding areas.
- The petitioner made the effort to reach out to the adjacent community. No oppositions from the adjacent apartment homes were heard.
- Staff reviewed the sight line for the fencing on top of the retaining wall.
- If noise ever becomes a problem, the speaker system volume can be adjusted.

Planning and Zoning Commission inquired about:

- Whether the limit of the previous drive-through coincide with the existing retaining wall.
- The rationale for requiring a bypass lane. Staff indicated that a bypass lane is required to improve circulation of the site as well as to provide a means of escape in case of an accident.
- Whether the width of the lanes is sufficient. The Commission noted that the cars travels through the drive-through are at a low speed.
- The retaining wall provides separation between the street and the drive-through.
- The location of the columns for the portico above the drive-up window. Staff clarified that they are pilasters affixed to the wall.
- The commission observed that existing building protrudes into the setbacks and the parking lot to the north of the subject property is very close to Washington Street.
- Whether Washington Street has changed since the previous drive-through was removed.
- Concerned with traffic exiting the drive-through turning left into the drive aisle. Recommends limiting the exit to right-turn only. Dave ? , Ruettiger, Tonelli and Associates, Inc. spoke on behalf of the petitioner and indicated the distance between the drive-through exit and the Washington Street curb line is 55' – 60'.
- Busy hours of the shopping center.

Naperville Planning and Zoning Commission  
May 2, 2012  
Page 8 of 8

**Public Testimony:** None

Planning and Zoning Commission closed the public hearing.

**Plan Commission Discussion:**

- Coyne – Supports the project.
- Gustin – The elevation changes are a wonderful enhancement to the building. Supports the variances as they are consistent with the previous use. Still concerned with the left turning movement of the exiting traffic from the drive-through.
- Herzog – Appreciates the redesign of the building. The proposal is to recreate what was originally there. The proposal is well thought through.
- Meyer – The redesign of the building is outstanding.
- Williams – The project is very well-done. The shopping center is busy 7 days a week. But feels that the proposed use can be handled by the existing facilities.

Planning and Zoning Commission moved to recommend approval of PZC #12-1-023 for a number of zoning/landscaping variances and a subdivision deviation as detailed in the staff report dated May 2, 2012 to allow the construction of a drive-through facility for the building located at 24 W. Gartner Road.

Motion by: Williams  
Seconded by: Messer

Approved  
(8 to 0)

**E. Reports and Recommendations**

**F. Correspondence**

**G. New Business**

**H. Adjournment**

9:20 p.m.



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** 340 Shuman Boulevard – PZC 12-1-056

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**

Pass the ordinance granting a variance to Section 6-9-3 (Schedule of Off-Street Parking Requirements) of the Naperville Municipal Code to reduce the number of required parking spaces for a manufacturing/laboratory facility to be located at 340 Shuman Boulevard.

**BOARD/COMMISSION REVIEW:**

On June 6, 2012, the Planning and Zoning Commission recommended approval of PZC 12-1-056 (Approved 9-0). Staff concurs.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date of Action	Item No.	Action
N/A		

**DEPARTMENT:** TED – Planning Services Team

**SUBMITTED BY:** Allison Laff, AICP, Planning Team Operations Manager

**FISCAL IMPACT:**

N/A

**BACKGROUND:**

The subject property includes 6.85 acres located at 340 Shuman Boulevard (southeast corner of Shuman Boulevard and Mill Street). The subject property is currently zoned ORI (Office, Research, and Industrial) and is improved with an 84,000 square foot building. The building was previously occupied by a printing company, but is currently vacant. The petitioner proposes to occupy the building with a manufacturing/laboratory use (Orochem).

340 Shuman Boulevard (PZC 12-1-056)

June 19, 2012

Page 2 of 2

**DISCUSSION:**

Per Section 6-9-3 (Schedule of Off-Street Parking Requirements), manufacturing uses are required to provide 2.5 parking spaces per 1,000 square feet of gross floor area. Based on the size of the building, the petitioner is required to provide 210 parking spaces on-site; the existing site is improved with only 74 parking spaces today.

In support of the variance request, the petitioner submitted employee and customer data to demonstrate their projected parking demand. Based on the petitioner's projected 50 employees and limited customers which are anticipated to visit the site (approximately 1 per week), staff finds that the existing 74 spaces can adequately accommodate the proposed Orochem use. However, staff has included the following condition in the ordinance as a safe guard:

*In the event that the facility's parking demands cannot be accommodated within the existing parking areas on the subject property, the owner and developer shall take measures (e.g. carpool, shift adjustments, construction of new parking spaces, etc.) to meet the parking demands of the facility and avoid any overflow parking on adjacent streets.*

**Planning and Zoning Commission Action**

The Planning and Zoning Commission considered this matter at their meeting on June 6, 2012. Following staff's presentation, Paul Wasicki, petitioner, gave an overview of the request. The Planning and Zoning Commission inquired about the ability to construct additional parking on site, as well as the ability to enforce the conditions of the ordinance, if needed. No members of the public provided testimony. The Planning and Zoning Commission closed the public hearing and voted unanimously to recommend approval for the case (approved 9-0). Staff concurs with the Plan Commission's recommendation.

**RECOMMENDATION:**

Pass the ordinance granting a variance to Section 6-9-3 (Schedule of Off-Street Parking Requirements) of the Naperville Municipal Code to reduce the number of required parking spaces for a manufacturing/laboratory facility to be located at 340 Shuman Boulevard.

**ATTACHMENTS:**

1. 340 Shuman Boulevard – Ordinance – PZC 12-1-056
2. 340 Shuman Boulevard – Draft 5/2/2012 PZC Minutes – PZC 12-1-056

PIN: 07-01-411-002

ADDRESS:  
340 Shuman Boulevard  
NAPERVILLE, IL 60563

PREPARED BY:  
CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170

RETURN TO:  
CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60540

P.Z.C. Case #12-1-056

**ORDINANCE NO. 12 - \_\_\_\_**

**AN ORDINANCE GRANTING A ZONING VARIANCE FROM  
SECTION 6-9-3 (SCHEDULE OF OFF-STREET PARKING REQUIREMENTS)  
OF TITLE 6 (ZONING REGULATIONS)  
OF THE NAPERVILLE MUNICIPAL CODE FOR THE PROPERTY  
LOCATED AT 340 SHUMAN BOULEVARD (OROCHEM)**

**WHEREAS**, Paul Wasicki, on behalf of Orochem, has petitioned the City of Naperville for approval of a parking variance in order to conduct a manufacturing/laboratory use (Orochem) on the real property located at 340 Shuman Boulevard, Naperville, IL, which is legally described in **Exhibit A** (Subject Property); and

**WHEREAS**, the Subject Property is currently zoned ORI (Office, Research, and Industrial) and is improved with an 84,000 square foot building and 74 parking spaces; and

**WHEREAS**, the proposed facility requires 2.5 parking spaces per 1,000 square feet of gross floor area (210 parking spaces) per Section 6-9-3 of the Naperville Municipal Code; and

**WHEREAS**, the Petitioner is requesting approval of a variance from Section 6-9-3 (Schedule of Off-Street Parking Requirements) of the Naperville Municipal Code in order to allow the existing parking areas to satisfy the parking requirements for the facility; and

**WHEREAS**, based on the petitioner's projected 50 employees and limited customers which are anticipated to visit the site (approximately 1 per week), staff finds that the existing 74 parking spaces can adequately accommodate the proposed Orochem use; and

**WHEREAS**, on June 6, 2012, the Planning and Zoning Commission considered the Petitioner's request and recommended approval of the requested parking variance for the Subject Property at 340 Shuman Boulevard; and

**WHEREAS**, the City Council of the City of Naperville has determined that the Petitioner's requests should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The foregoing recitals are incorporated herein as though fully set forth.

**SECTION 2:** A variance from Section 6-9-3 (Schedule of Off-Street Parking Requirements) of the Naperville Municipal Code to allow a reduction of the number of required off-street parking spaces from 210 to 74 spaces for the Subject Property, as depicted on the Plat of Survey attached to this Ordinance as **Exhibit B**, is hereby approved subject to the following condition:

1. In the event that the facility's parking demands cannot be accommodated within the existing parking areas on the subject property, the owner and developer shall take measures (e.g. carpool, shift adjustments, construction of new parking spaces, etc.) to meet the parking demands of the facility and avoid any overflow parking on adjacent streets.

**SECTION 3:** The variance approved by this Ordinance shall expire two years from the effective date of this Ordinance if (a) a building permit has not been obtained and the construction

or alteration of the structure as specified in this Ordinance has not been started within that two-year period or (b) the use specified in this Ordinance has not commenced within that two-year period. The variance shall be subject to revocation for the failure to comply with all other applicable conditions set forth in the city's zoning regulations and all other applicable laws and ordinances.

**SECTION 4:** The City Clerk is authorized and directed to record this Ordinance and its exhibits with the DuPage County Recorder.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph. D.  
City Clerk

**LEGAL DESCRIPTION**

LOT 5 IN NAPERVILLE OFFICE PARK ASSESSMENT PLAT NO. ONE OF PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 9 AND SECTION 8, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 18, 1986 AS DOCUMENT R78-42970, IN DUPAGE COUNTY, ILLINOIS.

PIN: 07-01-411-002

**ADDRESS:**

340 Shuman Boulevard  
Naperville, IL 60563

A DIVISION OF  
**PLCS Corporation**  
 LICENSE NO. 98-005322  
 PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630  
 TELEPHONE: (773) 485-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

**ALTA / ACSM Land Title Survey**

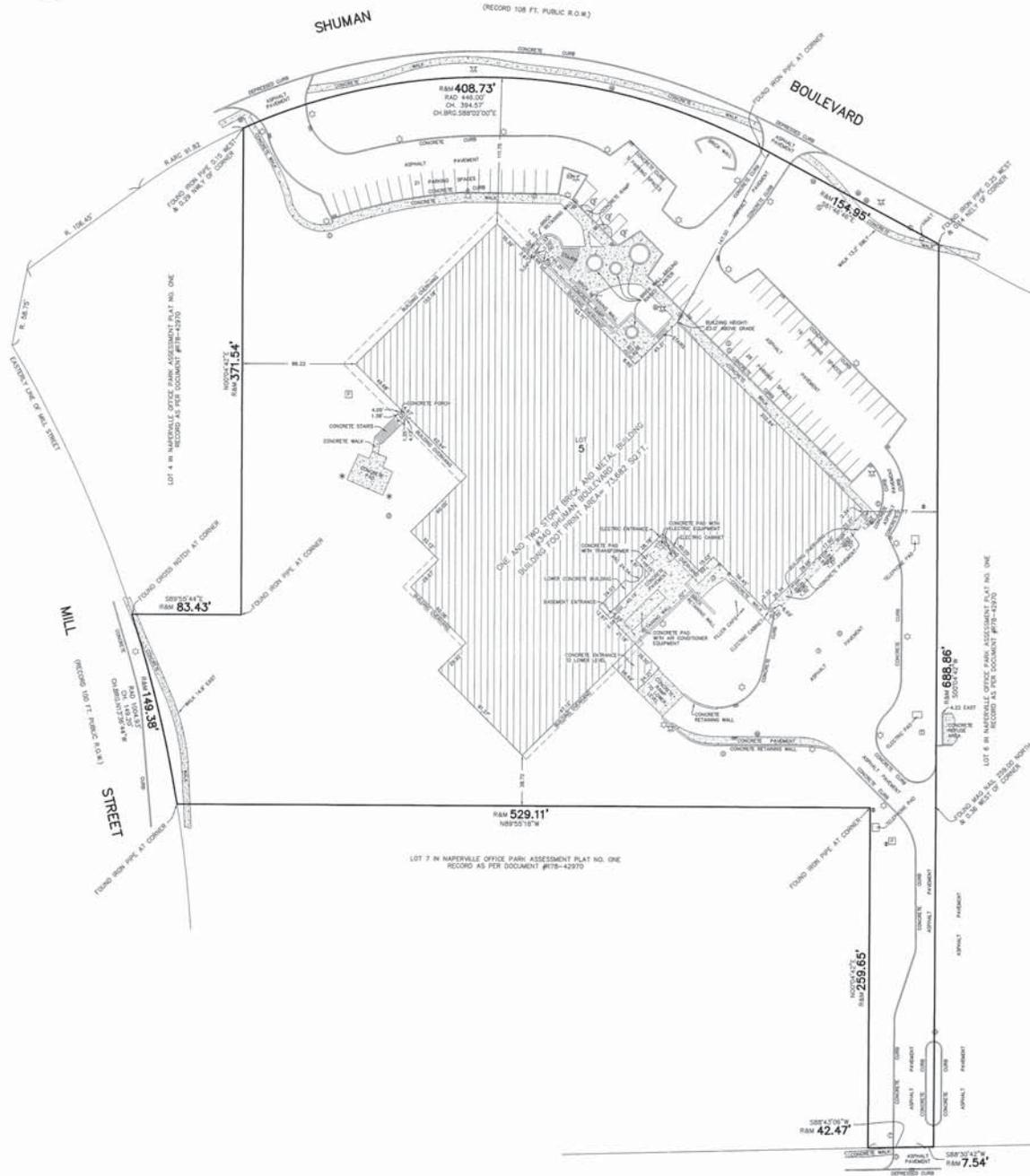
LOT 5 IN NAPERVILLE OFFICE PARK ASSESSMENT PLAT NO. ONE OF PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 9 AND SECTION 8, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 18, 1996 AS DOCUMENT #78-42970, IN DU PAGE COUNTY, ILLINOIS.  
 PROPERTY AREA= 299,372 SQ.FT. OR 6.87 ACRES MORE OR LESS

*Legend:*

- Storm MH
- Storm CB
- Storm Inlet
- San MH
- Water MH
- Water Fire Hydrant
- Telephone MH
- Telephone Vault
- Telephone Pedestal
- Electric Pod
- Electric Meter
- Electric Light Pole
- Electric Ground Light
- Gas Meter
- Sign Post
- Bumper Post
- Auto Sprinkler
- Flag Pole



GRAPHIC SCALE



**SURVEY NOTES:**

This survey was prepared without the benefit of, and is subject to, all restrictions and matters appearing of record as might be disclosed by a current title commitment.

Surveyor's license expires November 30, 2012.

AS TO ALTA TABLE A ITEM 16 WE FIND NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

AS TO ALTA TABLE A ITEM 18 WE FIND NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SWAMP OR SANITARY LANDFILL.

PROPERTY APPEARS IN "OTHER AREAS" ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP DU PAGE COUNTY, ILLINOIS, MAP NO. 17040-0709, EFFECTIVE DATE DECEMBER 16, 2004

Note R. & M. denote Right and Measured distances respectively.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed.

DIEHL (RECORDED 100 FT. PUBLIC R.O.W.) ROAD

ORDERED BY: DOW JONES & NEWS CORPORATION COMPANY	DRAWN BY: [Signature]
CORRECTOR: 241 SHUMAN BOULEVARD NAPERVILLE, ILLINOIS	DATE: APRIL 16, 2012
<b>GRENLEY &amp; BIEDERMANN</b> P.L.L.C. CONSULTING	SHEET: 1 OF 1
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630	SCALE: 1" = 40' (AS PLAT)
TELEPHONE: (773) 485-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM	
ORDER NO: 2012-16294-001	

**City Council Meeting - 6/19/2012 - 217**

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This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 7(b), 8, 9, 11(a), 14, 16, 18 and 21 of Table A thereof.

The field work was completed on April 10, 2012.

Date of Plat: April 16, 2012

By: [Signature]  
 Robert G. Biedermann  
 Professional Illinois Land Surveyor No. 2802





**NAPERVILLE PLANNING AND ZONING COMMISSION  
DRAFT MINUTES OF JUNE 6, 2012**

**Call to Order**

**7:01 p.m.**

**A. Roll Call**

Present: Bruno, Coyne, Frost, Gustin, Messer, Meyer, Trowbridge, Williams, Herzog  
Absent:  
Student Members:  
Staff Present: Planning Team – Allison Laff, Ying Liu, Tim Felstrup

**D3. PZC Case  
# 12-1-056  
340 Shuman Blvd.**

The petitioner requests approval of a variance to Section 6-9-3 (Schedule of Off-Street Parking Requirements) to reduce the number of parking spaces required for a manufacturing/laboratory facility to be located at 340 Shuman Drive.

Allison Laff, Planning Services Team, gave an overview of the request.

Paul Wasicki, Petitioner/Facility Supervisor, spoke on behalf of the petitioner:

- Currently has 25 employees and will expand to 50 employees at the proposed location.
- There are spaces on the site to build more parking, but prefers to keep the existing landscaped area intact.

Planning and Zoning Commission inquired about:

- Whether there is space on the site to build additional parking.
- If additional parking is needed, would the petitioner be able to encroach into the landscaping/detention areas. Staff responded that additional staff review and approval would be required to determine whether they can encroach into the landscaping and detention areas.
- Whether the City can require a fee from the petitioner if they are not in compliance with the condition of approval. Staff indicated that staff would work with the petitioner to solve any future parking problems, but if the problem persists, staff would fine the petitioner based on the existing code.
- Whether the petitioner agrees to the condition of approval and understands the risk.
- The nature of the customer showroom area.

Naperville Planning and Zoning Commission  
June 6, 2012  
Page 2 of 2

**Public Testimony:** None

Planning and Zoning Commission closed the public hearing.

**Planning and Zoning Commission Discussion:**

- Bruno – Appreciates job creation and business growth that this petition would bring to the City.
- Gustin – Supports the petition, which would bring jobs to the City.
- Messer – Given the proposed use of the building and the fact that the prior tenant had not had any problem with parking, will support it.
- Herzog – Welcomes the petitioner to Naperville. Supports the variance.

Planning and Zoning Commission moved to recommend approval of PZC 12-1-056 for a variance to Section 6-9-3 (Schedule of Off-Street Parking Requirements) to reduce the number of parking spaces required for a manufacturing/laboratory facility to be located at 340 Shuman Drive.

Motion by: Gustin  
Seconded by: Messer

Approved  
(9 to 0)



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Ordinance Ascertaining Prevailing Wage in the City of Naperville

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Pass the ordinance ascertaining prevailing wages in the City of Naperville.

**BOARD/COMMISSION REVIEW:**  
N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date of Action	Item No.	Action
n/a		

**DEPARTMENT:** Procurement Services Team

**SUBMITTED BY:** Michael E. Bevis, Chief Procurement Officer

**FISCAL IMPACT:**  
N/A

**BACKGROUND:**  
 The city is required to ascertain the prevailing wages for work performed on public works projects on an annual basis pursuant to the Prevailing Wage Act, 820 ILCS 130/01 *et seq.*

**DISCUSSION:**  
 The Illinois Department of Labor has determined the prevailing wages for positions on public works projects. The attached ordinance adopts the Illinois Department of Labor’s rates for these positions. The ordinance also provides that prevailing wages do not have to be paid for landscape maintenance work which will enable contractors to pay market wages. This language was reached as part of a litigation settlement between various unions and the city in 2003.

*Prevailing Wage Ordinance  
June 19, 2012  
Page 2 of 2*

**RECOMMENDATION:**

Pass the ordinance ascertaining prevailing wages in the City of Naperville

**ATTACHMENTS:**

1. Ordinance
2. Exhibit A – DuPage County Prevailing Wages for June 2012
3. Exhibit B – Will County Prevailing Wages for June 2012

**ORDINANCE NO. 12 - \_\_\_\_**

**AN ORDINANCE ASCERTAINING  
PREVAILING WAGES IN THE CITY OF NAPERVILLE**

**WHEREAS**, in 1941, the General Assembly of the State of Illinois enacted the Prevailing Wage Act, 820 ILCS 130/0.01 *et seq*;

**NOW, THEREFORE, BE IT ORDAINED THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS**, in exercise of its home rule powers, as follows:

**SECTION 1:** To the extent required by the Prevailing Wage Act, the general prevailing rate of wages in this locality for laborers, mechanics and other workers engaged in construction of public works coming under the jurisdiction of the City is hereby ascertained to be, except as provided in Section 2 herein, the same as the prevailing rate of wages for construction work in the DuPage and Will County area as determined by the Department of Labor of the State of Illinois as of June of the current year, a copy of that determination being attached hereto as **Exhibit A** and **Exhibit B**. As required by the Act, any and all revisions of the prevailing rate of wages by the Illinois Department of Labor shall supersede the Department's June determination and apply to any and all public works construction undertaken by the City of Naperville. The definition of any terms appearing in this Ordinance which are also used in the Act shall be the same as in the Act.

**SECTION 2:** The definition of landscape laborer, landscape foremen, landscape driver and landscape operator for purposes of this Ordinance shall be one who performs work in connection with the general maintenance of lawns and landscape such as lawn mowing and grass cutting, tree and shrub pruning, the planting of annuals, the replacement of pre-existing shrubs and trees, grass seeding and fertilizing and herbicide application, laying sod, and the planting of

trees and shrubs. The aforementioned work shall be considered landscape maintenance work. The landscape maintenance work covered by this Ordinance shall not include landscape construction work.

**SECTION 3:** Landscape construction work is any and all work performed by a landscape laborer, landscape foreman, landscape driver and landscape operator in connection with contracts for: (1) the original installation of any landscaping materials on any new construction projects; (2) landscaping done in connection with any road, boulevard, street, highway, bridge, park, sewer or underground utility construction project; (3) lawn and landscape restoration where there has been construction involving trenches and manholes, pipes, cables and conduits; (4) the preparation and landscaping of approaches associated with construction involving shafts, tunnels, subways and sewers; (5) the landscaping of the old and new site where underpinning, lagging, bracing, propping and shoring has occurred; and (6) landscaping associated with construction involving general excavation and grading and the general landscaping of sites of wrecked structures. Landscape construction work is covered by the prevailing wage schedule promulgated by the Illinois Department of Labor, attached as **Exhibit A** and **Exhibit B**. Landscaping of all types performed by City of Naperville employees is excluded from coverage.

**SECTION 4:** Nothing in this Ordinance shall be construed to apply the general prevailing rate of wages to any work or employment except public works construction of the City of Naperville to the extent required by the Act.

**SECTION 5:** The City Clerk is hereby authorized and directed to publicly post or keep available for inspection by any interested party in the main office of the City of Naperville this

determination or any revisions of such prevailing rate of wages. A copy of this determination or of the current revised determination of prevailing rate of wages then in effect shall be attached to contract specifications as required by the Act, or, if permitted by the Act, shall be referenced in the contract specifications.

**SECTION 6:** The City Clerk is hereby authorized and directed to mail a copy of this determination to any employer and to any association of employers and to any person or association of employees who have filed their names and addresses requesting copies of any determination stating the particular rates and the particular class of workers whose wages will be affected by such rates.

**SECTION 7:** The City Clerk is hereby authorized and directed to promptly file a certified copy of this Ordinance with both the Index Division of the Secretary of State and the Department of Labor of the State of Illinois.

**SECTION 8:** The City Clerk is hereby authorized and directed to cause to be published in a newspaper of general circulation within the area notification of passage of this Ordinance. The notice of passage of this Ordinance shall mention the availability for viewing of the Ordinance in the Office of the City Clerk. The publication shall constitute notice that the determination is effective and that this is the determination of this public body.

**SECTION 9:** This Ordinance shall be effective upon its passage and approval according to law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

By: \_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph.D.  
City Clerk

# Du Page County Prevailing Wage for June 2012

(See explanation of column headings at bottom of wages)

Trade Name Trng	RG	TYP	C	Base	FRMAN	*M-F>8	OSA	OSH	H/W	Pensn	Vac
=====	==	===	=	=====	=====	=====	===	===	=====	=====	=====
ASBESTOS ABT-GEN 0.450		ALL		35.200	35.700	1.5	1.5	2.0	12.18	8.820	0.000
ASBESTOS ABT-MEC 0.720		BLD		32.850	0.000	1.5	1.5	2.0	10.82	10.66	0.000
BOILERMAKER 0.350		BLD		43.450	47.360	2.0	2.0	2.0	6.970	14.66	0.000
BRICK MASON 0.730		BLD		39.780	43.760	1.5	1.5	2.0	9.300	11.17	0.000
CARPENTER 0.530		ALL		40.770	42.770	1.5	1.5	2.0	12.34	11.25	0.000
CEMENT MASON 0.380		ALL		38.000	40.000	2.0	1.5	2.0	8.950	16.35	0.000
CERAMIC TILE FNSHER 0.580		BLD		33.600	0.000	2.0	1.5	2.0	9.200	6.680	0.000
COMMUNICATION TECH 0.610		BLD		32.650	34.750	1.5	1.5	2.0	9.250	14.46	0.400
ELECTRIC PWR EQMT OP 0.270		ALL		35.400	48.110	1.5	1.5	2.0	5.000	10.97	0.000
ELECTRIC PWR GRNDMAN 0.210		ALL		27.380	48.110	1.5	1.5	2.0	5.000	8.490	0.000
ELECTRIC PWR LINEMAN 0.320		ALL		42.390	48.110	1.5	1.5	2.0	5.000	13.14	0.000
ELECTRIC PWR TRK DRV 0.220		ALL		28.350	48.110	1.5	1.5	2.0	5.000	8.790	0.000
ELECTRICIAN 0.680		BLD		36.200	39.820	1.5	1.5	2.0	9.250	16.27	4.380
ELEVATOR CONSTRUCTOR 0.000		BLD		48.560	54.630	2.0	2.0	2.0	11.03	11.96	2.910
FENCE ERECTOR 0.250	NE	ALL		32.660	34.660	1.5	1.5	2.0	12.42	10.00	0.000
FENCE ERECTOR 0.400	W	ALL		44.950	47.200	2.0	2.0	2.0	8.890	17.69	0.000
GLAZIER 0.840		BLD		38.500	40.000	1.5	2.0	2.0	11.49	14.64	0.000
HT/FROST INSULATOR 0.720		BLD		43.800	46.300	1.5	1.5	2.0	10.82	11.86	0.000
IRON WORKER 0.350	E	ALL		40.750	42.750	2.0	2.0	2.0	13.20	19.09	0.000
IRON WORKER 0.400	W	ALL		44.950	47.200	2.0	2.0	2.0	8.890	17.69	0.000
LABORER 0.450		ALL		35.200	35.950	1.5	1.5	2.0	12.18	8.820	0.000
LATHER 0.530		ALL		40.770	42.770	1.5	1.5	2.0	12.34	11.25	0.000
MACHINIST 0.000		BLD		43.160	45.160	1.5	1.5	2.0	7.980	8.950	0.000
MARBLE FINISHERS 0.660		ALL		29.100	0.000	1.5	1.5	2.0	9.300	11.17	0.000
MARBLE MASON 0.730		BLD		39.030	42.930	1.5	1.5	2.0	9.300	11.17	0.000
MATERIAL TESTER I 0.450		ALL		25.200	0.000	1.5	1.5	2.0	12.18	8.820	0.000
MATERIALS TESTER II 0.450		ALL		30.200	0.000	1.5	1.5	2.0	12.18	8.820	0.000
MILLWRIGHT 0.530		ALL		40.770	42.770	1.5	1.5	2.0	12.34	11.25	0.000
OPERATING ENGINEER 1.250		BLD	1	45.100	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	2	43.800	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	3	41.250	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	4	39.500	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	5	48.850	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	6	46.100	49.100	2.0	2.0	2.0	14.40	9.550	1.900

OPERATING ENGINEER 1.250	BLD	7	48.100	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY	1	43.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY	2	42.750	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY	3	40.700	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY	4	39.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY	5	38.100	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY	6	46.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY	7	44.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
ORNAMNTL IRON WORKER E 0.500	ALL		40.200	42.700	2.0	2.0	2.0	12.67	15.61	0.000
ORNAMNTL IRON WORKER W 0.400	ALL		44.950	47.200	2.0	2.0	2.0	8.890	17.69	0.000
PAINTER 1.250	ALL		40.180	42.180	1.5	1.5	1.5	8.950	8.200	0.000
PAINTER SIGNS 0.000	BLD		33.920	38.090	1.5	1.5	1.5	2.600	2.710	0.000
PILEDRIIVER 0.530	ALL		40.770	42.770	1.5	1.5	2.0	12.34	11.25	0.000
PIPEFITTER 1.660	BLD		41.000	43.000	1.5	1.5	2.0	10.75	14.59	0.000
PLASTERER 0.780	BLD		39.360	41.720	1.5	1.5	2.0	9.300	11.72	0.000
PLUMBER 1.660	BLD		41.000	43.000	1.5	1.5	2.0	10.75	14.59	0.000
ROOFER 0.430	BLD		37.650	40.650	1.5	1.5	2.0	8.380	6.820	0.000
SHEETMETAL WORKER 0.780	BLD		41.660	43.660	1.5	1.5	2.0	9.540	11.57	0.000
SPRINKLER FITTER 0.450	BLD		49.200	51.200	1.5	1.5	2.0	9.750	8.200	0.000
STEEL ERECTOR 0.350	E ALL		40.750	42.750	2.0	2.0	2.0	13.20	19.09	0.000
STEEL ERECTOR 0.400	W ALL		44.950	47.200	2.0	2.0	2.0	8.890	17.69	0.000
STONE MASON 0.730	BLD		39.780	43.760	1.5	1.5	2.0	9.300	11.17	0.000
TERRAZZO FINISHER 0.430	BLD		35.150	0.000	1.5	1.5	2.0	9.200	9.070	0.000
TERRAZZO MASON 0.510	BLD		39.010	42.010	1.5	1.5	2.0	9.200	10.41	0.000
TILE MASON 0.640	BLD		40.490	44.490	2.0	1.5	2.0	9.200	8.390	0.000
TRAFFIC SAFETY WRKR 0.000	HWY		28.250	29.850	1.5	1.5	2.0	4.896	4.175	0.000
TRUCK DRIVER 0.150	ALL	1	32.550	33.100	1.5	1.5	2.0	6.500	4.350	0.000
TRUCK DRIVER 0.150	ALL	2	32.700	33.100	1.5	1.5	2.0	6.500	4.350	0.000
TRUCK DRIVER 0.150	ALL	3	32.900	33.100	1.5	1.5	2.0	6.500	4.350	0.000
TRUCK DRIVER 0.150	ALL	4	33.100	33.100	1.5	1.5	2.0	6.500	4.350	0.000
TUCKPINTER 0.790	BLD		39.950	40.950	1.5	1.5	2.0	8.180	10.57	0.000

Legend: RG (Region)  
TYP (Trade Type - All,Highway,Building,Floating,Oil & Chip,Rivers)  
C (Class)  
Base (Base Wage Rate)  
FRMAN (Foreman Rate)  
M-F>8 (OT required for any hour greater than 8 worked each day, Mon through Fri.  
OSA (Overtime (OT) is required for every hour worked on Saturday)  
OSH (Overtime is required for every hour worked on Sunday and Holidays)  
H/W (Health & Welfare Insurance)  
Pensn (Pension)  
Vac (Vacation)  
Trng (Training)

## Explanations

## DUPAGE COUNTY

## IRON WORKERS AND FENCE ERECTOR (WEST) - West of Route 53.

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day and Veterans Day in some classifications/counties. Generally, any of these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration. If in doubt, please check with IDOL.

## EXPLANATION OF CLASSES

ASBESTOS - GENERAL - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

ASBESTOS - MECHANICAL - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

TRAFFIC SAFETY - work associated with barricades, horses and drums used to reduce lane usage on highway work, the installation and removal of temporary lane markings, and the installation and removal of temporary road signs.

## CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings, swimming pools, and all other places where tile is to form a finished interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation, installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

## COMMUNICATIONS TECHNICIAN

Low voltage installation, maintenance and removal of telecommunication facilities (voice, sound, data and video) including telephone and data inside wire, interconnect, terminal equipment, central offices, PABX, fiber optic cable and equipment, micro waves, V-SAT, bypass, CATV, WAN (wide area networks), LAN (local area networks), and ISDN (integrated system digital network), pulling of wire in raceways, but not the installation of raceways.

## MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters

cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes for any of the aforementioned materials and which are used on interior and exterior which are installed in a similar manner.

MATERIAL TESTER I: Hand coring and drilling for testing of materials; field inspection of uncured concrete and asphalt.

MATERIAL TESTER II: Field inspection of welds, structural steel, fireproofing, masonry, soil, facade, reinforcing steel, formwork, cured concrete, and concrete and asphalt batch plants; adjusting proportions of bituminous mixtures.

#### OPERATING ENGINEER - BUILDING

Class 1. Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson Attachment; Batch Plant; Benoto (requires Two Engineers); Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Conveyor (Truck Mounted); Concrete Paver Over 27E cu. ft; Concrete Paver 27E cu. ft. and Under; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, One, Two and Three Drum; Hoists, Two Tugger One Floor; Hydraulic Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Lubrication Technician; Manipulators; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes: Squeeze Cretes-Screw Type Pumps; Gypsum Bulker and Pump; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-Form Paver; Straddle Buggies; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Boilers; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Forklift Trucks; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, Inside Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Rock Drill (Self-Propelled); Rock Drill (Truck Mounted); Rollers, All; Steam Generators; Tractors, All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators; Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Low Boys; Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches; Bobcats (up to and including ¾ cu yd.) .

Class 4. Bobcats and/or other Skid Steer Loaders (other than bobcats up to and including ¾ cu yd.); Oilers; and Brick Forklift.

Class 5. Assistant Craft Foreman.

Class 6. Gradall .

Class 7. Mechanics.

#### OPERATING ENGINEERS - HIGHWAY CONSTRUCTION

Class 1. Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines: ABG Paver; Backhoes with Caisson Attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe

Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Tower Cranes of all types; Creter Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dowell Machine with Air Compressor; Dredges; Formless Curb and Gutter Machine; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Truck Mounted; Hoists, One, Two and Three Drum; Hydraulic Backhoes; Backhoes with shear attachments; Lubrication Technician; Manipulators; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Rock/Track Tamper; Roto Mill Grinder; Slip-Form Paver; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic Telescoping Form (Tunnel); Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Trenching Machine; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole Drills (Tunnel Shaft); Underground Boring and/or Mining Machines 5 ft. in diameter and over tunnel, etc; Underground Boring and/or Mining Machines under 5 ft. in diameter; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (Less than 1 cu. yd. Backhoe Bucket or over or with attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 7S Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; All Locomotives, Dinky; Off-Road Hauling Units (including articulating)/2 ton capacity or more; Non Self-Loading Ejection Dump; Pump Cretes: Squeeze Cretes - Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Scoops - Tractor Drawn; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper; Scraper - Prime Mover in Tandem (Regardless of Size); Tank Car Heater; Tractors, Push, Pulling Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Fireman on Boilers; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Low Boys; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than Asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper-Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic Power Unit (Pile Driving, Extracting, or Drilling); Hydro- Blaster; Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Tractaire; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. Bobcats (all); Brick Forklifts; Oilers.

Class 6. Field Mechanics and Field Welders

Class 7. Gradall and machines of like nature.

#### TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors; Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics Helpers and Greasers; Oil Distributors 2-man operation; Pavement Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors; Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man operation; Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters; Unskilled Dumpman; and Truck Drivers hauling warning lights, barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards;

Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or Turntrailers when pulling other than self-loading equipment or similar equipment under 16 cubic yards; Mixer Trucks under 7 yards; Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turntrailers or turnapulls when pulling other than self-loading equipment or similar equipment over 16 cubic yards; Explosives and/or Fission Material Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit; Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole and Expandable Trailers hauling material over 50 feet long; Slurry trucks, 1-man operation; Winch trucks, 3 axles or more; Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted crane trucks with hoist and accessories; Foreman; Master Mechanic; Self-loading equipment like P.B. and trucks with scoops on the front.

#### TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials that may be used by the Mosaic Terrazzo Mechanic, and the mixing, grinding, grouting, cleaning and sealing of all Marble, Mosaic, and Terrazzo work, floors, base, stairs, and wainscoting by hand or machine, and in addition, assisting and aiding Marble, Masonic, and Terrazzo Mechanics.

#### Other Classifications of Work:

For definitions of classifications not otherwise set out, the Department generally has on file such definitions which are available. If a task to be performed is not subject to one of the classifications of pay set out, the Department will upon being contacted state which neighboring county has such a classification and provide such rate, such rate being deemed to exist by reference in this document. If no neighboring county rate applies to the task, the Department shall undertake a special determination, such special determination being then deemed to have existed under this determination. If a project requires these, or any classification not listed, please contact IDOL at 217-782-1710 for wage rates or clarifications.

#### LANDSCAPING

Landscaping work falls under the existing classifications for laborer, operating engineer and truck driver. The work performed by landscape plantsman and landscape laborer is covered by the existing classification of laborer. The work performed by landscape operators (regardless of equipment used or its size) is covered by the classifications of operating engineer. The work performed by landscape truck drivers (regardless of size of truck driven) is covered by the classifications of truck driver.

# Will County Prevailing Wage for June 2012

(See explanation of column headings at bottom of wages)

Trade Name Trng	RG	TYP	C	Base	FRMAN	*M-F>8	OSA	OSH	H/W	Pensn	Vac
=====	==	===	=	=====	=====	=====	===	===	=====	=====	=====
ASBESTOS ABT-GEN 0.450		ALL		35.200	35.700	1.5	1.5	2.0	12.18	8.820	0.000
ASBESTOS ABT-MEC 0.720		BLD		32.850	0.000	1.5	1.5	2.0	10.82	10.66	0.000
BOILERMAKER 0.350		BLD		43.450	47.360	2.0	2.0	2.0	6.970	14.66	0.000
BRICK MASON 0.730		BLD		39.780	43.760	1.5	1.5	2.0	9.300	11.17	0.000
CARPENTER 0.530		ALL		40.770	44.850	2.0	2.0	2.0	10.09	15.82	0.000
CEMENT MASON 0.250		ALL		41.000	43.000	2.0	2.0	2.0	9.250	13.18	0.000
CERAMIC TILE FNSHER 0.580		BLD		33.600	0.000	2.0	1.5	2.0	9.200	6.680	0.000
COMMUNICATION TECH 0.320		BLD		32.200	33.700	1.5	1.5	2.0	11.62	10.29	0.000
ELECTRIC PWR EQMT OP 0.320		ALL		41.850	46.850	1.5	1.5	2.0	10.27	13.01	0.000
ELECTRIC PWR GRNDMAN 0.240		ALL		32.640	46.850	1.5	1.5	2.0	8.000	10.12	0.000
ELECTRIC PWR LINEMAN 0.320		ALL		41.850	46.850	1.5	1.5	2.0	10.27	13.01	0.000
ELECTRICIAN 1.200		BLD		39.500	43.060	1.5	1.5	2.0	12.47	14.50	0.000
ELEVATOR CONSTRUCTOR 0.000		BLD		48.560	54.630	2.0	2.0	2.0	11.03	11.96	2.910
GLAZIER 0.840		BLD		38.500	40.000	1.5	2.0	2.0	11.49	14.64	0.000
HT/FROST INSULATOR 0.720		BLD		43.800	46.300	1.5	1.5	2.0	10.82	11.86	0.000
IRON WORKER 0.700		ALL		39.000	40.000	2.0	2.0	2.0	8.890	19.77	0.000
LABORER 0.450		ALL		35.200	35.950	1.5	1.5	2.0	12.18	8.820	0.000
LATHER 0.530		ALL		40.770	44.850	2.0	2.0	2.0	10.09	15.82	0.000
MACHINIST 0.000		BLD		43.160	45.160	1.5	1.5	2.0	7.980	8.950	0.000
MARBLE FINISHERS 0.660		ALL		29.100	0.000	1.5	1.5	2.0	9.300	11.17	0.000
MARBLE MASON 0.730		BLD		39.030	42.930	1.5	1.5	2.0	9.300	11.17	0.000
MATERIAL TESTER I 0.450		ALL		25.200	0.000	1.5	1.5	2.0	12.18	8.820	0.000
MATERIALS TESTER II 0.450		ALL		30.200	0.000	1.5	1.5	2.0	12.18	8.820	0.000
MILLWRIGHT 0.530		ALL		40.770	44.850	2.0	2.0	2.0	10.09	15.82	0.000
OPERATING ENGINEER 1.250		BLD	1	45.100	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	2	43.800	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	3	41.250	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	4	39.500	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	5	48.850	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	6	46.100	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250		BLD	7	48.100	49.100	2.0	2.0	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.150		FLT	1	51.300	51.300	1.5	1.5	2.0	11.70	8.050	1.900
OPERATING ENGINEER 1.150		FLT	2	49.800	51.300	1.5	1.5	2.0	11.70	8.050	1.900
OPERATING ENGINEER 1.150		FLT	3	44.350	51.300	1.5	1.5	2.0	11.70	8.050	1.900

OPERATING ENGINEER 1.150	FLT 4	36.850	51.300	1.5	1.5	2.0	11.70	8.050	1.900
OPERATING ENGINEER 1.250	HWY 1	43.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY 2	42.750	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY 3	40.700	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY 4	39.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY 5	38.100	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY 6	46.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
OPERATING ENGINEER 1.250	HWY 7	44.300	47.300	1.5	1.5	2.0	14.40	9.550	1.900
PAINTER 0.770	ALL	38.000	42.750	1.5	1.5	1.5	9.750	11.10	0.000
PAINTER SIGNS 0.000	BLD	33.920	38.090	1.5	1.5	1.5	2.600	2.710	0.000
PILEDRIIVER 0.530	ALL	40.770	44.850	2.0	2.0	2.0	10.09	15.82	0.000
PIPEFITTER 1.820	BLD	44.050	47.050	1.5	1.5	2.0	8.460	13.85	0.000
PLASTERER 0.550	BLD	39.250	41.610	1.5	1.5	2.0	10.60	10.69	0.000
PLUMBER 1.310	BLD	44.000	46.000	1.5	1.5	2.0	10.65	11.00	0.000
ROOFER 0.430	BLD	37.650	40.650	1.5	1.5	2.0	8.380	6.820	0.000
SHEETMETAL WORKER 0.780	BLD	41.660	43.660	1.5	1.5	2.0	9.540	11.57	0.000
SPRINKLER FITTER 0.450	BLD	49.200	51.200	1.5	1.5	2.0	9.750	8.200	0.000
STONE MASON 0.730	BLD	39.780	43.760	1.5	1.5	2.0	9.300	11.17	0.000
TERRAZZO FINISHER 0.430	BLD	35.150	0.000	1.5	1.5	2.0	9.200	9.070	0.000
TERRAZZO MASON 0.510	BLD	39.010	42.010	1.5	1.5	2.0	9.200	10.41	0.000
TILE MASON 0.640	BLD	40.490	44.490	2.0	1.5	2.0	9.200	8.390	0.000
TRAFFIC SAFETY WRKR 0.000	HWY	28.250	29.850	1.5	1.5	2.0	4.896	4.175	0.000
TRUCK DRIVER 0.250	ALL 1	35.650	36.200	1.5	1.5	2.0	6.670	4.725	0.000
TRUCK DRIVER 0.250	ALL 2	35.800	36.200	1.5	1.5	2.0	6.670	4.725	0.000
TRUCK DRIVER 0.250	ALL 3	36.000	36.200	1.5	1.5	2.0	6.670	4.725	0.000
TRUCK DRIVER 0.250	ALL 4	36.200	36.200	1.5	1.5	2.0	6.670	4.725	0.000
TUCKPINTER 0.790	BLD	39.950	40.950	1.5	1.5	2.0	8.180	10.57	0.000

Legend: RG (Region)  
TYP (Trade Type - All,Highway,Building,Floating,Oil & Chip,Rivers)  
C (Class)  
Base (Base Wage Rate)  
FRMAN (Foreman Rate)  
M-F>8 (OT required for any hour greater than 8 worked each day, Mon through Fri.  
OSA (Overtime (OT) is required for every hour worked on Saturday)  
OSH (Overtime is required for every hour worked on Sunday and Holidays)  
H/W (Health & Welfare Insurance)  
Pensn (Pension)  
Vac (Vacation)  
Trng (Training)

## Explanations

WILL COUNTY

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day and Veterans Day in some classifications/counties. Generally, any of

these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration. If in doubt, please check with IDOL.

#### EXPLANATION OF CLASSES

ASBESTOS - GENERAL - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

ASBESTOS - MECHANICAL - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

#### CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings, swimming pools, and all other places where tile is to form a finished interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation, installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

#### COMMUNICATIONS TECHNICIAN

Installation, operation, inspection, maintenance, repair and service of radio, television, recording, voice, sound and vision production and reproduction, telephone and telephone interconnect, facsimile, equipment and appliances used for domestic, commercial, educational and entertainment purposes, pulling of wire through conduit but not the installation of conduit.

#### MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes

for any of the aforementioned materials and which are used on interior and exterior which are installed in a similar manner.

MATERIAL TESTER I: Hand coring and drilling for testing of materials; field inspection of uncured concrete and asphalt.

MATERIAL TESTER II: Field inspection of welds, structural steel, fireproofing, masonry, soil, facade, reinforcing steel, formwork, cured concrete, and concrete and asphalt batch plants; adjusting proportions of bituminous mixtures.

#### OPERATING ENGINEER - BUILDING

Class 1. Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson Attachment; Batch Plant; Benoto (requires Two Engineers); Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Conveyor (Truck Mounted); Concrete Paver Over 27E cu. ft.; Concrete Paver 27E cu. ft. and Under; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, One, Two and Three Drum; Hoists, Two Tugger One Floor; Hydraulic Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Lubrication Technician; Manipulators; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes: Squeeze Cretes-Screw Type Pumps; Gypsum Bulker and Pump; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-Form Paver; Straddle Buggies; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Boilers; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Forklift Trucks; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, Inside Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Rock Drill (Self-Propelled); Rock Drill (Truck Mounted); Rollers, All; Steam Generators; Tractors, All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators; Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Low Boys; Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches; Bobcats (up to and including 3/4 cu yd.) .

Class 4. Bobcats and/or other Skid Steer Loaders (other than bobcats up to and including 3/4 cu yd.); Oilers; and Brick Forklift.

Class 5. Assistant Craft Foreman.

Class 6. Gradall .

Class 7. Mechanics.

#### OPERATING ENGINEERS - HIGHWAY CONSTRUCTION

Class 1. Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines: ABG Paver; Backhoes with Caisson Attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Tower Cranes of all types; Creter Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dowell Machine with Air Compressor; Dredges; Formless Curb and Gutter Machine; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Truck Mounted; Hoists, One, Two and Three Drum; Hydraulic Backhoes; Backhoes with shear attachments; Lubrication Technician; Manipulators; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Rock/Track Tamper; Roto Mill Grinder; Slip-Form Paver; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic

Telescoping Form (Tunnel); Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Trenching Machine; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole Drills (Tunnel Shaft); Underground Boring and/or Mining Machines 5 ft. in diameter and over tunnel, etc; Underground Boring and/or Mining Machines under 5 ft. in diameter; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (Less than 1 cu. yd. Backhoe Bucket or over or with attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 7S Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; All Locomotives, Dinky; Off-Road Hauling Units (including articulating)/2 ton capacity or more; Non Self-Loading Ejection Dump; Pump Cretes: Squeeze Cretes - Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Scoops - Tractor Drawn; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper; Scraper - Prime Mover in Tandem (Regardless of Size); Tank Car Heater; Tractors, Push, Pulling Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Fireman on Boilers; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Low Boys; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than Asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper-Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic Power Unit (Pile Driving, Extracting, or Drilling); Hydro- Blaster; Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Tractaire; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. Bobcats (all); Brick Forklifts; Oilers.

Class 6. Field Mechanics and Field Welders.

Class 7. Gradall and machines of like nature.

#### OPERATING ENGINEER - FLOATING

Class 1. Craft Foreman; Diver/Wet Tender; and Engineer (hydraulic dredge).

Class 2. Crane/Backhoe Operator; 70 Ton or over Tug Operator; Mechanic/Welder; Assistant Engineer (Hydraulic Dredge); Leverman (Hydraulic Dredge); Diver Tender; Friction and Lattice Boom Cranes.

Class 3. Deck Equipment Operator, Machineryman; Maintenance of Crane (over 50 ton capacity); Tug/Launch Operator; Loader/Dozer and like equipment on Barge; and Deck Machinery, etc.

Class 4. Deck Equipment Operator, Machineryman/Fireman (4 Equipment Units or More); Off Road Trucks (2 ton capacity or more); Deck Hand, Tug Engineer, Crane Maintenance 50 Ton Capacity and Under or Backhoe Weighing 115,000 pounds or less; and Assistant Tug Operator.

TRAFFIC SAFETY - work associated with barricades, horses and drums used to reduce lane usage on highway work, the installation and removal of temporary lane markings, and the installation and removal of temporary road signs.

#### TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors; Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics

Helpers and Greasers; Oil Distributors 2-man operation; Pavement Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors; Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man operation; Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters; Unskilled Dumpman; and Truck Drivers hauling warning lights, barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or Turnatrailers when pulling other than self-loading equipment or similar equipment under 16 cubic yards; Mixer Trucks under 7 yards; Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnatrailers or turnapulls when pulling other than self-loading equipment or similar equipment over 16 cubic yards; Explosives and/or Fission Material Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit; Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole and Expandable Trailers hauling material over 50 feet long; Slurry trucks, 1-man operation; Winch trucks, 3 axles or more; Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted crane trucks with hoist and accessories; Foreman; Master Mechanic; Self-loading equipment like P.B. and trucks with scoops on the front.

#### TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials that may be used by the Mosaic Terrazzo Mechanic, and the mixing, grinding, grouting, cleaning and sealing of all Marble, Mosaic, and Terrazzo work, floors, base, stairs, and wainscoting by hand or machine, and in addition, assisting and aiding Marble, Masonic, and Terrazzo Mechanics.

#### Other Classifications of Work:

For definitions of classifications not otherwise set out, the Department generally has on file such definitions which are available. If a task to be performed is not subject to one of the classifications of pay set out, the Department will upon being contacted state which neighboring county has such a classification and provide such rate, such rate being deemed to exist by reference in this document. If no neighboring county rate applies to the task, the Department shall undertake a special determination, such special determination being then deemed to have existed under this determination. If a project requires these, or any classification not listed, please contact IDOL at 217-782-1710 for wage rates or clarifications.

#### LANDSCAPING

Landscaping work falls under the existing classifications for laborer, operating engineer and truck driver. The work performed by landscape plantsman and landscape laborer is covered by the existing classification of laborer. The work performed by landscape operators (regardless of equipment used or its size) is covered by the classifications of operating engineer. The work performed by landscape truck drivers (regardless of size of truck driven) is covered by the classifications of truck driver.



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Liquor Code text amendment increasing the Downtown Late Night Permit limit from seventeen (17) to eighteen (18).

**TYPE OF VOTE:** Waiver of first reading requires 6 positive votes.

**ACTION REQUESTED:** Waive the first reading and pass the ordinance amending Title 3 (Business and License Regulations), Chapter 3 (Liquor and Tobacco Control), and Section 3-3-13 (Number of Liquor Licenses and Permits Issued) of the Naperville Municipal Code increasing the Downtown Late Night Permit limit from seventeen (17) to eighteen (18).

**BOARD/COMMISSION REVIEW:** The Liquor Control Commission unanimously supports the passage of this ordinance.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
N/A		

**DEPARTMENT:** Mayor's Office

**SUBMITTED BY:** A. George Pradel, Mayor/Local Liquor Commissioner

**FISCAL IMPACT:**  
A two hundred dollar (\$200.00) Late Night Permit fee.

**BACKGROUND:**

On June 5, 2012, City Council passed an ordinance limiting the number of Late Night Permits issued in the Downtown at seventeen (17). Any increase to that limit requires City Council approval. On May 21, 2012, Jackson Avenue Pub appeared before the Liquor Concept Committee to provide an overview of its new business proposal located at 7 Jackson Avenue #1. This location was previously occupied by Grumpy Bulldog, who held a Class – B Restaurant and Tavern liquor license and which would have been eligible for a Late Night Permit had its lease been renewed in March 2012. Jackson Avenue Pub requested a Class-B Restaurant and Tavern license, as well as a Late Night Permit. The Liquor Concept Committee recommended to the

*Downtown Late Night Permit Limit Increase Agenda Memo*

*June 19, 2012*

*Page 2 of 2*

Liquor Commissioner that Jackson Avenue Pub receive a Class – B Restaurant and Tavern liquor license application and appear before the Local Liquor Commission to present its business concept for its request for a Late Night Permit. The Liquor Commission reviewed Jackson Avenue’s request for a Late Night Permit at its June 7, 2012, meeting and unanimously supports an increase in the Downtown Late Night Permits limit from seventeen (17) to eighteen (18) in order to provide Jackson Avenue Pub with a Late Night Permit.

**DISCUSSION:**

The Liquor Control Commission recommends an increase in the Downtown Late Night Permit limit. In support of its recommendation, the Local Liquor Commission reviewed Jackson Avenues’ business concept, land use in the downtown area, and police services. Jackson Avenue Pub is seeking an increase in the Downtown Late Night Permit limit in order to serve alcoholic beverages until 1:00 A.M. Monday through Friday, and 2:00 A.M. on Saturday and Sunday. Jackson Avenue Pub intends to occupy the 7 Jackson Avenue location formerly occupied by the Grumpy Bulldog. Representatives from Jackson Avenue Pub are making cosmetic changes to the interior of the premises only. A small customer-service bar will remain and table and chairs will continue to occupy the general restaurant area. It has a full kitchen and intends to provide lunch and dinner food service. The menu will consist of upscale hamburgers, salads, and a small entre selection. It meets the Class- B Restaurant and Tavern liquor license requirements.

Per the downtown plan, “eating establishments most beneficial to the 24-hour downtown environment will provide lunch and dinner options, thus minimizing storefronts which are closed during the daytime hours.” In addition, the plan calls out that special attention should be given to that portion of Jackson Street located east of Main Street to increase shopping and pedestrian interest. Jackson Avenue Pub has the ability to provide a benefit to the Downtown by drawing more pedestrian traffic to this area. Additionally, Naperville Police Department opined that the geographic location of Jackson Avenue Pub, its relatively small 75 person capacity limit, its close proximity to other liquor establishments, and its potential replacement of a downtown liquor establishment, would not modify the Police Department’s existing police practices or levels of service in the downtown.

**RECOMMENDATION:**

Waive the first reading and pass the ordinance amending Title 3 (Business and License Regulations), Chapter 3 (Liquor and Tobacco Control) and Section 3-3-13 (Number of Liquor Licenses and Permits Issued) of the Naperville Municipal Code increasing the Downtown Late Night Permit limit from seventeen (17) to eighteen (18).

**ATTACHMENTS:**

1. Ordinance amending section 3-3-13 of the Naperville Municipal Code.

ORDINANCE NO. 12- \_\_\_\_\_

**AN ORDINANCE AMENDING TITLE 3 (BUSINESS AND LICENSE REGULATIONS), CHAPTER 3 (LIQUOR AND TOBACCO CONTROL), AND SECTION 13 (NUMBER OF LIQUOR LICENSES AND PERMITS ISSUED) OF THE NAPERVILLE MUNICIPAL CODE**

**BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers that:**

**SECTION 1:** Title 3 (Business and License Regulations), Chapter 3 (Liquor and Tobacco Control), Section 13 (Number of Liquor Licenses and Permits Issued) of the Naperville Municipal Code is hereby amended by adding the following underlined words and deleting the stricken language as follows:

**3-3-13: NUMBER OF LIQUOR LICENSES AND PERMITS ISSUED:**

All liquor licenses issued hereunder shall be designated by the classification letter herein provided. There shall be such number of liquor licenses as may be from time to time provided. There may be in force at any time no more than:

1. through 7. \* \* \*

7.1. The number of Late Night Permits which are issued for premises located in the Downtown as defined in this Chapter shall be limited to a total of ~~seventeen~~ eighteen (178) permits. The total number of Late Night Permits located in the Downtown shall automatically reduce by one (1) on the date that such permit is revoked, surrendered, expired without renewal, or abandoned.

7.2. \* \* \*

**SECTION 2:** This ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

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A. George Pradel  
Mayor

ATTEST:

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Pam LaFeber, Ph.D.  
City Clerk



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Electric Vehicle Charging Station Ordinance

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**

Pass the ordinance to amend section 11-2A to include language concerning electric vehicle charging stations on public property and table 11-2B-2 to include an electric vehicle charging station in the Van Buren 1 Lot.

**BOARD/COMMISSION REVIEW:**

The Transportation Advisory Board (TAB) recommended approval of the installation of an electric vehicle charging station in the Van Buren 1 Lot at their meeting on March 3, 2012. (8-0)

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action

**DEPARTMENT:** TED Business Group

**SUBMITTED BY:** Caitlin Marcon, Project Manager

**FISCAL IMPACT:**

N/A

**BACKGROUND:**

In 2011, the City of Naperville obtained three electric vehicle (EV) charging stations, which were received as part of the Smart Grid Initiative. Two of the EV charging stations will be installed at the Electric Service Center in order to test and monitor the impacts of EV charging on the electric utility system as well as to test the associated billing in upcoming EV utility rates. These two stations will not be available to the public. The third unit is planned to be installed at a location for public use. In order to determine the location for the public unit and develop a policy and long-term plan for future stations, a working group was formed with representatives from DPU-E, TED and DPW.

**DISCUSSION:**

*Electric Vehicle Charging Station*

*June 19, 2012*

*Page 2 of 3*

As a team, the working group determined downtown Naperville is the preferred location for the public charging station, the first officially sanctioned by the City. For this class of charger (Level 2), it takes approximately 3-4 hours to partially recharge a vehicle; the downtown is seen as an area where an electric vehicle owner would be able to plug into the charging station for a few hours while shopping and/or dining. In addition, installing the EV charging station in the downtown would also serve as a great promotional opportunity for downtown businesses and the Downtown Naperville Alliance (DNA).

After a review of various options in the downtown Naperville area, the Van Buren surface lot is the location proposed for the first installation. This location provides the best visibility of the charging station along with the appropriate utilities and space available to make installation relatively simple. A map of the proposed location for the EV charging station is attached. The attached ordinance will restrict the use of the parking space to use by those who are actively charging their vehicle. DPU-E has agreed to provide the electric charging services free for the first year to allow for data collection and marketability of the space.

Funding for the installation of this station will be provided by DPU-E. Installation is estimated to take approximately 1.5 months following approval of the project by the City Council. This first installation will be used as a pilot project and the unit's popularity will be gauged based on customer usage. Once data has been collected on the initial station, it will be used to determine if additional public charging stations should be considered.

Prior to bringing a formal recommendation to the City Council for approval, staff sought input from the DNA regarding the proposed installation of the public station in the Van Buren surface lot. The DNA was supportive of the proposed location and excited about the marketing opportunities for an electric vehicle charging station in the downtown.

*Transportation Advisory Board Recommendation*

The Transportation Advisory Board considered the installation of an electric vehicle charging station in the Van Buren 1 parking lot at their March 3, 2012 meeting. There was no public testimony given at the meeting. Chairman Wencel questioned enforcement of the parking space. Staff noted that the City will prepare an ordinance to address enforcement and signage will be installed to notify the public accordingly. Board Member Benson suggested electric vehicle users conduct research prior to their trip; therefore, visibility of the charging station may not be a significant consideration. Board Member Benson questioned the potential for a more long-term parking space in the Van Buren parking deck. Staff responded that based on limited visibility and installation cost, the parking deck is not recommended at this time. Staff noted that the Downtown Naperville Alliance supports the proposed location. Board Member McIntosh questioned the City's ability to tow vehicles parked illegally at the electric vehicle charging station. Staff noted that the City will prepare an ordinance, which will provide the City with the ability to tow. TAB recommended approval of the installation of an electric vehicle charging station in the Van Buren 1 parking lot 8-0.

**RECOMMENDATION:**

*Electric Vehicle Charging Station*

*June 19, 2012*

*Page 3 of 3*

Pass the ordinance to amend section 11-2A to include language concerning Electric Vehicle charging stations on public property and table 11-2B-2 to include an Electric Vehicle Charging Station in the Van Buren 1 Lot.

**ATTACHMENTS:**

- 1.EVCS CC- Ordinance
- 2.EVCS location map



**ELECTRIC VEHICLE  
PARKING SPACE:**

Any marked parking space that identifies the use to be exclusively for the parking of an Electric Vehicle.

**NON-ELECTRIC  
VEHICLE:**

Any motor vehicle that does not meet the definition of Electric Vehicle.

**2. CHARGING:**

- 2.1. Electric Vehicle Charging Stations and Electric Vehicle Parking Spaces are reserved for charging Electric Vehicles only.
- 2.2. The use of an Electric Vehicle Parking Space shall be limited to Electric Vehicles for no more than three (3) hours of continuous charging per day. For purposes of this subsection, "charging" means that an Electric Vehicle is connected to an Electric Vehicle Charging Station.
- 2.3. No person shall park any Non-Electric Vehicle in an Electric Vehicle Parking Space. A Non-Electric Vehicle parked in an Electric Vehicle Parking Space is subject to a fine and tow, per Section 11-2A-14 of this Chapter.
- 2.4. Electric Vehicles may park in any space designated for public parking, subject to the same restrictions that apply to Non-Electric Vehicles.

**3. PERMITTED LOCATIONS:**

The location of Electric Vehicle Charging Stations and Electric Vehicle Parking Spaces are subject to approval by the City Engineer.

**4. USAGE FEES:**

The City may charge a usage fee for Electrical Vehicle Charging Station use.

**5. SIGNAGE:**

- 5.1 Electric Vehicle Parking Spaces shall be posted with signage indicating the space is to be used exclusively for Electric Vehicle charging purposes and that violators are subject to a fine and tow of the offending vehicle.
- 5.2 Electric Vehicle Parking Spaces shall be posted with signage indicating the maintenance number for the equipment.
- 5.3 Electric Vehicle Parking Spaces shall be posted with the following information: (a) voltage and amperage levels; (b) time limitation; (c) usage fee; (d) user instructions related to the Electrical Vehicle Charging Station; (e) disclaimer that the City of Naperville is not liable or responsible for the failure to operate or for any damage caused by an Electrical Vehicle Charging Station.

**6. DISCLAIMER:**

The City of Naperville is not liable or responsible for the failure to operate or for any damage caused by an Electrical Vehicle Charging Station.

**SECTION 2:** Title 11 (Motor Vehicles and Traffic), Chapter 2 (Parking), Article B (Municipal Parking Lots and Parking Regulations), Section 2 (Municipal Parking Lots) of the Naperville Municipal Code is hereby amended by adding the following underlined words and deleting the stricken language as follows:

**11-2B-2: MUNICIPAL PARKING LOTS**

Parking in municipal parking lots shall only be permitted in accordance with Table 11-2B-2 of this Section, and the provisions of this Article:

TABLE 11-2B-2 MUNICIPAL PARKING LOTS

Location	30 Minute Parking	1 Hour Parking	2 Hour Parking	3 Hour Parking	All Day Parking	Handicapped Parking	Reserved Parking	<u>Electric Vehicle Parking Space</u>	Subtotal By Location
<b>Court Place / Concert Lane through Nichols Library</b>					*	*	*	*	
Van Buren lot 1	16			<del>87</del> 86		5		<u>1</u>	108
<b>Paw Paw parking lot / Concert Lane through Roof Level</b>					*	*	*	*	
Off Street Total spaced	22	35	105	<del>635</del> 634	771	52	64	<u>1</u>	1,684

**1. through 4.3.1.** \* \* \* \*

**SECTION 3:** This ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

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A. George Pradel  
Mayor

ATTEST:

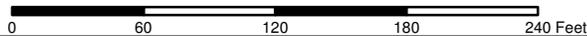
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Pam LaFeber, Ph.D.  
City Clerk

# City of Naperville Electric Vehicle Charging Station



Transportation, Engineering and  
Development Business Group  
www.naperville.il.us  
February 2012



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# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Jurisdictional Transfers between the City of Naperville and DuPage County for Naper Boulevard, Naperville-Wheaton Road, Bauer Road and West Street

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**TYPE OF VOTE:** Simple Majority

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**ACTION REQUESTED:**

- A. Pass the ordinance rescinding Ordinance 12-008 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Naper Boulevard from Ridgeland Avenue to Ogden Avenue.
  - B. Pass the ordinance rescinding Ordinance 12-009 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Naperville-Wheaton Road from Ridgeland Avenue to Ogden Avenue.
  - C. Pass the ordinance rescinding Ordinance 12-010 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of West Street from Bauer Road to Mill Street.
  - D. Pass the ordinance rescinding Ordinance 12-011 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Bauer Road from Washington Street to West Street.
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**BOARD/COMMISSION REVIEW:**

N/A

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**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
2/7/12	I11	Passed Ordinances 12-008, 12-009, 12-010 and 12-011 approving an agreement between the City of Naperville and DuPage County for transfer of jurisdiction for four separate sections of roadways.

**DEPARTMENT:** TED Business Group

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**SUBMITTED BY:** William J. Novack, City Engineer/Engineering Services Team Leader

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**FISCAL IMPACT:**

None

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**BACKGROUND:**

On February 7, 2012 the City of Naperville passed Ordinances 12-008 through 12-011 approving an agreement between the City and DuPage County for the transfer of roadway jurisdiction of four separate sections of roadway along with a resolution for the city to accept a deed for a right-of-way triangle at the intersection of Bauer Road and West Street.

**DISCUSSION:**

When processing the ordinance paperwork with DuPage County it was brought to our attention that the exact wording of the four ordinances was not in a format acceptable to the Illinois Department of Transportation (IDOT). DuPage indicated, and IDOT has confirmed, that the jurisdictional transfers will not be processed until the ordinance wording is corrected.

Another error that was discovered was the direction of the transfer for Naperville-Wheaton Road was not correct. I had incorrectly written the ordinance transferring jurisdiction from the city to the county when in actuality it is the opposite way; the county is transferring jurisdiction from them to the city. I knew that was the case, but had incorrectly written the opposite.

Attached are ordinances rescinding the ordinances passed in February and approving the jurisdictional transfers in a format acceptable to both IDOT and DuPage County. The resolution for the acceptance of the right-of-way deed at the intersection of Bauer Road and West Street does not need to be redone since IDOT does not need to process that transfer.

**RECOMMENDATION:**

- A. Pass the ordinance rescinding Ordinance 12-008 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Naper Boulevard from Ridgeland Avenue to Ogden Avenue.
- B. Pass the ordinance rescinding Ordinance 12-009 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Naperville-Wheaton Road from Ridgeland Avenue to Ogden Avenue.
- C. Pass the ordinance rescinding Ordinance 12-010 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of West Street from Bauer Road to Mill Street.
- D. Pass the ordinance rescinding Ordinance 12-011 and approving an agreement between the City of Naperville and DuPage County, Illinois for the Transfer of Roadway Jurisdiction of Bauer Road from Washington Street to West Street.

**ATTACHMENTS:**

- 1. Ordinance for Naper Boulevard
- 2. IDOT Agreement for Naper Boulevard
- 3. Location Map for Naper Boulevard
- 4. Ordinance for Naper-Wheaton Road
- 5. IDOT Agreement for Naper-Wheaton Road
- 6. Location Map for Naper-Wheaton Road

*Jurisdictional Transfers Between the City of Naperville and DuPage County*

*June 19, 2012*

*Page 3 of 3*

7. Ordinance for West Street
8. IDOT Agreement for West Street
9. Location Map for West Street
10. Ordinance for Bauer Road
11. IDOT Agreement for Bauer Road
12. Location Map for Bauer Road

**ORDINANCE NO. 12 - \_\_\_\_\_**

**AN ORDINANCE RESCINDING ORDINANCE NO. 12-008  
AND APPROVING AN AGREEMENT  
BETWEEN THE CITY OF NAPERVILLE AND DUPAGE COUNTY, ILLINOIS  
FOR THE TRANSFER OF HIGHWAY JURISDICTION  
OF NAPER BOULEVARD - RIDGELAND AVENUE TO OGDEN AVENUE**

**WHEREAS**, the City of Naperville has jurisdiction of Naper Boulevard from Ridgeland Avenue to Ogden Avenue; and

**WHEREAS**, the City of Naperville and DuPage County previously entered into an agreement for the Construction of Naper Boulevard from the Tollway to Maple Avenue dated June 8, 1982 (hereinafter “Agreement”) which Agreement set forth the planned highway jurisdiction of Naper Boulevard from Ridgeland Avenue to Ogden Avenue as well as other segments of Naper Boulevard.

**WHEREAS**, the City of Naperville finds that it is appropriate to complete the transfer of highway jurisdictional authority contemplated in said 1982 Agreement; and

**WHEREAS**, on February 7, 2012 the City of Naperville passed Ordinance No. 12-008 for the purposes described herein which Ordinance did not provide for deletion of the highway in question from the City’s municipal street system, and is therefore rescinded and replaced by this Ordinance.

**NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, DU PAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule authority, as follows:**

**SECTION 1:** The foregoing recitals are substantive and are incorporated herein as though fully set forth.

**SECTION 2:** The Mayor and City Council hereby approve the transfer of highway jurisdiction and deletion from the municipal street system of Naper Boulevard from Ridgeland Avenue to Ogden Avenue to DuPage County.

**SECTION 3:** The Mayor is hereby authorized and directed to execute the Local Agency Agreement for Jurisdictional Transfer document attached hereto and made part hereof as Exhibit A.

**SECTION 4:** City of Naperville Ordinance 12-008 is hereby rescinded.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES

NAYS

ABSENT

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012 .

\_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph.D.  
City Clerk

H:\Users\LordP\JT Naper Blvd. - Ridgeland to Ogden -008.doc



**Illinois Department of Transportation**

**Local Agency Agreement for Jurisdictional Transfer**

<b>Local Agency No. 1</b> (Conveyor)	<b>Local Agency No. 2</b> (Recipient)
Municipality: <u>City of Naperville</u>	Municipality: _____
Township/Road District: _____	Township/Road District: _____
County: _____	County: <u>DuPage</u>

In accordance with authority granted in Section 4-409 of the Illinois Highway Code, this agreement is made and entered into between the above Local Agency No. 1, hereinafter referred to as "Conveyor" and the above Local Agency No. 2, hereinafter referred to as "Recipient", to transfer the jurisdiction of the designated location from the Conveyor to the Recipient.

**Location Description**

Name Naper Blvd. Route \_\_\_\_\_ Length 1,250 ft. (0.24 mi.)  
 Termini from Ridgeland Avenue southerly to Oaden Avenue (U.S. 34)  
 \_\_\_\_\_ in its entirety.

This transfer  does  does not include Structure No. n/a

**Include for Municipalities Only**

WHEREAS, the authority to make changes to the Municipal Street System is granted to the Municipality by Section 7-101 of the Illinois Highway Code.

NOW THEREFORE IT IS AGREED that the corporate authority of said municipality will pass an ordinance providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the ordinance, and

**Include for Counties Only**

WHEREAS, the authority to make changes to the County Highway System is granted to the County by Section 5-105 of the Illinois Highway Code.

NOW THEREFORE IT IS AGREED that the County Board of said County will pass a resolution providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the resolution, and

**Include for Township/Road Districts Only**

WHEREAS, the authority to make changes to the Township Road District System is granted to the Highway Commissioner under Section 6-201.3 of the Illinois Highway Code.

The Conveyor Agrees to prepare a map of the above location and attach a copy of such location map hereto.

IT IS MUTUALLY AGREED, that this jurisdictional transfer will become effective:

upon IDOT approval  \_\_\_\_\_ calendar days after \_\_\_\_\_

**Supplements**

Additional information and/or stipulations, if any, are hereby attached and identified below as being a part of this agreement.

Supplement MAP, STIPULATION, COUNTY RESOLUTION AND CITY ORDINANCE  
 (Insert supplement numbers or letters and page numbers, if applicable)

IT IS FURTHER AGREED, that the provisions of this agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns.

APPROVED BY CONVEYOR

APPROVED BY RECIPIENT

Name A. George Pradel

Name Daniel J. Cronin

Title Mayor, City of Naperville  
 Chairman County Board/Mayor/Village President/etc.

Title Chairman, DuPage County Board  
 Chairman County Board/Mayor/Village President/etc.

Signature \_\_\_\_\_

Signature \_\_\_\_\_

APPROVED

STATE OF ILLINOIS  
 DEPARTMENT OF TRANSPORTATION By: \_\_\_\_\_

Director of Highways

Date

Stipulation to Local Agency Agreement for Jurisdictional Transfer

Name: Naper Blvd.  
Length: 1,250, ft (0.24 mi.)  
Termini: from Ridgeland Avenue southerly to Ogden Avenue  
(U.S. 34) in its entirety

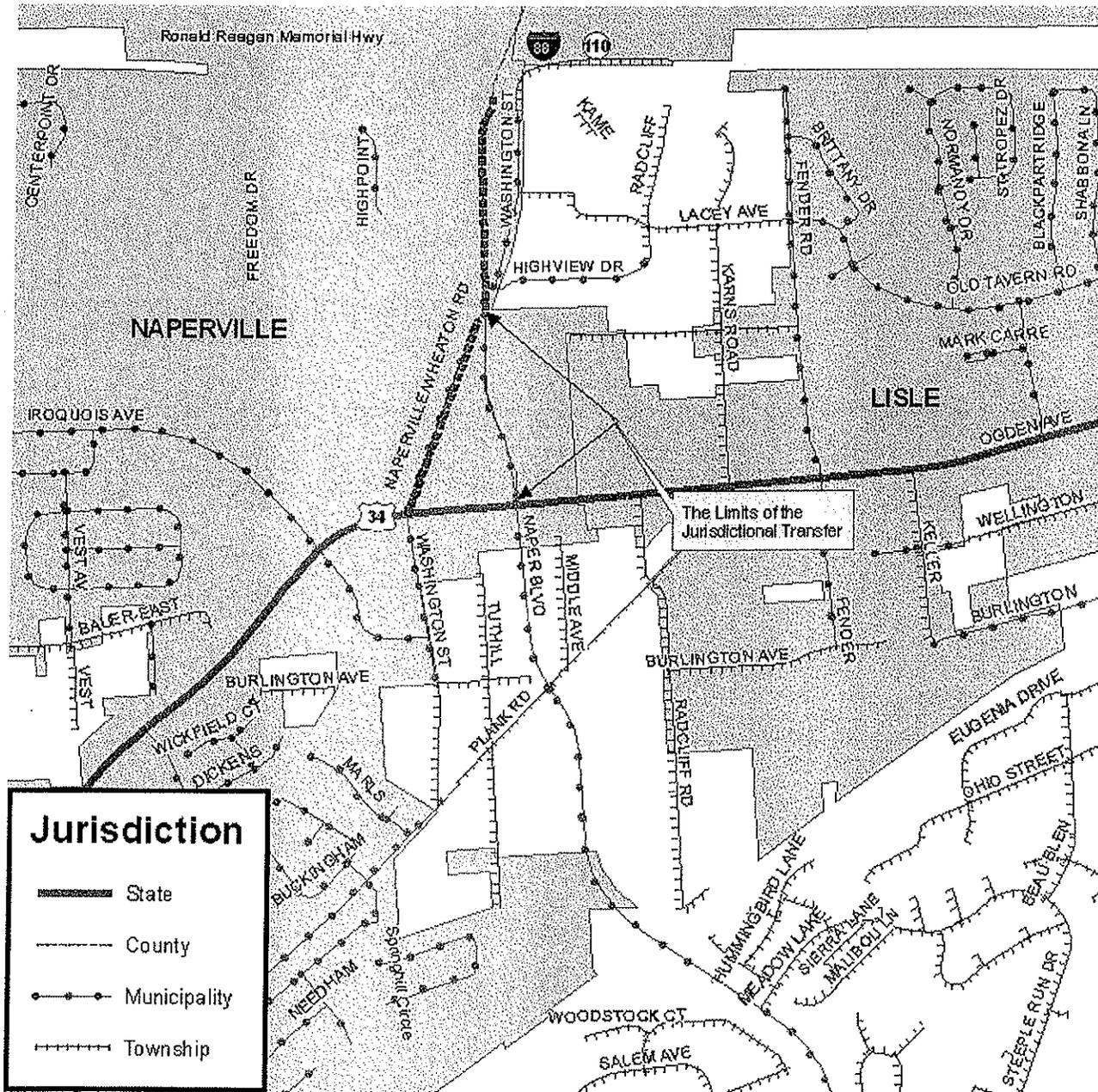
The County of DuPage and the City of Naperville acknowledge that said section of Naper Blvd. has been maintained by the County of DuPage since October of 1989 and from said date to the present, the County of DuPage shall, to the extent permitted by law, indemnify, hold harmless and defend the City of Naperville, its officials, officers, employees, and agents from and against all liability, claims, suits, demands, proceedings and action, including costs, fees and expense of defense, arising from, growing out of, or related to, any loss, damage, injury, death, or loss or damage to property resulting from, or connected with, the County of DuPage' maintenance of this road. The County of DuPage does not hereby waive any defenses or immunity available to it with respect to third parties.



# Illinois Department of Transportation



**Jurisdictional Transfer**  
 City of Naperville to DuPage County  
 Naper Blvd  
 from Ridgeland Avenue southerly to  
 Ogden Avenue (US 34), in its entirety



**ORDINANCE NO. 12 - \_\_\_\_\_**

**AN ORDINANCE RESCINDING ORDINANCE NO. 12-009  
AND APPROVING AN AGREEMENT BETWEEN THE CITY OF NAPERVILLE  
AND DUPAGE COUNTY, ILLINOIS FOR THE TRANSFER OF HIGHWAY  
JURISDICTION OF NAPERVILLE-WHEATON ROAD - RIDGELAND  
AVENUE TO OGDEN AVENUE**

**WHEREAS**, DuPage County has jurisdiction of Naperville-Wheaton Road - Ridgeland Avenue to Ogden Avenue; and

**WHEREAS** the City of Naperville and DuPage County previously entered into an agreement for the Construction of Naper Boulevard from the Tollway to Maple Avenue dated June 8, 1982 (hereinafter "Agreement") which Agreement set forth the planned highway jurisdiction of Naperville-Wheaton Road from Ridgeland Avenue to Ogden Avenue as well as other segments of Naper Boulevard; and

**WHEREAS** the City of Naperville finds that it is appropriate to complete the transfer of highway jurisdictional authority contemplated in said 1982 Agreement; and

**WHEREAS**, on February 7, 2012 the City of Naperville passed Ordinance No. 12-009 for which Ordinance erroneously provided for transfer of highway jurisdiction described herein from the City of Naperville to DuPage County and did not provide for addition of the highway in question to the City's municipal street system, and is therefore rescinded and replaced by this Ordinance.

**NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, DU PAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule authority, as follows:**

**SECTION 1:** The foregoing recitals and are substantive are incorporated herein as though fully set forth.

**SECTION 2:** The Mayor and City Council hereby approve the transfer of highway jurisdiction and addition to the municipal street system of Naperville-Wheaton

Road - Ridgeland Avenue to Ogden Avenue from DuPage County to the City of Naperville.

**SECTION 3:** The Mayor is hereby authorized to execute the Local Agency Agreement for Jurisdictional Transfer document attached hereto and made part hereof as Exhibit A.

**SECTION 4:** City of Naperville Ordinance 12-009 is hereby rescinded.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES

NAYS

ABSENT

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012 .

---

A. George Pradel  
Mayor

ATTEST:

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Pam LaFeber, Ph.D.  
City Clerk



**Illinois Department of Transportation**

**Local Agency Agreement for Jurisdictional Transfer**

<b>Local Agency No. 1</b> (Conveyor)	<b>Local Agency No. 2</b> (Recipient)
Municipality:	Municipality: City of Naperville
Township/Road District:	Township/Road District:
County: DuPage	County:

In accordance with authority granted in Section 4-409 of the Illinois Highway Code, this agreement is made and entered into between the above Local Agency No. 1, hereinafter referred to as "Conveyor" and the above Local Agency No. 2, hereinafter referred to as "Recipient", to transfer the jurisdiction of the designated location from the Conveyor to the Recipient.

**Location Description**

Name Naperville/Wheaton Road Route CH 23 Length 1,450 ft. (0.27 mi.)  
 Termini from Ridgeland Avenue southerly to Ogden Avenue (U.S. 34) in its entirety.

This transfer  does  does not include Structure No. n/a

**Include for Municipalities Only**

WHEREAS, the authority to make changes to the Municipal Street System is granted to the Municipality by Section 7-101 of the Illinois Highway Code.

NOW THEREFORE IT IS AGREED that the corporate authority of said municipality will pass an ordinance providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the ordinance, and

**Include for Counties Only**

WHEREAS, the authority to make changes to the County Highway System is granted to the County by Section 5-105 of the Illinois Highway Code.

NOW THEREFORE IT IS AGREED that the County Board of said County will pass a resolution providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the resolution, and

**Include for Township/Road Districts Only**

WHEREAS, the authority to make changes to the Township Road District System is granted to the Highway Commissioner under Section 6-201.3 of the Illinois Highway Code.

The Conveyor Agrees to prepare a map of the above location and attach a copy of such location map hereto.

IT IS MUTUALLY AGREED, that this jurisdictional transfer will become effective:

upon IDOT approval  \_\_\_\_\_ calendar days after \_\_\_\_\_ .

**Supplements**

Additional information and/or stipulations, if any, are hereby attached and identified below as being a part of this agreement.

Supplement MAP, STIPULATION, COUNTY RESOLUTION AND CITY ORDINANCE  
 (Insert supplement numbers or letters and page numbers, if applicable)

IT IS FURTHER AGREED, that the provisions of this agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns.

APPROVED BY CONVEYOR

APPROVED BY RECIPIENT

Name Daniel J. Cronin

Name A. George Pradel

Title Chairman, DuPage County Board  
Chairman County Board/Mayor/Village President/etc.

Title Mayor, City of Naperville  
Chairman County Board/Mayor/Village President/etc.

Signature \_\_\_\_\_

Signature \_\_\_\_\_

APPROVED

STATE OF ILLINOIS

DEPARTMENT OF TRANSPORTATION By: \_\_\_\_\_

Director of Highways

Date

Stipulation to Local Agency Agreement for Jurisdictional Transfer

Name: Naperville/Wheaton Road  
Length: 1,450, ft (0.27 mi.)  
Termini: from Ridgeland Avenue southerly to Ogden Avenue  
(U.S. 34) in its entirety

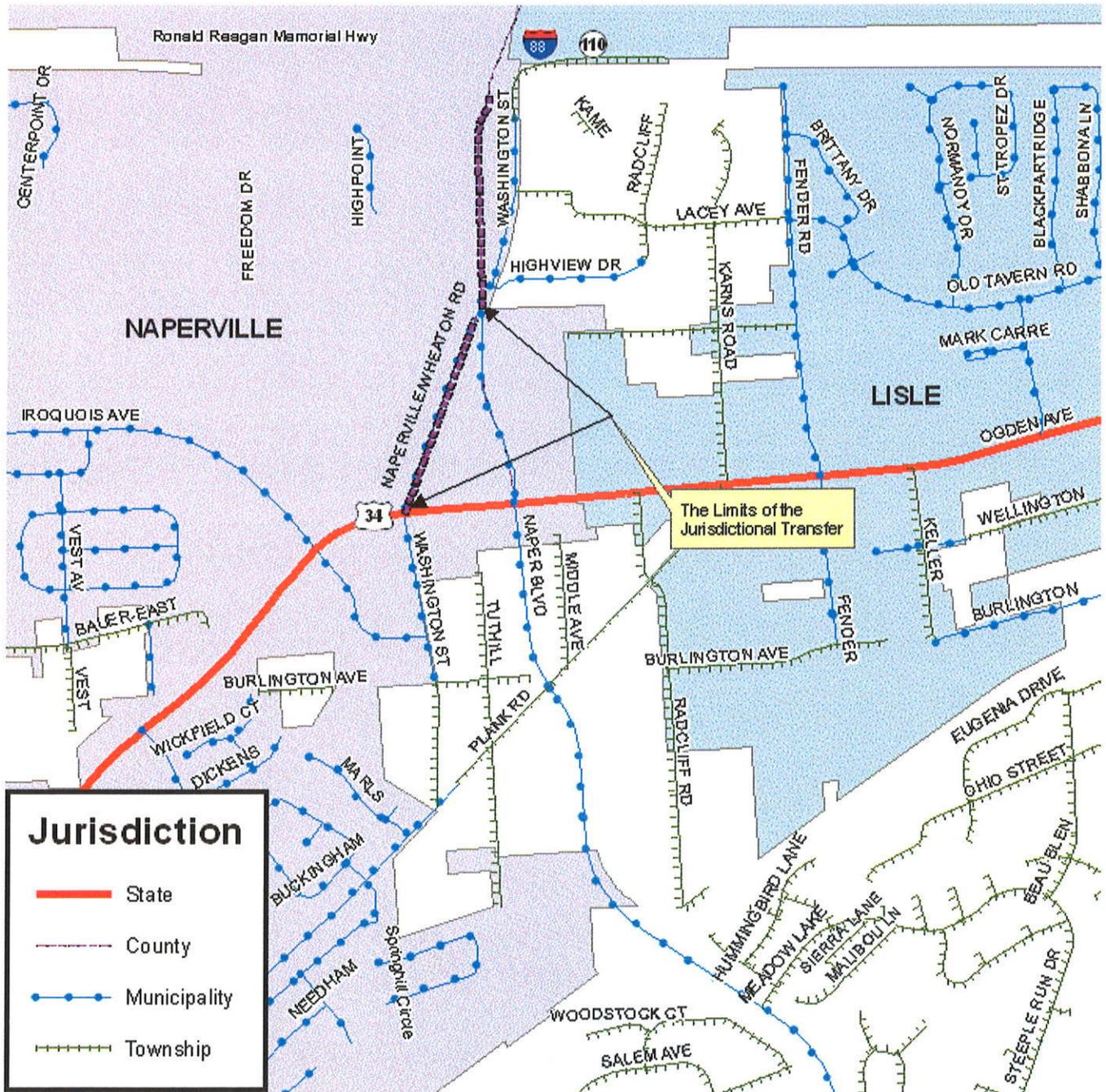
The County of DuPage and the City of Naperville acknowledge that said section of Naperville/Wheaton Road has been maintained by the City of Naperville since October of 1989 and from said date to the present, the City of Naperville shall, to the extent permitted by law, indemnify, hold harmless and defend the County of DuPage, its officials, officers, employees, and agents from and against all liability, claims, suits, demands, proceedings and action, including costs, fees and expense of defense, arising from, growing out of, or related to, any loss, damage, injury, death, or loss or damage to property resulting from, or connected with, the City of Naperville's maintenance of this road. The City of Naperville does not hereby waive any defenses or immunity available to it with respect to third parties.



# Illinois Department of Transportation



## Jurisdictional Transfer DuPage County to City of Naperville Naperville/Wheaton Road from Ridgeland Avenue southerly to Ogden Avenue (US 34), in its entirety



**ORDINANCE NO. 12 - \_\_\_\_\_**

**AN ORDINANCE RESCINDING ORDINANCE NO. 12-010  
AND APPROVING AN AGREEMENT  
BETWEEN THE CITY OF NAPERVILLE AND DUPAGE COUNTY, ILLINOIS  
FOR THE TRANSFER OF HIGHWAY JURISDICTION  
OF WEST STREET – BAUER ROAD TO MILL STREET**

**WHEREAS** DuPage County has jurisdiction of West Street from Bauer Road to Mill Street;  
and

**WHEREAS** the City of Naperville and DuPage County previously entered into an agreement Providing for the Improvement of West-Mill Street between the East-West Tollway and Ogden Avenue ---County Section 220-1 dated August 14, 1972 (hereinafter “Agreement”) which Agreement set forth the planned highway jurisdiction of West Street from Bauer Road to Mill Street as well as a segment of Bauer Road from West Street to Washington Street; and

**WHEREAS** the City of Naperville finds that it is appropriate to complete the transfer of highway jurisdictional authority contemplated in said Agreement; and

**WHEREAS**, on February 7, 2012 the City of Naperville passed Ordinance No. 12-010 for the purposes described herein which Ordinance did not provide for addition of the highway in question to the City’s municipal street system, and is therefore rescinded and replaced by this Ordinance.

**NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, DU PAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule authority, as follows:**

**SECTION 1:** The foregoing recitals and are substantive are incorporated herein as though fully set forth.

**SECTION 2:** The Mayor and City Council hereby approve the transfer of highway jurisdiction and addition to the municipal street system of West Street from Bauer Road to Mill Street from DuPage County to the City of Naperville.

**SECTION 3:** The Mayor is hereby authorized to execute the Local Agency Agreement for Jurisdictional Transfer document attached hereto and made part hereof as Exhibit A.

**SECTION 4:** City of Naperville Ordinance 12-010 is hereby rescinded.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES

NAYS

ABSENT

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012 .

---

A. George Pradel  
Mayor

ATTEST:

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Pam LaFeber, Ph.D.  
City Clerk

H:\Users\LordP\JT Bauer to Mill Street -010.doc



**Illinois Department  
of Transportation**

**Local Agency Agreement for  
Jurisdictional Transfer**

<b>Local Agency No. 1</b> (Conveyor)	<b>Local Agency No. 2</b> (Recipient)
Municipality:	Municipality: City of Naperville
Township/Road District:	Township/Road District:
County: DuPage	County:

In accordance with authority granted in Section 4-409 of the Illinois Highway Code, this agreement is made and entered into between the above Local Agency No. 1, hereinafter referred to as "Conveyor" and the above Local Agency No. 2, hereinafter referred to as "Recipient", to transfer the jurisdiction of the designated location from the Conveyor to the Recipient.

**Location Description**

Name West Street Route \_\_\_\_\_ Length 3,641 ft (0.69 mi.)  
 Termini from Bauer Road northerly to Mill Street, in its entirety.

This transfer  does  does not include Structure No. n/a

**Include for Municipalities Only**

WHEREAS, the authority to make changes to the Municipal Street System is granted to the Municipality by Section 7-101 of the Illinois Highway Code.

NOW THEREFORE IT IS AGREED that the corporate authority of said municipality will pass an ordinance providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the ordinance, and

**Include for Counties Only**

WHEREAS, the authority to make changes to the County Highway System is granted to the County by Section 5-105 of the Illinois Highway Code.

NOW THEREFORE IT IS AGREED that the County Board of said County will pass a resolution providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the resolution, and

**Include for Township/Road Districts Only**

WHEREAS, the authority to make changes to the Township Road District System is granted to the Highway Commissioner under Section 6-201.3 of the Illinois Highway Code.

The Conveyor Agrees to prepare a map of the above location and attach a copy of such location map hereto.

IT IS MUTUALLY AGREED, that this jurisdictional transfer will become effective:

upon IDOT approval  \_\_\_\_\_ calendar days after \_\_\_\_\_ .

**Supplements**

Additional information and/or stipulations, if any, are hereby attached and identified below as being a part of this agreement.

Supplement MAP, STIPULATION, COUNTY RESOLUTION AND CITY ORDINANCE  
 (Insert supplement numbers or letters and page numbers, if applicable)

IT IS FURTHER AGREED, that the provisions of this agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns.

APPROVED BY CONVEYOR

APPROVED BY RECIPIENT

Name Daniel J. Cronin

Name A. George Pradel

Title Chairman, DuPage County Board  
Chairman County Board/Mayor/Village President/etc.

Title Mayor, City of Naperville  
Chairman County Board/Mayor/Village President/etc.

Signature \_\_\_\_\_

Signature \_\_\_\_\_

APPROVED

STATE OF ILLINOIS

DEPARTMENT OF TRANSPORTATION By: \_\_\_\_\_

Director of Highways

Date

Stipulation to Local Agency Agreement for Jurisdictional Transfer

Name: West Street  
Length: 3,641 feet (0.69 mi.)  
Termini: from Bauer Road northerly to Mill Street, in its entirety

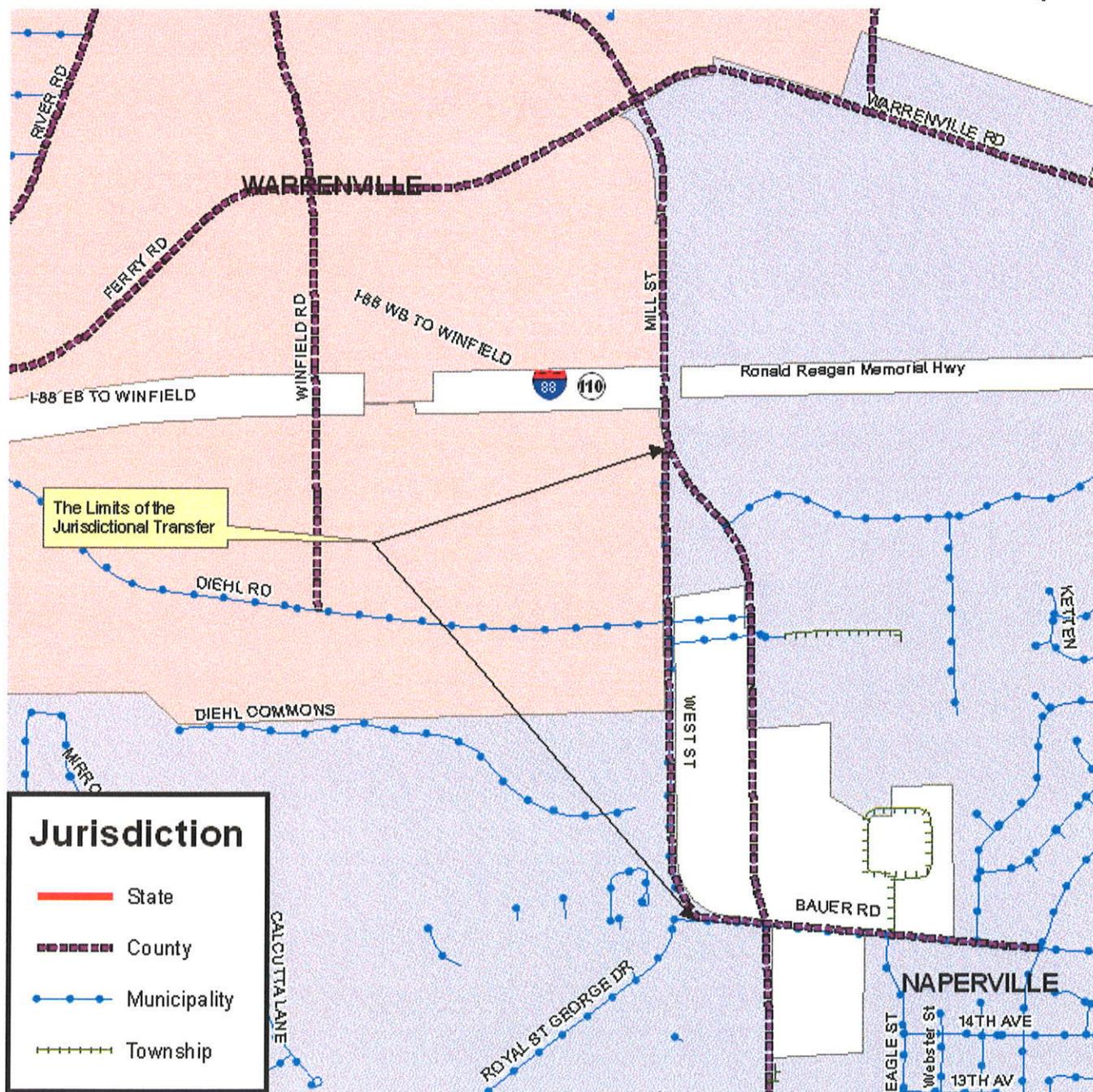
The County of DuPage and the City of Naperville acknowledge that said section of West Street has been maintained by the City of Naperville since 1973 and from said date to the present, the City of Naperville shall, to the extent permitted by law, indemnify, hold harmless and defend the County of DuPage, its officials, officers, employees, and agents from and against all liability, claims, suits, demands, proceedings and action, including costs, fees and expense of defense, arising from, growing out of, or related to, any loss, damage, injury, death, or loss or damage to property resulting from, or connected with, the City of Naperville's maintenance of this road. The City of Naperville does not hereby waive any defenses or immunity available to it with respect to third parties.



# Illinois Department of Transportation



## Jurisdictional Transfer DuPage County to City of Naperville West Street from Bauer Road northerly to Mill Street, in its entirety



**ORDINANCE NO. 12 - \_\_\_\_\_**

**AN ORDINANCE RESCINDING ORDINANCE NO. 12-011  
AND APPROVING AN AGREEMENT  
BETWEEN THE CITY OF NAPERVILLE AND DUPAGE COUNTY, ILLINOIS  
FOR THE TRANSFER OF HIGHWAY JURISDICTION  
OF BAUER ROAD – WASHINGTON STREET TO WEST STREET**

**WHEREAS**, DuPage County has jurisdiction of Bauer Road from Washington Street to West Street; and

**WHEREAS** the City of Naperville and DuPage County previously entered into an agreement Providing for the Improvement of West-Mill Street between the East-West Tollway and Ogden Avenue ---County Section 220-1 dated August 14, 1972 (hereinafter “Agreement”) which Agreement set forth the planned highway jurisdiction of West Street from Bauer Road to Mill Street as well as a segment of Bauer Road from West Street to Washington Street; and

**WHEREAS**, the City of Naperville finds that it is appropriate to complete the transfer of highway jurisdictional authority contemplated in said 1972 Agreement; and

**WHEREAS**, on February 7, 2012 the City of Naperville passed Ordinance No. 12-011 for the purposes described herein which Ordinance did not provide for addition of the highway in question to the City’s municipal street system and is therefore rescinded and replaced by this Ordinance.

**NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, DU PAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule authority, as follows:**

**SECTION 1:** The foregoing recitals and are substantive are incorporated herein as though fully set forth.

**SECTION 2:** The Mayor and City Council hereby approve the transfer of highway jurisdiction and addition to the municipal street system of Bauer Road from Washington Street to West Street from DuPage County to the City of Naperville.

**SECTION 3:** The Mayor is hereby authorized to execute the Local Agency Agreement for Jurisdictional Transfer document attached hereto and made part hereof as Exhibit A.

**SECTION 4:** City of Naperville Ordinance 12-011 is hereby rescinded.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES

NAYS

ABSENT

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

---

A. George Pradel  
Mayor

ATTEST:

---

Pam LaFeber, Ph.D.  
City Clerk



**Local Agency Agreement for Jurisdictional Transfer**

<b>Local Agency No. 1</b> (Conveyor)	<b>Local Agency No. 2</b> (Recipient)
Municipality:	Municipality: City of Naperville
Township/Road District:	Township/Road District:
County: DuPage	County:

In accordance with authority granted in Section 4-409 of the Illinois Highway Code, this agreement is made and entered into between the above Local Agency No. 1, hereinafter referred to as "Conveyor" and the above Local Agency No. 2, hereinafter referred to as "Recipient", to transfer the jurisdiction of the designated location from the Conveyor to the Recipient.

**Location Description**

Name Bauer Road Route \_\_\_\_\_ Length 2,184 ft. (0.41 mi.)  
 Termini from Washington Street westerly to West Street in its entirety

This transfer  does  does not include Structure No. n/a

**Include for Municipalities Only**

WHEREAS, the authority to make changes to the Municipal Street System is granted to the Municipality by Section 7-101 of the Illinois Highway Code.  
 NOW THEREFORE IT IS AGREED that the corporate authority of said municipality will pass an ordinance providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the ordinance, and

**Include for Counties Only**

WHEREAS, the authority to make changes to the County Highway System is granted to the County by Section 5-105 of the Illinois Highway Code.  
 NOW THEREFORE IT IS AGREED that the County Board of said County will pass a resolution providing for the transfer of the above location and shall attach hereto and make a part thereof a copy of the resolution, and

**Include for Township/Road Districts Only**

WHEREAS, the authority to make changes to the Township Road District System is granted to the Highway Commissioner under Section 6-201.3 of the Illinois Highway Code.

The Conveyor Agrees to prepare a map of the above location and attach a copy of such location map hereto.

IT IS MUTUALLY AGREED, that this jurisdictional transfer will become effective:

upon IDOT approval  \_\_\_\_\_ calendar days after \_\_\_\_\_

**Supplements**

Additional information and/or stipulations, if any, are hereby attached and identified below as being a part of this agreement.  
 Supplement MAP, STIPULATION, COUNTY RESOLUTION AND CITY ORDINANCE  
(Insert supplement numbers or letters and page numbers, if applicable)

IT IS FURTHER AGREED, that the provisions of this agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns.

APPROVED BY CONVEYOR

APPROVED BY RECIPIENT

Name Daniel J. Cronin

Name A. George Pradel

Title Chairman, DuPage County Board  
Chairman County Board/Mayor/Village President/etc.

Title Mayor, City of Naperville  
Chairman County Board/Mayor/Village President/etc.

Signature \_\_\_\_\_

Signature \_\_\_\_\_

APPROVED

STATE OF ILLINOIS

DEPARTMENT OF TRANSPORTATION By: \_\_\_\_\_

Director of Highways

Date

Stipulation to Local Agency Agreement for Jurisdictional Transfer

Name: Bauer Road  
Length: 2,184 feet (0.41 mi.)  
Termini: from Washington Street westerly to West Street,  
in its entirety

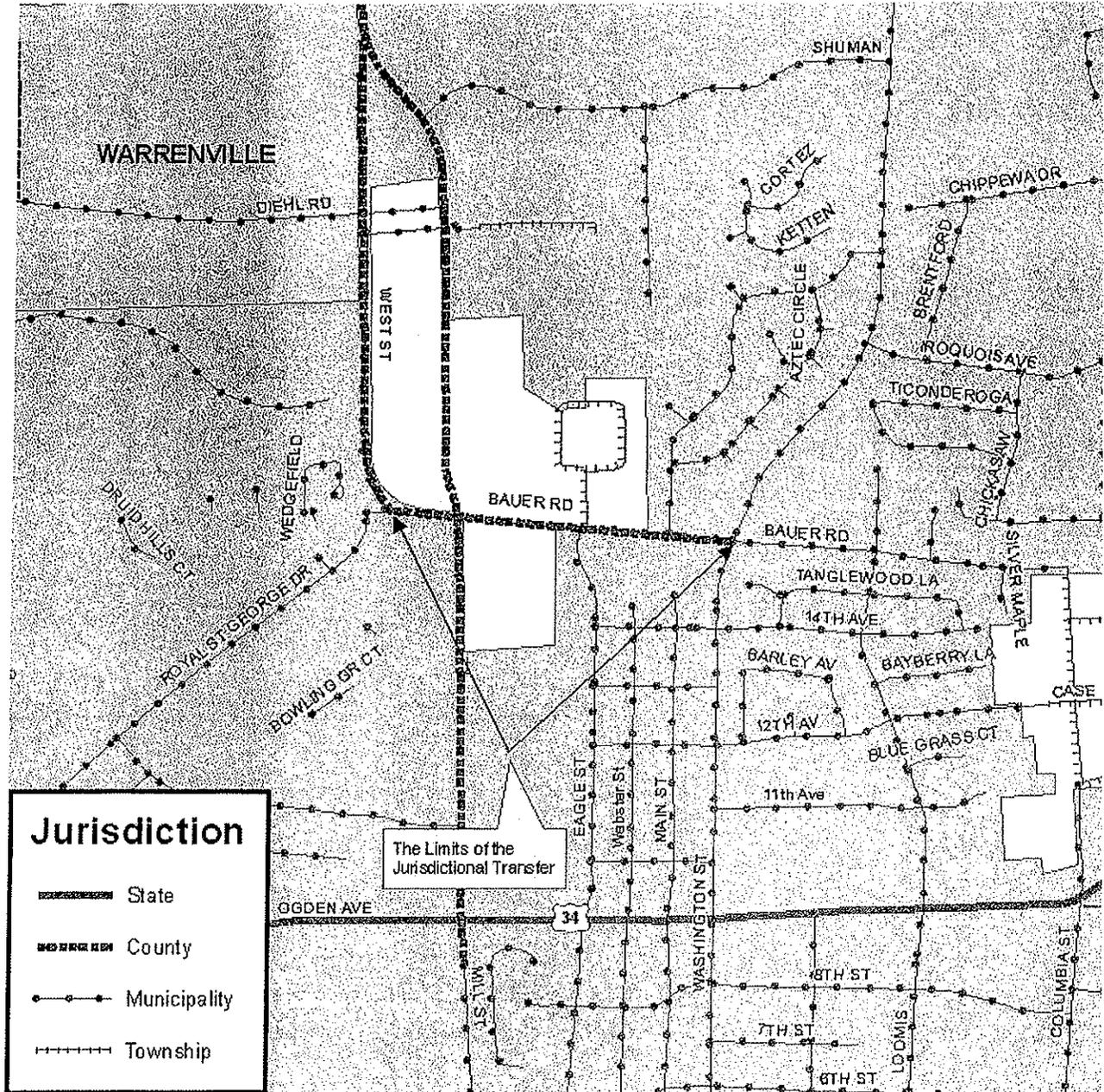
The County of DuPage and the City of Naperville acknowledge that said section of Bauer Road has been maintained by the City of Naperville since 1973 and from said date to the present, the City of Naperville shall, to the extent permitted by law, indemnify, hold harmless and defend the County of DuPage, its officials, officers, employees, and agents from and against all liability, claims, suits, demands, proceedings and action, including costs, fees and expense of defense, arising from, growing out of, or related to, any loss, damage, injury, death, or loss or damage to property resulting from, or connected with, the City of Naperville's maintenance of this road. The City of Naperville does not hereby waive any defenses or immunity available to it with respect to third parties.



# Illinois Department of Transportation



## Jurisdictional Transfer DuPage County to City of Naperville Bauer Road from Washington street westerly to West street, in its entirety





# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** McDonald’s on Washington Street – PZC 12-1-018

**TYPE OF VOTE:** Simple majority

**ACTION REQUESTED:**

Pass the ordinance granting approval of a preliminary/final plat of subdivision and related variances as reflected in the ordinance to allow the development of a McDonald’s restaurant at 702 S. Washington Street.

**BOARD/COMMISSION REVIEW:**

The Planning and Zoning Commission considered this matter on April 18, 2012 and voted to recommend approval of the request subject to conditions (Approved 7-0). Staff concurs.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date of Action	Item No.	Action
N/A		

**DEPARTMENT:** TED – Planning Services Team

**SUBMITTED BY:** Ying Liu, AICP, Community Planner

**FISCAL IMPACT:**

N/A

**BACKGROUND:**

The subject property consists of 0.96 acres and is located at the southeast corner of Washington Street and Hillside Road, with a common address of 702 S. Washington Street. Abutting the property on the east side is the West Branch of DuPage River. The subject property is zoned B3 (General Commercial District) and is presently improved with a Citgo gas station and convenience mart. The owner of the property is Krisis Kings, LLC, 702 S. Washington Street, Naperville, IL 60540.

*McDonald's on Washington Street (PZC 12-1-018)*

*June 19, 2012*

*Page 2 of 5*

**DISCUSSION:**

The petitioner, McDonald's USA, intends to demolish the existing gas station and construct a McDonald's restaurant on the subject property. The proposed restaurant is a permitted use in the B3 district and would include 3,599 square feet of gross floor area and be served by 31 parking spaces and a side-by-side drive-through facility.

*Preliminary/Final Plat of Subdivision*

The property is currently established through an assessment plat. The petitioner requests approval of a preliminary/final plat of subdivision in order to establish the property as a legal lot-of-record in the City. No new lots will be created as a result of the subdivision. The proposed plat complies with the requirements of Title 7, Subdivision Regulations.

*Parking Variance*

The petitioner is requesting a variance from the parking requirement for fast-food restaurants (i.e. a minimum of 17 spaces per 1,000 square feet of gross floor area) to reduce the number of required off-street parking spaces from 61 to 31 spaces. A parking study (Attachment 8) was submitted to support the variance request, providing empirical data from four comparable McDonald's restaurants in the Chicago area. All four restaurants surveyed have larger building footprints and more seating capacity than the restaurant proposed at 702 S. Washington Street. Three of the restaurants surveyed never needed more than 30 parking spaces even during peak hours. The highest parking demand occurred at the McDonald's at 1298 S. Naper Boulevard, when 38 parking spaces were occupied on a weekday morning. However, the McDonald's at 1298 S. Naper Boulevard is substantially larger (4,500 square feet) and provides almost twice as many seats as the proposed restaurant.

Staff concurs with the finding of the parking study that the proposed 31 parking spaces would adequately accommodate the busiest customer and employee parking demands from the proposed restaurant at 702 S. Washington Street.

*Setback Variances*

The subject property is subject to the following setback requirements along Washington Street and Hillside Road:

- A major arterial setback along Washington Street that is 70' from the centerline of the right-of-way or 37' from the edge of the right-of-way; and
- A 40' front yard setback along Washington Street and a 30' corner side yard setback along Hillside Road in the B3 district<sup>1</sup>.

The petitioner requests several variances to allow the proposed building and parking/drive-through facilities to encroach into the above required setbacks. The proposed building would be located 33' from Washington Street, encroaching 4' into the major arterial setback and 7' into the front yard setback. The proposed parking/drive-through facilities would be located 1.5 from

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<sup>1</sup> Even though properties in the B3 district are typically subject to no setback requirements, the subject property is required to provide more stringent setbacks due to its adjacency to properties zoned E1 and R1A on the west, south and east sides.

*McDonald's on Washington Street (PZC 12-1-018)*

*June 19, 2012*

*Page 3 of 5*

Washington Street at the greatest point of encroachment and 5.5' from Hillside Road, encroaching into the required major arterial setback and zoning setbacks.

Staff agrees with the proposed setbacks for the building and the parking/drive-through facilities as they are consistent with the existing development pattern of the adjacent uses along Washington Street, and also are the result of the limited buildable area on the site due to the presence of floodway/floodplain along the River. The existing Citgo gas station on the site, the cemetery to the west (zoned E1), and the City's substation to the south (zoned R1A) all have parking facilities very close to Washington Street (0'-10' setbacks), and the Brown's Chicken to the north of the site has a parking lot abutting the public sidewalk along Hillside Road. The City has no future plan to widen Washington Street or Hillside Road in front of the subject property.

#### *Drive-through Lane Width Variance*

A variance is being sought to reduce the minimum stacking lane width from 12' to 10'. The limited buildable area on the site prevents the petitioner from providing a 12' wide stacking lane for the drive-through. Instead, a 10.5' lane is being provided, with a small section of the lane reduced to 10'. Staff has no concern with the reduced lane width and finds that it can still function effectively and safely.

#### *Traffic Concerns*

City staff has reviewed the traffic impacts associated with the proposed development. The applicant has submitted a site plan and a Traffic Impact Study, prepared by a professional traffic engineer, for review. The traffic study shows the impact of the proposed development on Washington and Hillside during the morning, midday and evening peak hours. (Note: the AM peak hour was evaluated on a morning when schools were in session.) The proposed traffic exiting the site during the peak hours is 90, 85 and 60 vehicles respectively, representing a very small percentage of the total traffic on Washington and Hillside. Furthermore, approximately half of those vehicles are ones that are already "passing by" the site, so the actual number of new vehicles drawn to the area by the proposed development is even smaller. An intersection capacity analysis of the signalized intersection of Washington and Hillside revealed additional delays of 0.1-0.9 seconds resulting from the additional traffic.

Although the traffic generated by the proposed development will not significantly impact the adjacent public roadways, it is understood that the area already experiences congestion during the peak hours. To help reduce the development's impacts, the following actions are proposed: 1) The four driveways currently used by the existing gas station will be restricted to one on Washington and one on Hillside. 2) The new driveways will be located as far from the signalized intersection as practicable. 3) The access on Washington will be limited to right-in/right-out only to avoid left turn conflicts on the arterial roadway. 4) The site itself will accommodate a large number of vehicles to avoid back-ups onto the public roadways.

Based on the information provided, staff is of the opinion that the proposed development will not result in appreciable cut through traffic in the adjacent residential neighborhoods. Cut through traffic is prevalent when there is congestion and an easily identifiable route that achieves the same direction of travel with limited obstructions. There are no direct routes through the adjacent neighborhoods. Furthermore, there is no indication that the existing gas station, which

*McDonald's on Washington Street (PZC 12-1-018)*

*June 19, 2012*

*Page 4 of 5*

experienced the same access issues as the proposed development, resulted in cut-through traffic. These same access issues will be true of any development at this location. Although some motorists may consider driving east on Hillside to find an alternate route, staff does not anticipate that this movement would be commonplace.

#### *Landscape Variances*

The proposed landscape plan meets the requirements of Section 5-10-3 (Landscaping and Screening) of the Municipal Code with the exception of three variances.

- A waiver of the required parkway trees along Washington Street is requested. The parkway along Washington Street in front of the site is only 3.5'-4' in width and contains underground and overhead utilities. There is not adequate space to plant any parkway trees. Site perimeter trees will be provided on the subject property along Washington Street to meet the City requirements.
- A variance is requested to allow the parking/drive-through facilities to encroach 3.5' into the required 5' landscape area along Washington Street. While the width of the landscape area is reduced, sufficient landscaping materials are provided in the area to meet the code requirements for site perimeter landscaping and parking lot perimeter landscaping.
- A variance is requested to waive the shade tree requirement for the island on the east side of the accessible parking spaces due to the location of a fire hydrant in the island.

In order to mitigate the impact of the restaurant on the adjacent residential properties, the petitioner is proposing a 6' solid synthetic wood fence as well as a 6' tall continuous landscaping along the west bank of the DuPage River (the east lot line) in compliance with the City's requirements. In addition to the landscape screening, the proposed restaurant will be required to meet the City's performance standards regarding noise (no more than 62 dBA from 7 a.m. to 7 p.m. and 55 dBA from 7 p.m. to 7 a.m. at the property line) and lighting (no more than 0.1 footcandle at the property line) on an ongoing basis. It is important to note that based on the proposed photometric plan for the site, the development would result in 0 footcandle along the east property line.

#### *Sign Variance*

A variance is requested to reduce the required monument sign setback along the front (Washington Street) property line from 10' to 6'. Staff has no concern with the reduced setback as the proposed sign would not interfere with any utility facilities or the sight distances of drivers in the area, and would be set back further from Washington Street than the proposed drive-through facility.

#### *Building Elevations*

The proposed building will be constructed of a brick and stone exterior façade with a flat roofline. Horizontal and vertical articulations are provided for the building through the use of material and color separations, raised towers, brick banding, and canopies. Staff finds the proposed building elevations are consistent with the Building Design Guidelines.

*McDonald's on Washington Street (PZC 12-1-018)*

*June 19, 2012*

*Page 5 of 5*

*Planning and Zoning Commission Action*

The Planning and Zoning Commission considered this matter at their meeting on April 18, 2012. Following staff's presentation, Henry Stillwell, Attorney, Rathje & Woodward, LLC., gave an overview of the request on behalf of the petitioner. The Planning and Zoning Commission inquired about the circulation pattern of the site, whether the traffic entering and leaving the site would create a stacking issue on Washington Street and Hillside Road, the findings of the traffic study, the number of employee parking spaces needed, the rationale behind the parking study, and whether the monument sign can be moved further back from the Street. The monument sign was originally proposed to be 4' from Washington Street. Upon the request of the Planning and Zoning Commission, the petitioner agreed to relocate the sign at least 6' from Washington Street. The petitioner also indicated that a maximum of 15 employees would work on the site.

No members of the public provided testimony. After further discussion, the Planning and Zoning Commission closed the public hearing and voted unanimously to recommend approval for the case subject to the following conditions (approved 7-0):

- The monument sign shall be setback no less than 6' from Washington Street.
- Employees of the proposed restaurant shall park their personal vehicles on-site or at a legally authorized off-site private location.

Both the petitioner and staff concur with the Planning and Zoning Commission's recommendation. The site plan has been revised to reflect the 6' setback for the sign and the attached ordinance reflects the Planning and Zoning Commission's condition for employee parking.

**RECOMMENDATION:**

Pass the ordinance granting approval of a preliminary/final plat of subdivision, five zoning variances, three landscape variances and a sign variance (as reflected in the ordinance) to allow the development of a McDonald's restaurant at 702 S. Washington Street.

**ATTACHMENTS:**

1. McDonald's on Washington Street – Ordinance – PZC 12-1-018
2. McDonald's on Washington Street – Exhibit A Legal Description – PZC 12-1-018
3. McDonald's on Washington Street – Exhibit B Plat of Subdivision – PZC 12-1-018
4. McDonald's on Washington Street – Exhibit C Site Plan – PZC 12-1-018
5. McDonald's on Washington Street – Exhibit D Landscape Plan – PZC 12-1-018
6. McDonald's on Washington Street – Exhibit E Building Elevations – PZC 12-1-018
7. McDonald's on Washington Street – Development Petition – PZC 12-1-018
8. McDonald's on Washington Street – Signage Exhibit – PZC 12-1-018
9. McDonald's on Washington Street – Parking Study – PZC 12-1-018
10. McDonald's on Washington Street – Resident Letters – PZC 12-1-018
11. McDonald's on Washington Street – 4/18/2012 PZC Minutes – PZC 12-1-018

PIN: 07-24-210-001

ADDRESS:  
702 S. WASHINGTON STREET  
NAPERVILLE, IL. 60540

PREPARED BY:

CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170

RETURN TO:

CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60540

P.Z.C. Case #12-1-018

**ORDINANCE NO. 12 - \_\_\_\_\_**

**AN ORDINANCE APPROVING A PRELIMINARY/FINAL  
PLAT OF SUBDIVISION, ZONING VARIANCES FROM  
TITLE 6 (ZONING REGULATIONS), LANDSCAPE VARIANCES FROM  
SECTION 5-10-3 OF TITLE 5 (BUILDING REGULATIONS), AND A SIGN VARIANCE  
FROM SECTION 5-4-5 OF TITLE 5 (BUILDING REGULATIONS)  
OF THE NAPERVILLE MUNICIPAL CODE FOR THE PROPERTY  
LOCATED AT 702 S. WASHINGTON STREET**

**WHEREAS**, McDonald's USA (Petitioner), has petitioned the City of Naperville for approval of a preliminary/final plat of subdivision, five zoning variances, three landscape variances and a sign variance in order to construct a McDonald's restaurant on the property located at 24 W. Gartner Road, Naperville, IL, which is legally described in **Exhibit A**, and depicted on **Exhibit B** (Subject Property); and

**WHEREAS**, Krisis Kings, LLC is the owner of the Subject Property; and

**WHEREAS**, the Subject Property is currently zoned B3(General Commercial District) and improved with a Citgo gas station and convenience mart; and

**WHEREAS**, the Petitioner intends to demolish the existing gas station and construct a 3,599 square foot McDonald's restaurant on the Subject Property; and

**WHEREAS**, the Petitioner is requesting approval of a preliminary/final plat of subdivision in order to establish the Subject Property as a legal lot-of-record in the City; and

**WHEREAS**, the Petitioner is requesting approval of the following variances from the Naperville Municipal Code in order to the proposed McDonald's restaurant and associated parking and drive-through facilities on the Subject Property:

1. A variance from Section 6-9-3:4 (Schedule of Off-Street Parking Requirements) to reduce the number of required off-street parking spaces from 61 to 31 spaces.
2. A variance from Section 6-2-14 (Major Arterial Setback Requirements) to allow the proposed building to encroach 4' into the required major arterial setback (70' from the centerline of the right-of-way) along Washington Street.
3. A variance from Sections 6-2-14 (Major Arterial Setback Requirements) and 6-9-2:4.6 (Off-Street Parking Facilities) to allow the proposed parking/drive-through facilities to encroach 35.5' into the required major arterial setback (70' from the centerline of the right-of-way) along Washington Street.
4. A variance from Section 6-7C-7 (B3: Yard Requirements) and Section 6-9-2:4.3 (Off-Street Parking Facilities) to allow the proposed building to encroach 7' into the 40' required front yard setback along Washington Street and the proposed parking/drive-through facilities to encroach 38.5' into the 40' required front yard setback along Washington Street and 24.5' into the 30' required corner side yard along Hillside Road in the B3 District.
5. A variance from Section 6-9-6 (Supplemental Standards for Drive-through Stacking Lanes) to reduce the required stacking lane width from 12' to 10'.
6. A variance from Section 5-10-3:3.2 (Parkway Landscaping) to waive the parkway tree requirement along Washington Street.
7. A variance from Section 5-10-3:5.2.1 (Perimeter Parking Lot Landscaping: Area) to allow the drive-through facility to encroach 3.5' into the required 5' wide landscape area along Washington Street.
8. A variance from Section 5-10-3:5.1 (Interior Parking Lot Landscaping) to waive the shade tree requirement for the island located on the east side of the accessible parking spaces.
9. A variance from Section 5-4-5:2.5 (Monument Sign) to reduce the required monument sign setback along the front property line from 10' to 6'; and

**WHEREAS**, on April 18, 2012, the Planning and Zoning Commission considered the Petitioner's request and recommended approval of the requested subdivision plat, zoning variances,

landscape variances and sign variance for the Subject Property at 702 S. Washington Street, subject to conditions which the petitioner has agreed to; and

**WHEREAS**, the City Council of the City of Naperville has determined that the Petitioner's requests should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The foregoing recitals are incorporated herein as though fully set forth.

**SECTION 2:** The Preliminary/Final Plat of Subdivision for the McDonald's On the River, attached to this Ordinance as **Exhibit B**, is hereby approved.

**SECTION 3:** A variance from Section 6-9-3:4 (Schedule of Off-Street Parking Requirements) of the Naperville Municipal Code to allow a reduction of the number of required off-street parking spaces from 61 to 31 spaces for the Subject Property, as depicted on the Site Plan attached to this Ordinance as **Exhibit C**, is hereby approved subject to the following condition:

1. Employees of the proposed restaurant shall park their personal vehicles on-site or at a legally authorized off-site private location.

**SECTION 4:** The following variances from the Naperville Municipal Code to allow construction of a McDonald's restaurant and associated parking and drive-through facilities on the Subject Property, as depicted on the Site Plan attached to this Ordinance as **Exhibit C** and on the Landscape Plan attached to this Ordinance as **Exhibit D**, are hereby granted:

1. A variance from Section 6-2-14 (Major Arterial Setback Requirements) to allow the proposed building to encroach 4' into the required major arterial setback (70' from the centerline of the right-of-way) along Washington Street.
2. A variance from Sections 6-2-14 (Major Arterial Setback Requirements) and 6-9-2:4.6 (Off-Street Parking Facilities) to allow the proposed parking/drive-through facilities to encroach 35.5' into the required major arterial setback (70' from the centerline of the right-of-way) along Washington Street.

3. A variance from Section 6-7C-7 (B3: Yard Requirements) and Section 6-9-2:4.3 (Off-Street Parking Facilities) to allow the proposed building to encroach 7' into the 40' required front yard setback along Washington Street and the proposed parking/drive-through facilities to encroach 38.5' into the 40' required front yard setback along Washington Street and 24.5' into the 30' required corner side yard along Hillside Road in the B3 District.
4. A variance from Section 6-9-6 (Supplemental Standards for Drive-through Stacking Lanes) to reduce the required stacking lane width from 12' to 10'.
5. A variance from Section 5-10-3:3.2 (Parkway Landscaping) to waive the parkway tree requirement along Washington Street.
6. A variance from Section 5-10-3:5.2.1 (Perimeter Parking Lot Landscaping: Area) to allow the drive-through facility to encroach 3.5' into the required 5' wide landscape area along Washington Street.
7. A variance from Section 5-10-3:5.1 (Interior Parking Lot Landscaping) to waive the shade tree requirement for the island located on the east side of the accessible parking spaces.
8. A variance from Section 5-4-5:2.5 (Monument Sign) to reduce the required monument sign setback along the front property line from 10' to 6'.

**SECTION 5:** The Site Plan, attached to this Ordinance as **Exhibit C**, is hereby approved as the controlling site plan for the Subject Property.

**SECTION 6:** The Landscape Plan, attached to this Ordinance as **Exhibit D**, is hereby approved for the Subject Property.

**SECTION 7:** The Building Elevations, attached to this Ordinance as **Exhibit E**, is hereby approved for the Subject Property.

**SECTION 8:** Any additional encroachments into the required setbacks other than those approved by this Ordinance and depicted on the Site Plan attached to this Ordinance as **Exhibit C** and the Landscape Plan attached to this Ordinance as **Exhibit D**, shall require a separate variance to be processed.

**SECTION 9:** The variances approved by this Ordinance shall expire two years from the effective date of this Ordinance if (a) a building permit has not been obtained and the construction or alteration of the structure as specified in this Ordinance has not been started within that two-year period or (b) the use specified in this Ordinance has not commenced within that two-year period.

The variance shall be subject to revocation for the failure to comply with all other applicable conditions set forth in the city's zoning regulations and all other applicable laws and ordinances.

**SECTION 10:** The City Clerk is authorized and directed to record this Ordinance and its exhibits with the DuPage County Recorder.

**SECTION 11:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

---

A. George Pradel  
Mayor

ATTEST:

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Pam LaFeber, Ph. D.  
City Clerk

**LEGAL DESCRIPTION:**

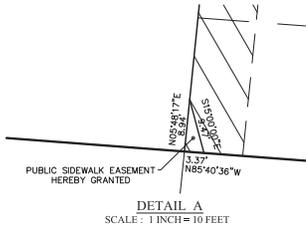
THAT PART OF LOT 3 OF VON OVENS' ASSESSMENT PLAT OF PART OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WESTERLY OF THE WEST LINE OF MOSER HIGHLANDS UNIT NO 6, A SUBDIVISION OF PART OF SECTION 19 AND 24, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 835554, DESCRIBED AS FOLLOWS. THE NORTH 241.0 FEET, AS MEASURED PARALLEL TO THE NORTH LINE OF SAID LOT, EXCEPT THE NORTH 66.0 FEET THEREOF, AND EXCEPTING THAT PART THEREOF DESCRIBED AS FOLLOWS COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY OF WASHINGTON STREET AND THE SOUTH RIGHT OF WAY LINE OF SAID HILLSIDE ROAD, AS NOW PLATTED AND RECORDED ACCORDING TO DOCUMENT NUMBER 820350, AND RUNNING THENCE EASTERLY ALONG THE SOUTH RIGHT OF WAY LINE OF SAID HILLSIDE ROAD, 170.0 FEET TO THE PLACE OF BEGINNING, THENCE CONTINUING EASTERLY ALONG THE LAST DESCRIBED COURSE, 118.75 FEET, THENCE SOUTH 30 DEGREES 00 MINUTES WEST 10.0 FEET, THENCE NORTH 81 DEGREES 16 MINUTES 56 SECONDS WEST 114.79 FEET; THENCE NORTH 5 DEGREES 40 MINUTES EAST, 3.0 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

**PARCEL IDENTIFICATION NUMBER:**

07-24-210-001

**ADDRESS:**

702 S. WASHINGTON STREET, NAPERVILLE, IL. 60540



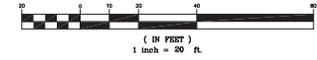
# PRELIMINARY / FINAL PLAT OF SUBDIVISION McDONALD'S ON THE RIVER

PART OF THE NORTHEAST QUARTER SECTION 24, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DU PAGE COUNTY ILLINOIS

702 S. WASHINGTON STREET, NAPERVILLE, IL. 60540

P.I.N. 07-24-210-001

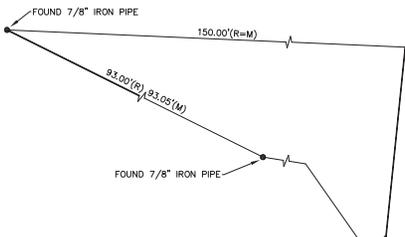
GRAPHIC SCALE



THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:  
NAME: NAPERVILLE CITY CLERK  
ADDRESS: 400 S. EAGLE STREET  
NAPERVILLE, IL 60540

City Council Meeting - 6/19/2012 - 285

LOCATION MAP  
NO SCALE



AREA SUMMARY	
GROSS	47,704 SQUARE FEET OR 1.095 ACRES
DEDICATION	5,777 SQUARE FEET OR 0.133 ACRES
NET AREA (LOT 1)	41,927 SQUARE FEET OR 0.962 ACRES
(BASED ON MEASURED VALUES)	

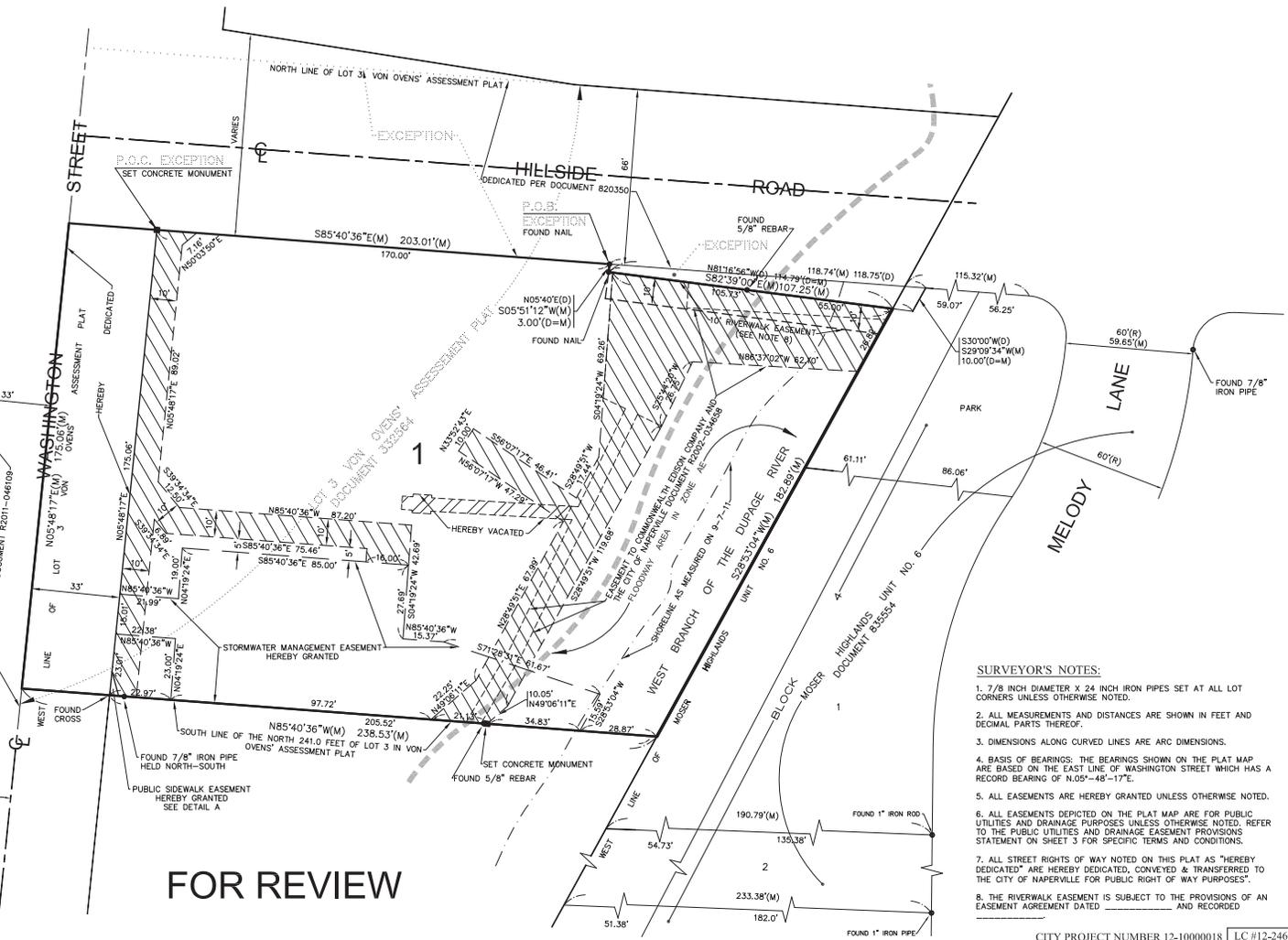
- PUBLIC UTILITIES AND DRAINAGE EASEMENT HEREBY GRANTED
- PORTION OF EASEMENT TO COMMONWEALTH EDISON COMPANY AND THE CITY OF NAPERVILLE DOCUMENT R2002-034658 HEREBY VACATED

- ABOLIS**
- OUTSIDE DIAMETER IRON PIPE (BE SET)
  - OUTSIDE DIAMETER IRON PIPE
  - CONCRETE MONUMENT

- LINE LEGEND**
- SUBDIVISION BOUNDARY LINE
  - ADJACENT LAND PARCEL LINE
  - EASEMENT LINE
  - CENTERLINE
  - BUILDING SETBACK LINE
  - SECTION LINE

- ABBREVIATIONS**
- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
  - (R) = RECORD BEARING OR DISTANCE
  - (M) = MEASURED BEARING OR DISTANCE
  - (C) = CALCULATED BEARING OR DISTANCE
  - (D) = DEED BEARING OR DISTANCE
  - A = ARC LENGTH
  - R = RADIUS
  - CH = CHORD
  - CB = CHORD BEARING
  - B.S.L. = BUILDING SETBACK LINE
  - U.E. = UTILITIES EASEMENT
  - D.E. = DRAINAGE EASEMENT
  - P.U.E. = PUBLIC UTILITIES EASEMENT
  - P.O.C. = POINT OF COMMENCEMENT
  - P.O.B. = POINT OF BEGINNING
  - P.U. & D.E. = PUBLIC UTILITIES AND DRAINAGE EASEMENT
  - ROW = RIGHT OF WAY

G:\Projects\2011 Projects\11.0003\11.0003-01 - Plat of Sub\11.0003-02 PDS.dwg



FOR REVIEW

**SURVEYOR'S NOTES:**

1. 7/8 INCH DIAMETER X 24 INCH IRON PIPES SET AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.
2. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
3. DIMENSIONS ALONG CURVED LINES ARE ARC DIMENSIONS.
4. BASIS OF BEARINGS: THE BEARINGS SHOWN ON THE PLAT MAP ARE BASED ON THE EAST LINE OF WASHINGTON STREET WHICH HAS A RECORD BEARING OF N.05°-48'-17"E.
5. ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.
6. ALL EASEMENTS DEPICTED ON THE PLAT MAP ARE FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES UNLESS OTHERWISE NOTED. REFER TO THE PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS STATEMENT ON SHEET 3 FOR SPECIFIC TERMS AND CONDITIONS.
7. ALL STREET RIGHTS OF WAY NOTED ON THIS PLAT AS "HEREBY DEDICATED" ARE HEREBY DEDICATED, CONVEYED & TRANSFERRED TO THE CITY OF NAPERVILLE FOR PUBLIC RIGHT OF WAY PURPOSES.
8. THE RIVERWALK EASEMENT IS SUBJECT TO THE PROVISIONS OF AN EASEMENT AGREEMENT DATED \_\_\_\_\_ AND RECORDED \_\_\_\_\_

NO.	DATE	BY	REVISIONS	PC N/A	DRAWN BY	CHKD BY	BOOK N/A	PG N/A
1	3-1-12	LES						
2	3-21-12	LP						

ENGINEER	WATERMARK ENGINEERING RESOURCES, LTD.
PROJECT	McDonald's Washington Street & Hillside Road Naperville, Illinois
CLIENT	McDonald's COR 1320 Woodlawn Road Warrenville, Illinois 60555

SCALE: 1" = 20'	1 OF 3
CITY PROJECT NUMBER 12-10000018   LC#12-2460	McDONALD'S ON THE RIVER-PRELIMINARY/FINAL PLAT OF SUBDIVISION

PRELIMINARY / FINAL PLAT OF SUBDIVISION  
**McDONALD'S ON THE RIVER**

PART OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE  
 THIRD PRINCIPAL MERIDIAN, DU PAGE COUNTY ILLINOIS

**DU PAGE COUNTY RECORDER'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD  
 IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS,  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M, AND WAS RECORDED IN  
 BOOK \_\_\_\_\_ OF PLATS ON PAGE \_\_\_\_\_  
 RECORDER OF DEEDS \_\_\_\_\_

**DU PAGE COUNTY CLERK'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 I, \_\_\_\_\_ COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO  
 DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF  
 THE LAND INCLUDED IN THE ANNEXED PLAT.  
 I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.  
 GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS,  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 \_\_\_\_\_  
 COUNTY CLERK

**CITY TREASURER'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 I, \_\_\_\_\_ TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR  
 FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND  
 INCLUDED IN THE ANNEXED PLAT.  
 DATED AT NAPERVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 \_\_\_\_\_  
 CITY TREASURER / DIRECTOR, FINANCE DEPARTMENT

**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL  
 OF THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD  
 THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
 MAYOR CITY CLERK

**COMMONWEALTH EDISON COMPANY**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 VACATION OF THAT PART OF THE EASEMENT SHOWN HEREON  
 APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 \_\_\_\_\_  
 COMMONWEALTH EDISON COMPANY  
 BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DUPAGE )  
 THIS IS TO CERTIFY THAT KRISIS KINGS, LLC IS THE OWNER OF THE LAND DESCRIBED AND SHOWN ON  
 THE ANNEXED PLAT, AND THAT SAID OWNER HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED  
 FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE  
 SAME UNDER THE STYLE AND TITLE THEREON INDICATED.  
 DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 OWNER: KRISIS KINGS LLC  
 \_\_\_\_\_  
 OWNER'S REPRESENTATIVE

**NOTARY'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_ A NOTARY PUBLIC, IN AND FOR SAID COUNTY  
 IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_  
 PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING  
 INSTRUMENT AS SUCH OWNER APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE  
 SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS OWN FREE AND VOLUNTARY ACT FOR THE USES AND  
 PURPOSES THEREIN SET FORTH.  
 GIVEN UNDER MY HAND AND SEAL  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 \_\_\_\_\_  
 NOTARY SIGNATURE

**MORTGAGEE'S CERTIFICATE**

STATE OF \_\_\_\_\_ )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )  
 \_\_\_\_\_ AS MORTGAGEE, UNDER THE  
 PROVISIONS OF A CERTAIN MORTGAGE DATED \_\_\_\_\_, A.D., 20\_\_\_\_  
 AND RECORDED IN THE RECORDER'S OF DEEDS OFFICE OF \_\_\_\_\_ COUNTY,  
 ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., \_\_\_\_\_  
 AS DOCUMENT NO. \_\_\_\_\_ HEREBY CONSENTS TO  
 AND APPROVES THE SUBDIVISION OF THE LAND  
 AND THE GRANTING OF THE EASEMENT(S) DEPICTED HEREON.  
 DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 MORTGAGEE NAME: \_\_\_\_\_  
 BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
 ITS: \_\_\_\_\_ ITS: \_\_\_\_\_

**NOTARY'S CERTIFICATE**

STATE OF \_\_\_\_\_ )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )  
 THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID,  
 DO HEREBY CERTIFY THAT \_\_\_\_\_  
 (NAME) \_\_\_\_\_ (TITLE) \_\_\_\_\_  
 OF \_\_\_\_\_ AND (NAME) \_\_\_\_\_  
 (TITLE) \_\_\_\_\_ OF \_\_\_\_\_  
 WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE  
 NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH  
 (TITLE) \_\_\_\_\_ AND (TITLE) \_\_\_\_\_  
 RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND  
 ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT  
 AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT  
 OF SAID \_\_\_\_\_ AS MORTGAGEE, FOR THE USES AND  
 PURPOSES THEREIN SET FORTH.  
 GIVEN UNDER MY HAND AND SEAL  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2-\_\_\_\_  
 \_\_\_\_\_  
 NOTARY PUBLIC

**NAPERVILLE DEPARTMENT OF PUBLIC UTILITIES-ELECTRIC CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 VACATION OF THAT PART OF THE EASEMENT SHOWN HEREON  
 APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 NAPERVILLE DEPARTMENT OF PUBLIC UTILITIES- ELECTRIC  
 BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**NAPERVILLE DEPARTMENT OF PUBLIC UTILITIES WATER AND WASTEWATER**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 VACATION OF THAT PART OF THE EASEMENT SHOWN AND DESCRIBED HEREON  
 APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 NAPERVILLE DEPARTMENT OF PUBLIC UTILITIES WATER AND WASTEWATER  
 BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**LAND SURVEYOR AUTHORIZATION TO RECORD PLAT**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 THIS IS TO STATE THAT \_\_\_\_\_ AN  
 ILLINOIS PROFESSIONAL LAND SURVEYOR, BEING THE SAME LAND SURVEYOR  
 WHO PREPARED AND CERTIFIED THE PLAT OF SUBDIVISION HEREON DRAWN  
 TITLED \_\_\_\_\_  
 PRINT SUBDIVISION NAME  
 DO HEREBY AUTHORIZE THE CITY OF NAPERVILLE CITY CLERK OR AN  
 EMPLOYEE OF THE CITY CLERK'S OFFICE TO PRESENT SAID PLAT OF  
 SUBDIVISION TO THE \_\_\_\_\_ COUNTY RECORDER OF DEEDS  
 TO BE RECORDED.  
 GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 \_\_\_\_\_  
 SIGNATURE  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. \_\_\_\_\_

**SCHOOL DISTRICT BOUNDARY STATEMENT**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DU PAGE )  
 THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:  
 1. THAT \_\_\_\_\_ IS/ARE THE OWNER(S) OF THE PROPERTY LEGALLY  
 DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR  
 APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE; AND  
 2. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH THIS TRACT, PARCEL, LOT OR  
 BLOCK OF THE PROPOSED SUBDIVISION LIES IS:  
 NAPERVILLE COMMUNITY UNIT DISTRICT 203  
 203 W. HILLSIDE ROAD  
 NAPERVILLE, ILLINOIS 60540-6589  
 PRINT OWNER'S  
 NAMES: \_\_\_\_\_ AND \_\_\_\_\_  
 BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_  
 SUBSCRIBED AND SWORN BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 \_\_\_\_\_  
 NOTARY PUBLIC

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FOR REVIEW

EXHIBIT B

DATE	12-22-11	FC	N/A	DRAWN BY	MWA	CHECKED BY	SK	BOOK	N/A	PG	N/A
NO.	3										
DATE	3-19-12	BY									
DATE	3-21-12	BY									
FOR LETTER PLAT	3-1-12										
FOR LETTER BOOK	2-28-12										
PROJECT	McDonald's										
ENGINEER	WATERMARK ENGINEERING RESOURCES, LTD. 201 GINGER WOODS PARKWAY, SUITE 100 NAPERVILLE, ILLINOIS 60563 PHONE: 630.212.6200 FAX: 630.212.6200 info@watermark-engineering.com										
PROJECT	McDonald's Washington Street & Hillside Road Naperville, Illinois										
PROJECT	McDONALD'S CORP 1400 West Hillside Road Naperville, Illinois 60563										
PROJECT	COMPASS SURVEYING LTD 100 STELLA MARINA PARKWAY, SUITE 100 NAPERVILLE, ILLINOIS 60563 PHONE: (630) 212-6200 FAX: (630) 212-6200 ALTA SURVEYING CORPORATION MEMBER OF THE										
SCALE	NONE										
OF	2 OF 3										

# PRELIMINARY / FINAL PLAT OF SUBDIVISION

# McDONALD'S ON THE RIVER

PART OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DU PAGE COUNTY ILLINOIS

### CITY OF NAPERVILLE STREET CLASSIFICATIONS

ALL STREETS WITHIN THIS SUBDIVISION SHALL BE CLASSIFIED AS LOCAL STREETS WITH THE FOLLOWING EXCEPTIONS:

STREET	FROM	TO	CLASSIFICATION
WASHINGTON ST.	HILLSIDE RD.	SOUTH LINE OF LOT 1	MAJOR ARTERIAL

### SURFACE WATER STATEMENT

STATE OF ILLINOIS) SS  
COUNTY OF DU PAGE)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

ILLINOIS REGISTERED  
PROFESSIONAL ENGINEER

STATE REGISTRATION NUMBER \_\_\_\_\_

REGISTRATION EXPIRATION / RENEWAL DATE \_\_\_\_\_

BY: \_\_\_\_\_ BY: \_\_\_\_\_  
OWNER SIGNATURE OWNER SIGNATURE

### PLANNING AND ZONING COMMISSION CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF DU PAGE)

APPROVED BY THE CITY OF NAPERVILLE PLANNING AND ZONING COMMISSION

AT A MEETING HELD THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
CHAIRMAN SECRETARY

### STORMWATER MANAGEMENT EASEMENT AND COVENANT PROVISIONS

PERPETUAL PUBLIC STORMWATER AND DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF NAPERVILLE, ITS AGENTS, SUCCESSORS AND ASSIGNS, OR ANY OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION OVER DRAINAGE OR STORMWATER FACILITIES, OVER, ON, ACROSS AND UNDER ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT" OR (S.M.E.) ON THE PLAT FOR THE RIGHT, PRIVILEGE, AND AUTHORITY FOR THE PURPOSES OF:

- SURVEYING, CONSTRUCTING, RECONSTRUCTING, REPAIRING, INSPECTING, MAINTAINING, AND OPERATING ALL STORMWATER MANAGEMENT FACILITIES, STRUCTURES, GRADES, AND SLOPES ON LOT 1 STORMWATER MANAGEMENT EASEMENT
- ENTERING ONTO LOT 1 TO PERFORM THE WORK SPECIFIED IN PARAGRAPH 1 TOGETHER WITH THE RIGHT OF ACCESS FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE REQUIRED WORK.
- CUTTING DOWN, TRIMMING, OR REMOVING TREES, SHRUBS, PLANTS, MULCH, LANDSCAPING STRUCTURES, RETAINING WALLS OR ANY OTHER MATERIALS ON LOT 1 WHICH INTERFERE WITH THE OPERATIONS OF THE STORMWATER FUNCTIONS.

NO PERMANENT BUILDINGS, OR UTILITY FACILITIES SHALL BE CONSTRUCTED ON THE EASEMENT BY THE OWNER, OR THE OWNER'S SUCCESSORS IN INTEREST, BUT SAID EASEMENT MAY BE USED FOR OTHER PURPOSES THAT DO NOT NOW OR LATER INTERFERE OR CONFLICT WITH THE AFORESAID USES OR RIGHTS OR IN ANY WAY AFFECT OR IMPED THE STORAGE OR FREE FLOW OF STORMWATER ON AND OVER SAID EASEMENT. THE CITY OF NAPERVILLE IS HEREBY GRANTED A PERMANENT AND PERPETUAL MUNICIPAL UTILITY EASEMENT OVER, UNDER AND THROUGH THE EASEMENT FOR THE PURPOSES OF CONSTRUCTION AND MAINTENANCE OF WATER, WASTEWATER AND ELECTRIC UTILITY FACILITIES. THE CITY MAY CONSTRUCT SUCH MUNICIPAL UTILITY FACILITIES ON THE EASEMENT ONLY AFTER SUBMITTING AND RECEIVING APPROVAL OF ENGINEERING PLANS FROM THE CITY ENGINEER OR THE CITY ENGINEER'S DESIGNEE. THE CITY OF NAPERVILLE SHALL, UPON COMPLETION OF ANY MUNICIPAL UTILITY WORK ON THE EASEMENT RESTORE THE EASEMENT PREMISES TO THE SAME OR BETTER SURFACE CONDITION THAN THAT EXISTED PRIOR TO BEGINNING OF THE CITY WORK.

IF EITHER THE OWNER OR DEVELOPER FAILS TO MAINTAIN THE STORMWATER DETENTION/RETENTION FACILITIES ON LOT 1 AS REQUIRED, THE CITY OF NAPERVILLE OR OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION OVER DRAINAGE OR STORMWATER FACILITIES ON LOT 1 SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM MAINTENANCE, REPAIR, CONSTRUCTION, OR RECONSTRUCTION NECESSARY TO MAINTAIN STORMWATER STORAGE OR FLOW ON THE EASEMENT AREA.

THE INDIVIDUAL OWNER(S) OF THE LOT CREATED BY THE FINAL PLAT OF SUBDIVISION, OR THEIR HEIRS, LEGATEES, ASSIGNS, OR SUCCESSORS IN INTEREST, SHALL BE JOINTLY AND SEVERALLY LIABLE FOR ALL COSTS INCURRED BY THE CITY OR OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION OVER DRAINAGE OR STORMWATER FACILITIES ON LOT 1, IN PERFORMING SUCH WORK, PLUS AN ADDITIONAL TEN (10%) PERCENT AND ANY REASONABLE ATTORNEYS' FEES, INCLUDING THE COSTS OF IN-HOUSE COUNSEL, CONNECTED WITH THE COLLECTION OF SUCH COSTS.

THE ACTUAL COSTS OF THE CITY, OR OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION, TO PERFORM ANY NECESSARY WORK, AS DETERMINED BY THE CITY, OR SUCH OTHER GOVERNMENTAL ENTITY, PLUS TEN (10%) PERCENT AND ALL ATTORNEYS' FEES, SHALL CONSTITUTE A LIEN AGAINST THE INDIVIDUAL LOT, WHICH LIEN MAY BE FORECLOSED BY AN ACTION BROUGHT IN A COURT OF COMPETENT JURISDICTION BY OR ON BEHALF OF THE CITY OR SUCH OTHER GOVERNMENTAL ENTITY.

THE PROVISIONS OF THESE COVENANTS AND DECLARATIONS RELATING TO STORMWATER OBLIGATIONS SHALL NOT BE AMENDED, MODIFIED, OR ABROGATED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OR OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION OVER DRAINAGE OR STORMWATER FACILITIES ON LOT 1.

ALL OF THE ABOVE-STATED OBLIGATIONS SHALL ALSO BE CLEARLY REFERENCED IN ANY COVENANTS, CONDITIONS, DECLARATIONS, AND RESTRICTIONS RECORDED AGAINST ANY OF THE LOTS CREATED BY THIS FINAL PLAT OF SUBDIVISION, AND IN ANY DEEDS OR TITLE DOCUMENTATION REQUIRED FOR THE CONVEYANCE OF ANY OF SUCH INDIVIDUAL LOT OR LOTS.

THE LOT OWNER OF LOT 1 SHALL HAVE THE PERPETUAL DUTY AND OBLIGATION TO FURNISH OR TO CAUSE TO BE FURNISHED, TO THE CITY OF NAPERVILLE, ILLINOIS, AN ANNUAL INSPECTION REPORT FOR THE STORMWATER FACILITIES, PREPARED BY AN ILLINOIS LICENSED PROFESSIONAL ENGINEER IN WHICH THE CONDITION OF THE STORMWATER MANAGEMENT FACILITIES WITHIN THE LOT ARE DESCRIBED IN DETAIL, RECOMMENDATIONS FOR MAINTENANCE AND REPAIRS ARE MADE AND INCLUDING A CERTIFICATION THAT THE CONDITION OF THE STORMWATER FACILITIES IS SUCH THAT THEY WILL OPERATE IN ACCORDANCE WITH THE ORIGINAL DESIGN INTENT.

### PUBLIC SIDEWALK EASEMENT PROVISIONS

A PERMANENT PUBLIC SIDEWALK EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ITS SUCCESSORS AND ASSIGNS OVER THE AREA(S) MARKED "PUBLIC SIDEWALK EASEMENT" ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, AND REPAIR THE PUBLIC SIDEWALK WITHIN THE SUBJECT EASEMENT THAT AREAL TOGETHER WITH ANY AND ALL NECESSARY STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY OVER, UPON, ALONG, AND THROUGH SAID INDICATED EASEMENT TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS ACROSS THE PROPERTY FOR PEDESTRIAN TRAFFIC AND FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE PUBLIC SIDEWALKS. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAID EASEMENT MAY BE USED FOR LAWNS AND LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

INDEMNIFICATION: THE CITY OF NAPERVILLE, FOR ITSELF, ITS EMPLOYEES, AGENTS, INDEPENDENT CONTRACTORS AND MEMBERS OF THE GENERAL PUBLIC ("INVITEES"), HEREBY AGREES TO INDEMNIFY, DEFEND (AT OWNER'S ELECTION) AND HOLD HARMLESS OWNER, ITS MEMBERS, OFFICERS, EMPLOYEES, TENANTS, GUESTS, INVITEES, AND SUCCESSORS (INDIVIDUALLY AN "INDEMNITEE" AND COLLECTIVELY THE "INDEMNITEES") FROM ANY AND ALL CLAIMS, JUDGMENTS, LIABILITIES, COSTS AND EXPENSES, INCLUDING, WITHOUT LIMITATION, REASONABLE ATTORNEYS' FEES, COURT COSTS AND EXPERT WITNESS FEES, FOR PERSONAL INJURY, DEATH OR DAMAGE TO THE PROPERTY INCURRED BY OR BROUGHT AGAINST ANY OR ALL OF THE INDEMNITEES ARISING DIRECTLY OR INDIRECTLY AS A RESULT OF THE CITY OF NAPERVILLE'S OR ITS INVITEES' CONSTRUCTION, USE OR MISUSE OF THE PERMANENT PUBLIC SIDEWALK EASEMENT.

### PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ILLINOIS AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE CITY OF NAPERVILLE, INCLUDING, BUT NOT LIMITED TO, ILLINOIS BELL TELEPHONE COMPANY DBA AT&T ILLINOIS, NICOR GAS COMPANY AND THEIR SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "PUBLIC UTILITIES AND DRAINAGE EASEMENTS" OR "P.U. & D.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNA TELEVISION SYSTEMS AND INCLUDING STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY, OVER, UPON, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH RIGHT OF ACCESS ACROSS THE GRANTORS PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENTS THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE CITY OF NAPERVILLE.

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE.

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) SS  
COUNTY OF KANE)

I, \_\_\_\_\_, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. \_\_\_\_\_, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY:

THAT PART OF LOT 3 OF VON OVENS' ASSESSMENT PLAT OF PART OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WESTERLY OF THE WEST LINE OF MOSER HIGHLANDS UNIT NO. 6, A SUBDIVISION OF PART OF SECTION 19 AND 24, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 835564, DESCRIBED AS FOLLOWS: THE NORTH 241.0 FEET, AS MEASURED PARALLEL TO THE NORTH LINE OF SAID LOT, EXCEPT THE NORTH 66.0 FEET THEREOF; AND EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY OF WASHINGTON STREET AND THE SOUTH RIGHT OF WAY LINE OF SAID HILLSIDE ROAD, AS NOW PLATTED AND RECORDED ACCORDING TO DOCUMENT NUMBER 820350, AND RUNNING THENCE EASTERLY ALONG THE SOUTH RIGHT OF WAY LINE OF SAID HILLSIDE ROAD, 170.0 FEET TO THE PLACE OF BEGINNING, THENCE CONTINUING EASTERLY ALONG THE LATEST DESCRIBED COURSE, 118.7 FEET, THENCE SOUTH 30 DEGREES 00 MINUTES WEST 10.0 FEET, THENCE NORTH 81 DEGREES 16 MINUTES 56 SECONDS WEST 114.79 FEET, THENCE NORTH 5 DEGREES 40 MINUTES EAST, 3.0 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AND IS WITHIN THE CITY OF NAPERVILLE WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED, AND A PORTION OF THE SITE FALLS WITHIN "FLOODWAY AREAS IN ZONE AE" WHILE THE REMAINDER OF THE SITE FALLS WITHIN "OTHER AREAS: ZONE X" (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 170213 0013 G, HAVING AN EFFECTIVE DATE OF MAY 18, 1992.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

COMPASS LAND SURVEYING LTD.  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYING CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2013

BY: \_\_\_\_\_

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. \_\_\_\_\_

EXPIRES: \_\_\_\_\_

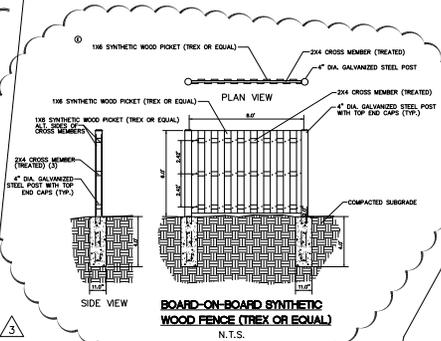
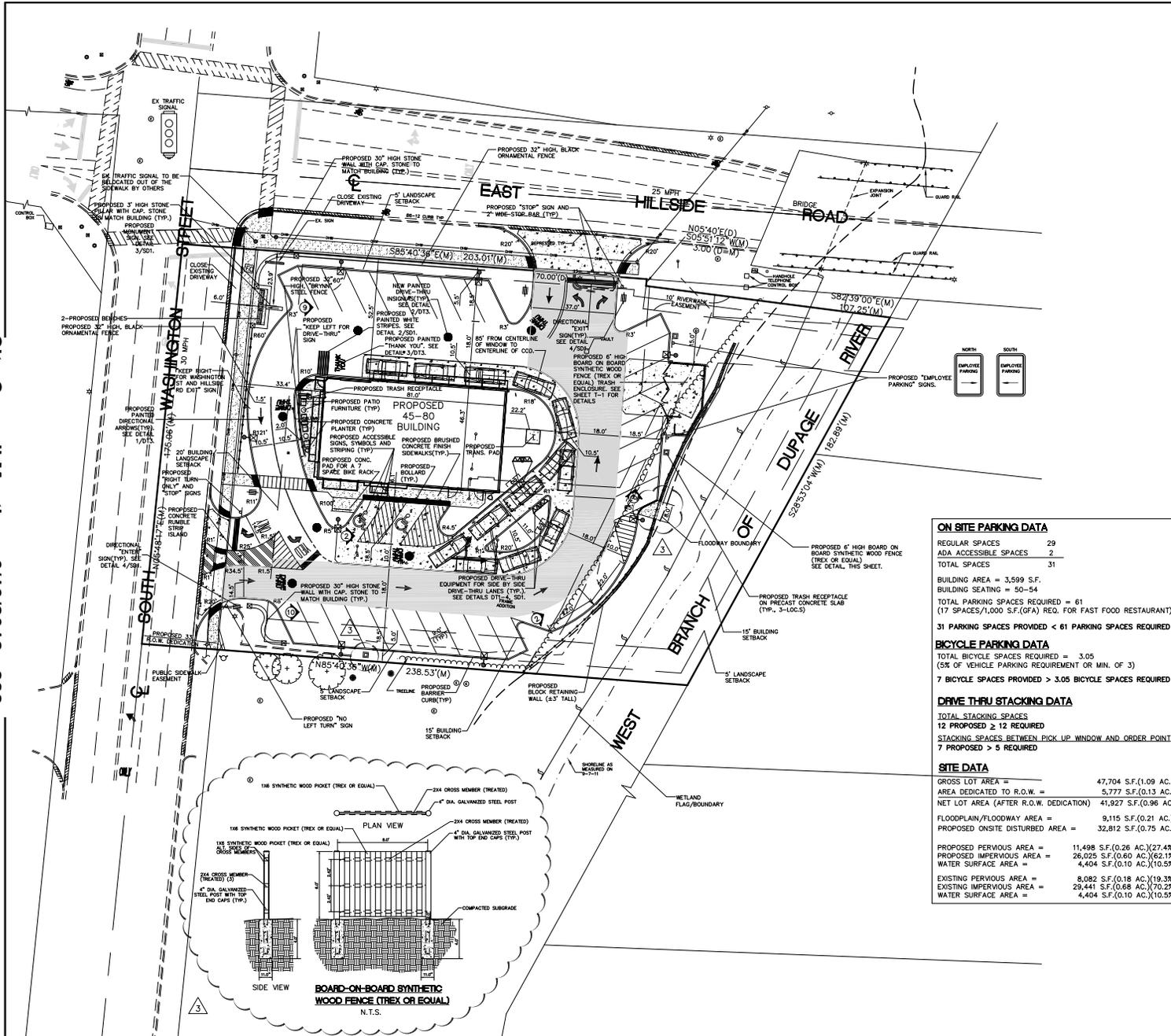
DATE: 02-29-11	PC: N/A	DRAWN BY: MAA	CHECKED BY: SK	BOOK: N/A	RS: N/A
NO. 1	DATE: 02-29-11	BY: MAA	REVISIONS:		
NO. 2	DATE: 02-29-11	BY: MAA	REVISIONS:		
NO. 3	DATE: 02-29-11	BY: MAA	REVISIONS:		
PROJECT: McDonald's Washington Street & Hillside Road Naperville, Illinois CLIENT: McDonald's COR 4320 Westfield Road Naperville, Illinois 60565					
ENGINEER: WATERMARK ENGINEERING RESOURCES, LTD. 2611 GINGER WOODS PARKWAY, SUITE 100 NAPERVILLE, ILLINOIS 60563 PHONE: 630-754-8900 FAX: 630-262-9890 WWW.WATERMARKENGINEERING.COM OWNER:					
COMPASS LAND SURVEYING LTD. 10011 STATE AVENUE AURORA, ILLINOIS 60018 PHONE: 630-330-0000 FAX: 630-330-0000 WWW.COMPASSLANDSURVEYING.COM					
SCALE: NONE					
3 OF 3					

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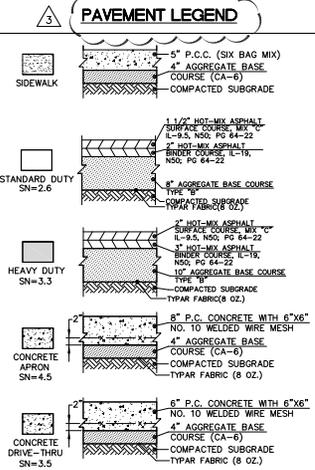
FOR REVIEW

EXHIBIT B



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC AND BOUNDARY SURVEY (SURVEY PROJECT #11.0003-01 DATED 09/15/11) PREPARED BY: COMPASS SURVEYING LTD. 2631 GINGER WOODS PARKWAY, SUITE 100 AURORA, IL 60502 P#630.820.9100 F#630.820.7030  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**SITE PLAN NOTES:**  
 1. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.  
 2. SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.  
 3. ALL STRIPING TO BE DOUBLE COATED 4" WHITE PAINT UNLESS OTHERWISE NOTED.



**ON SITE PARKING DATA**

REGULAR SPACES	29
ADA ACCESSIBLE SPACES	2
TOTAL SPACES	31

BUILDING AREA = 3,599 S.F.  
 BUILDING SEATING = 50-54  
 TOTAL PARKING SPACES REQUIRED = 61  
 (17 SPACES/1,000 S.F.(GFA) REQ. FOR FAST FOOD RESTAURANT)  
 31 PARKING SPACES PROVIDED < 61 PARKING SPACES REQUIRED

**BICYCLE PARKING DATA**

TOTAL BICYCLE SPACES REQUIRED =	3.05
(5% OF VEHICLE PARKING REQUIREMENT OR MIN. OF 3)	
7 BICYCLE SPACES PROVIDED > 3.05 BICYCLE SPACES REQUIRED	

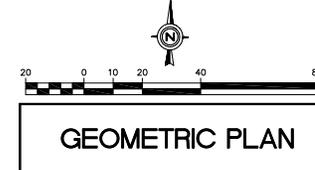
**DRIVE THRU STACKING DATA**

TOTAL STACKING SPACES	12
12 PROPOSED ≥ 12 REQUIRED	
STACKING SPACES BETWEEN PICK UP WINDOW AND ORDER POINT	7
7 PROPOSED > 5 REQUIRED	

**SITE DATA**

GROSS LOT AREA =	47,704 S.F.(1.09 AC.)
AREA DEDICATED TO R.O.W. =	5,777 S.F.(0.13 AC.)
NET LOT AREA (AFTER R.O.W. DEDICATION) =	41,927 S.F.(0.96 AC.)
FLOODPLAIN/FLOODWAY AREA =	9,115 S.F.(0.21 AC.)
PROPOSED ONSITE DISTURBED AREA =	32,812 S.F.(0.75 AC.)
PROPOSED PERVIOUS AREA =	11,498 S.F.(0.26 AC.)(27.4%)
PROPOSED IMPERVIOUS AREA =	28,026 S.F.(0.60 AC.)(62.1%)
WATER SURFACE AREA =	4,404 S.F.(0.10 AC.)(10.5%)
EXISTING PERVIOUS AREA =	8,082 S.F.(0.18 AC.)(19.3%)
EXISTING IMPERVIOUS AREA =	29,441 S.F.(0.68 AC.)(70.2%)
WATER SURFACE AREA =	4,404 S.F.(0.10 AC.)(10.5%)

**NOTES:**  
 1. REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.  
 2. THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.  
 3. THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD LABORATORY DENSITY PER SECTION 301.  
 4. PROVIDE CONTRACTION JOINTS ON CONCRETE PAVEMENT AT 18' O.C. FOR SIDEWALKS, PROVIDE CONTROL JOINT AT 5' O.C., EXPANSION JOINTS AT 50' O.C.



DATE: 03/27/12  
 PER DATE: 03/27/12  
 1. PREPARED BY: J. MILLER  
 2. DRAWN BY: K. SACK  
 DATE: MARCH 27, 2012  
 SCALE: 1" = 20'  
 PROJECT NO.: 10-078

Prepared For: **McDonald's Corporation**  
 4320 Waukegan Road, Suite 400  
 Waukegan, IL 60085

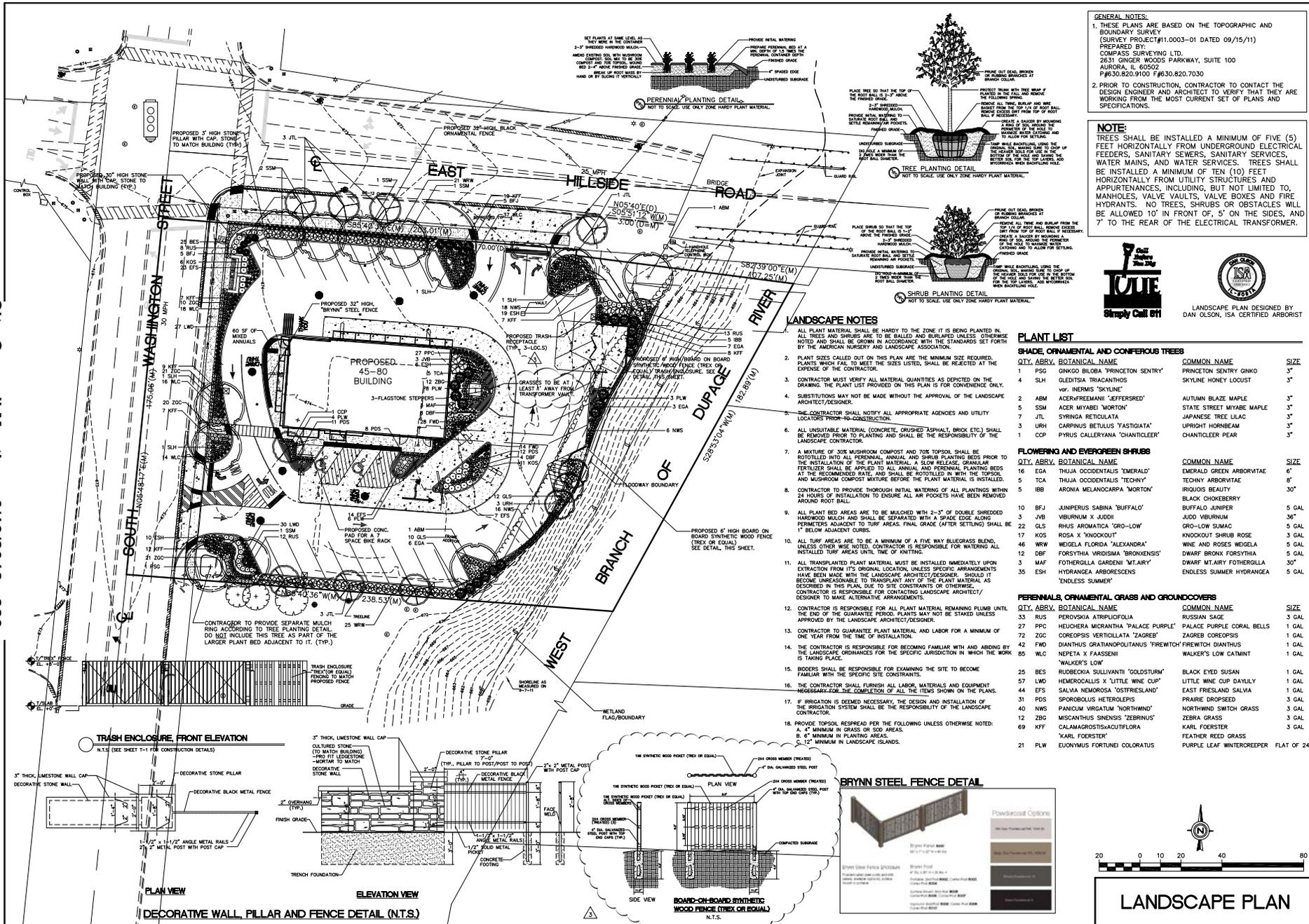
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 City of Aurora  
 City Council Meeting - 6/19/2012 - 288

**WALCMARK ENGINEERING**  
 1000 W. 15th Street, Suite 200  
 Aurora, IL 60506  
 (630) 232-2888  
 www.walcmark.com

Prepared: **J. MILLER**  
 Checked: **J. MILLER**  
 Design: **K. SACK**  
 Drawn: **K. SACK**  
 Date: **MARCH 27, 2012**  
 Scale: **1" = 20'**  
 Project No.: **10-078**

**C-2**  
 LC #12-0260

**SITE PLAN**



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC AND BOUNDARY SURVEY (SURVEY PROJECT #11.003-001 DATED 09/15/11) PREPARED BY: COMPASS SURVEYING LTD. 2631 GINGER WOODS PARKWAY, SUITE 100 AURORA, IL 60502 #630.820.7030  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**NOTE:**  
 TREES SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS. NO TREES, SHRUBS OR OBSTACLES WILL BE ALLOWED 10' IN FRONT OF, 5' ON THE SIDES, AND 7' TO THE REAR OF THE ELECTRICAL TRANSFORMER.



LANDSCAPE PLAN DESIGNED BY DAN OLSON, ISA CERTIFIED ARBORIST

**LANDSCAPE NOTES**

1. ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED. PLANTS WHICH FAIL TO MEET THE STANDARDS SET FORTH BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL MATERIALS AT THE EXPENSE OF THE CONTRACTOR.
3. CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL MATERIALS AT THE EXPENSE OF THE CONTRACTOR.
4. SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
5. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATOR PRIOR TO CONSTRUCTION.
6. ALL UNSUITABLE MATERIAL (CONCRETE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. A MIXTURE OF 50% MUSHROOM COMPOST AND 70% TOPSOIL SHALL BE ROTOTILLED INTO ALL PERENNIAL, ANNUAL AND SHRUB PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE TOPSOIL AND MUSHROOM COMPOST MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
8. CONTRACTOR TO PROVIDE THROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 24 HOURS OF INSTALLATION TO ENSURE ALL AIR Pockets HAVE BEEN REMOVED AROUND ROOT BALL.
9. ALL PLANT BED AREAS ARE TO BE MULCHED WITH 2"-3" OF DOUBLE SHREDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A GRADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
10. ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHER WISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL THE TIME OF "KNOTTING".
11. ALL TRANSPORTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPORT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
12. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
13. CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
15. BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
16. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
17. IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
18. PROVIDE TOPSOIL RESURFACE PER THE FOLLOWING UNLESS OTHERWISE NOTED:  
 A. 4" MINIMUM IN GRASS OR SOFT AREAS  
 B. 6" MINIMUM IN PLANTING AREAS  
 C. 6" MINIMUM IN LANDSCAPE ISLANDS.

**PLANT LIST**

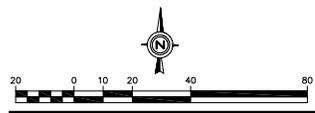
QTY	ARBV.	BOTANICAL NAME	COMMON NAME	SIZE
1	PSG	GINKGO BILOBA 'PRINCETON SENTINEL'	PRINCETON SENTINEL GINKGO	3"
4	SLH	GLEDITSIA TRIACANTHOS var. 'NERMIS 'SKYLINE'	SKYLINE HONEY LOOUST	3"
2	ABM	ACER 'FREMANNI' 'EYEPERSED'	AUTUMN BLAZE MAPLE	5"
5	SSM	ACER NYRABE 'MORTON'	STATE STREET NYRABE MAPLE	3"
7	JTL	SYRINGA RETICULATA	JAPANESE TREE LILAC	3"
3	URH	CARRNUS BETULUS 'FASTIGIATA'	UPRIGHT HORNBAM	3"
1	CCP	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3"

QTY	ARBV.	BOTANICAL NAME	COMMON NAME	SIZE
16	EGA	TUJIA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	6"
5	TCA	TUJIA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	8"
5	IBB	ARONIA MELANOCARPA 'MORTON'	IRIQUOIS BEAUTY	30"
10	BFJ	JUNIPERUS SABINA 'BUFFALO'	BLACK CHOKEBERRY	5 GAL
3	JVB	VIORNUM X JUDDI	JUDD VIORNUM	36"
22	GLS	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL
13	KOS	ROSA X 'KNOCKOUT'	KNOCKOUT SHRUB ROSE	3 GAL
46	WRW	WEGELIA FLORIDA 'ALEXANDRA'	WINE AND ROSES WEGELIA	5 GAL
12	DBF	FOSTYTHIA WOODSMA 'BROOKSHEN'S'	DWARF BROOK FOSTYTHIA	5 GAL
3	MAF	FOTHERGILLA GARDENI 'MILARY'	DWARF MILARY FOTHERGILLA	30"
5	ESH	HYDRANGEA ARBORESCENS 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	5 GAL

QTY	ARBV.	BOTANICAL NAME	COMMON NAME	SIZE
33	RUS	PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	3 GAL
27	PPC	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	1 GAL
72	ZCC	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB COREOPSIS	1 GAL
42	FWD	DIANTHUS GRATHANOPOLITANUS 'TREWITCH'	TREWITCH DIANTHUS	1 GAL
85	WLC	HEPETA X FASSISSENI	HEPETA X FASSISSENI	1 GAL
25	BES	RUDECKIA SULLIVANTI 'GOLDSTURM'	BLACK EYED SUSAN	1 GAL
17	LWD	HEMEROCALLIS X 'LITTLE WINE CUP'	LITTLE WINE CUP DAYLILY	1 GAL
44	EPS	SALVIA NEMOROSA 'OSTFRIESLAND'	EAST FRIESLAND SALVIA	1 GAL
31	PD5	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	3 GAL
40	NWS	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL
12	ZBG	MISCANTHUS SINENSIS 'ZEBRINUS'	ZEBRA GRASS	3 GAL
69	KFF	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER	3 GAL
1	PLW	EUONIUMUS FORTUNEI COLORATUS	PURPLE LEAF WINTERCREEPER	FLAT OF 24



**LANDSCAPE PLAN**

DATE: 02/27/12  
 PREPARED BY: DAN OLSON, ISA CERTIFIED ARBORIST  
 PROJECT NO.: 10-078

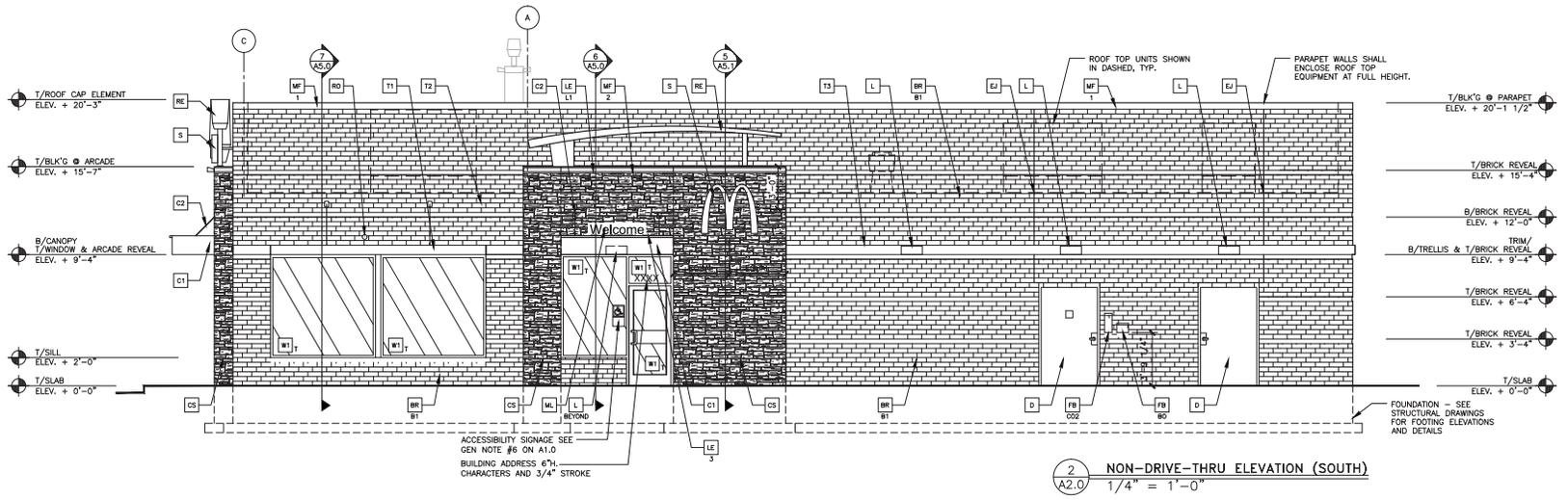
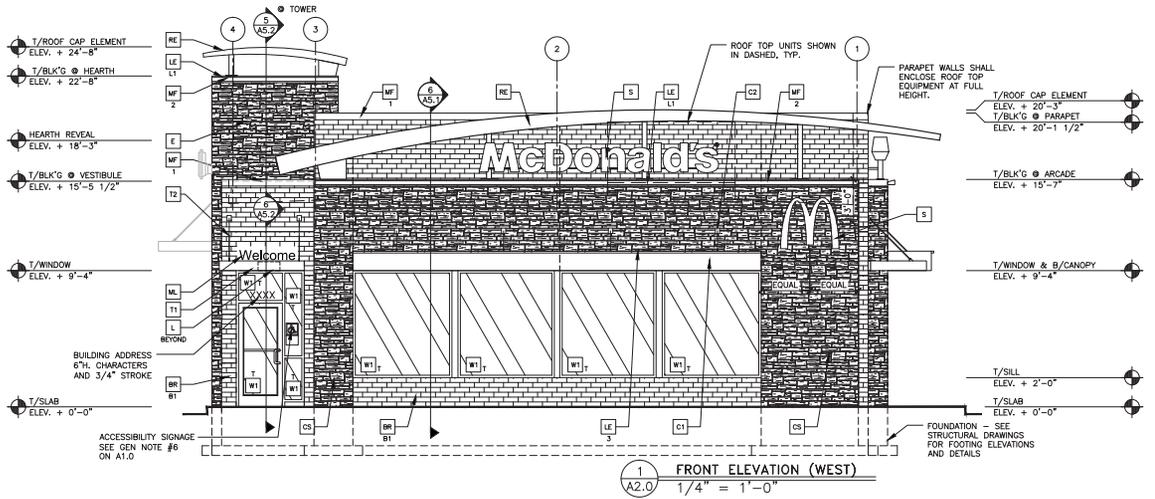
Prepared For: **PERVIL LEMAY - 5417 W. DUPAGE**  
 4320 Waukegan Road, Suite 400  
 Waukegan, IL 60085

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**WALCOT MARK ENGINEERING & DESIGN**  
 1001 W. 15th St., Suite 200, Waukegan, IL 60085  
 (847) 266-2660

CHECKED BY: J. MILLER  
 DESIGN BY: K. SACK  
 DRAWN BY: K. SACK  
 DATE: MARCH 27, 2012  
 SCALE: 1" = 20'  
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**LANDSCAPE PLAN**  
 L-1  
 LC #12-0260

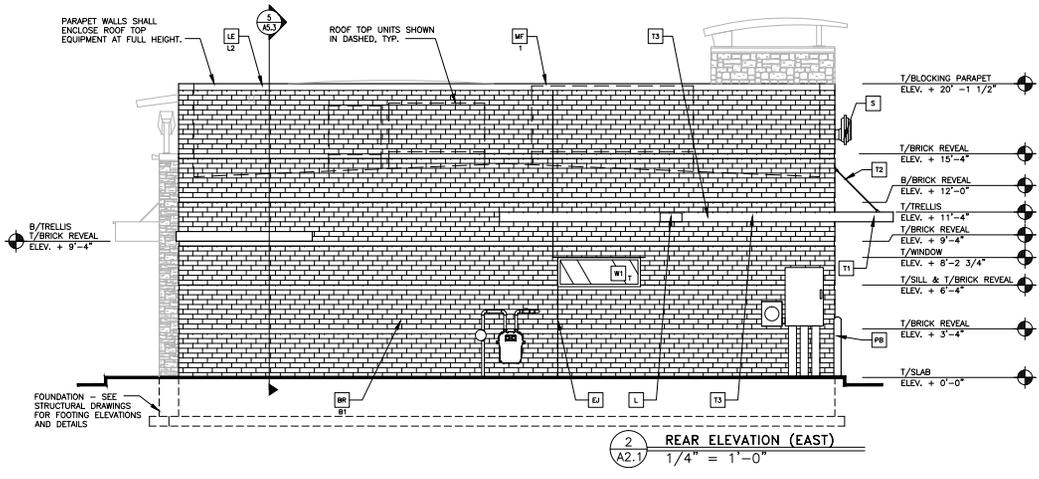
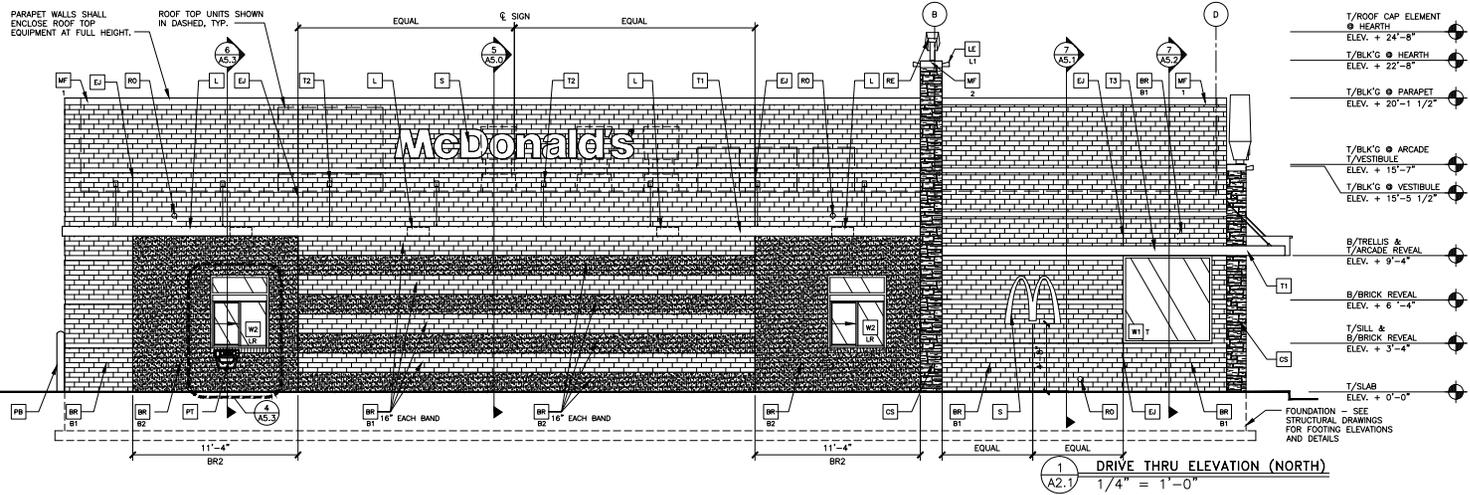


KEY NOTES:

- BR FACEBRICK
- BT COLOR:  
B1 = "RED VELOUR" BY SIOUX CITY (UTILITY SIZE)  
B2 = "MOCHA VELOUR" BY SIOUX CITY (UTILITY SIZE)
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A6.0
- TYPE:  
1 = PRE-FAB ANCHOR-TIE FASCIA  
2 = PRE-FAB CUSTOM ARCADE FASCIA  
3 = PRE-FAB MASONRY CAP FASCIA
- C1 ALUMINUM CANOPY SYSTEM (COLOR: YELLOW)
- C2 ALUMINUM CANOPY TI-BACK SYSTEM
- C3 COLOR:  
B1 = "RED VELOUR" BY SIOUX CITY (UTILITY SIZE)  
B2 = "MOCHA VELOUR" BY SIOUX CITY (UTILITY SIZE)  
C5 "SOUTHWEST PRO FF LESTONESTONE" - HORTER COLOR TO MATCH
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE "SNOW WHITE 2122-70" OR EQUAL
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 CO2 BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)  
BD BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- LE ACCENT LIGHTING - SEE ELECTRICAL
- LI LED LIGHT:  
L1 = UP AND DOWN FIXTURE  
L2 = DOWN ONLY FIXTURE  
L3 = INTEGRAL CANOPY FIXTURE
- ML METAL LETTERING - BY OTHERS
- PB PIPE BOLLARD - PAINTED YELLOW
- PV (BRNKC) COIN COLLECTOR
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TI-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM. DETAIL 3 ON SHEET A5.1
- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0
- T = TEMPERED GLASS
- XE DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER
- OPTIONS INCLUDE TRANSOM (SHOWN)
- SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT

CITY OF NAPERVILLE PROJECT NO 12-0000018

PROJECT NO.	2011 STANDARD BUILDING
ISSUE DATE	7/17/2011
REVISED BY	PP
DESIGNED BY	PP
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PROJECT NO.	2011 STANDARD BUILDING
ISSUE DATE	7/17/2011
REVISED BY	PP
DESIGNED BY	PP
CHECKED BY	PP
DATE	7/17/2011
SCALE	AS SHOWN
DRAWN BY	PP
DATE	7/17/2011
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PROJECT NO.	2011 STANDARD BUILDING
ISSUE DATE	7/17/2011
REVISED BY	PP
DESIGNED BY	PP
CHECKED BY	PP
DATE	7/17/2011



KEY NOTES:

- BR FACERBRICK
- BT COLOR: B1 = "RED VELOUR" BY SIOUX CITY (UTILITY SIZE) B2 = "MOCHA VELOUR" BY SIOUX CITY (UTILITY SIZE)
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A6.0
- TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = PRE-FAB CUSTOM ARCADE FASCIA 3 = PRE-FAB MASONRY CAP FASCIA
- CL ALUMINUM CANOPY SYSTEM (COLOR: YELLOW)
- CT ALUMINUM CANOPY TIE-BACK SYSTEM
- CS COLOR: B1 = "RED VELOUR" BY SIOUX CITY (UTILITY SIZE) B2 = "MOCHA VELOUR" BY SIOUX CITY (UTILITY SIZE)
- CS GULFED STONE - SOUTHWEST PRO FIT LEDGESTONE - MORTAR COLOR TO MATCH
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXT. INSULATION FINISH SYSTEM (EIF.S.) COLOR = BENJAMIN MOORE "SNOW WHITE 2122-70" OR EQUAL
- EX EXPANSION JOINT, SEE DETAIL 7/AA.1
- CO2 CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (WALL SCONES) - SEE ELECTRICAL
- LE LED LIGHT: L1 = UP AND DOWN FIXTURE L2 = DOWN ONLY FIXTURE L3 = INTEGRAL CANOPY FIXTURE
- ML METAL LETTERING - BY OTHERS
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMC) COIN COLLECTOR
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- TX ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM. DETAIL 3 ON SHEET A5.1
- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET ALSO
- T = TEMPERED GLASS
- DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER
- SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

PROJECT NO.	2011 4580-WOOD/WOOD
DATE	JULY 2011
ISSUE DATE	JULY 2011
DESIGNED BY	REDA BT
DRAWN BY	REDA BT
CHECKED BY	REDA BT
SCALE	1/4" = 1'-0"
PROJECT NAME	STANDARD BUILDING
ADDRESS/ENTRY	4580-WOOD/WOOD
CITY	SIoux CITY
STATE	IA
COUNTY	WASHBURN
PROJECT NO.	012-2460.003
SHEET NO.	A2.1
DATE	6/19/2012
BY	REDA BT
CITY COMMENTS	

**AMENDED  
CITY OF NAPERVILLE  
T.E.D. BUSINESS GROUP  
PETITION FOR DEVELOPMENT APPROVAL**

Development Name: McDonald's  
Development Address: 702 S. Washington Street  
PIN Number(s): 07-24-210-001  
Date of Submission:

**I. APPLICANT:**

Name: McDonald's USA, LLC  
Address: 4320 Winfield Road  
Suite 400  
Warrenville, IL 60555  
Phone: (630) 836-9090  
Primary Contact: Henry S. Stillwell III, Attorney  
Phone: (630) 510-4909  
Fax: (630) 668-7350  
Email: [hstillwell@rathjewoodward.com](mailto:hstillwell@rathjewoodward.com)

**II. OWNER OF THE PROPERTY:**

Name: Krisis Kings, LLC  
Address: 702 S. Washington Street, Naperville, IL 60540  
Phone:

**III. APPLICANT'S/PETITIONER'S STAFF:**

Attorney: Henry S. Stillwell III/Rathje & Woodward, LLC  
Phone: (630) 510-4909  
Email: [hstillwell@rathjewoodward.com](mailto:hstillwell@rathjewoodward.com)  
Fax: (630) 668-7350  
Address: 300 E. Roosevelt Road, Suite 300, Wheaton, IL 60187

Engineer: Jeff Miller/Watermark Engineering  
Phone: (630) 375-1800 ext. 22

**IV. ACTION REQUESTED (Check applicable boxes and complete corresponding Exhibits):**

- Annexation (See **Section V** below)
- Rezoning from  to   
(Complete **Exhibit 2**)
- Preliminary PUD Plat  
(Complete **Exhibit 2**)
- Major Change to a Planned Unit Development (Complete **Exhibit 2**)
- Preliminary Plat of Subdivision
- Conditional Use  
(Complete **Exhibit 3**)
- Major Change to a Conditional Use.  
(Complete **Exhibit 3**)
- Site Plan Review
- Sign Variance  
(Complete **Exhibit 5**)
- Subdivision Waiver/Deviation to Platted Setback Line (Complete **Exhibit 4**)
- Zoning Variance  
(Complete **Exhibit 5**)
- Final PUD Plat  
(Complete **Exhibit 2**)
- Minor Change to a Planned Unit Development (Complete **Exhibit 2**)
- PUD Deviation (Zoning or Subdivision)
- Final Plat of Subdivision
- Minor Change to a Conditional Use  
(Complete **Exhibit 3**)
- Landscape Variance  
(Complete **Exhibit 6**)
- Plat of Easement/Vacation/Dedication  
(circle all that apply)

**V. ANNEXATION**

Is this development within the City limits?

- Yes
- Under review by another governmental agency and requires review due to 1.5 mile jurisdictional requirements
- No, *requesting annexation*  
Are there electors living on the property:  
 Yes  No  
If yes, did they sign the Petition for Annexation?  Yes  No

**VI. SITE DATA:**

1. General description of site conditions (Including existing site improvements, i.e., buildings, parking, landscaping, etc.) The site is an existing Citgo gas station that will

be demolished and replaced with a McDonalds.

- 2. Existing Utility Services (water, sewer, electricity): Naperville water, sewer and electric is at site
- 3. Existing zoning on the site: B-3 General Commercial
- 4. Existing Land Use: Gas Station
- 5. Acreage & Square Footage of the site: 1.095 acres and 43,704 sq.ft. The area to be dedicated after subdivision is 0.133 acres and 5777 sq.ft.
- 6. List Controlling Ordinances and agreements (zoning, annexation ordinances, SIA, site plans, preliminary/final PUD plats, etc.): None

**VII. PROPOSED DEVELOPMENT:**

- 1. Type of Development (check all that apply):

Residential                       Commercial                       Office  
 Industrial                               Other: \_\_\_\_\_

- 2. Proposed Zoning: B-3 General Commercial

Description of Proposal: (including proposed land use, type of use, hours of operation, number of parking spaces, and all Exhibits mandated by the request (see **Page 2, Section IV** for Exhibit information) - attach additional pages if necessary):

Applicant proposes to construct, operate and maintain a McDonald's restaurant with drive-thru service facilities, including two side-by-side drive-thru order lanes. The proposed hours of operation include 24 hour per day, seven days per week drive-thru service and inside dining. A total of 31 parking spaces (29 regular spaces and 2 ADA accessible spaces) will be provided on-site. The menu, service and operational standards for the proposed restaurant will be consistent with other newer McDonald's restaurants, including those located at 75<sup>th</sup> Street and Naper Boulevard and 75<sup>th</sup> Street and Naper-Plainfield Road. In support of Applicant's request for relief identified in this Petition, Applicant has attached hereto as Exhibit A its response to the zoning variance standards, as Exhibit B its response to the landscape variance standards, and Exhibit C for sign variance.

3. Description of Building (Including number of buildings, square footage of each building and use, maximum height, facade materials):

The proposed principal building is a single story, brick clad structure incorporating stone accents in the arcades. The height of the building to the top of the parapet wall is approximately 18'2". The height of the roof cap element on the tower is approximately 23'4". The building contains approximately 3599 square feet of gross floor area. The accessory trash/recycle corral will be constructed with materials and colors compatible with the restaurant.

4. Describe all requested Variances/Deviations from the underlying zoning regulations (i.e., parking, setbacks, density, height/bulk etc.) **NOTE:** Complete this section as well as **Exhibit 5** - attach additional pages if necessary:

Variances from (i) Section 6-9-3:4 (Schedule of Off-Street Parking Requirements) to reduce the required parking spaces from 61 to 31; and (ii) Section 6-9-6:2.3.5 (Supplemental Standards for Drive-Thru Stacking Lanes) to reduce the required stacking lane width from 12 feet to 10 feet.

Variances from (i) Section 6-2-14 (Major Arterial Setback Requirements) to reduce the required building and parking setback off Washington Street from 37 feet from the edge of the right of way, which is 70 feet from the centerline of the roadway, to 33 feet from the edge of the right of way, which is 66 feet from the centerline of the roadway for the building and 1.5 feet from the edge of the right of way, which is 34.5 feet from the centerline of the roadway for the parking ; (ii) Section 6-9-2:4.6 (Off-Street Parking Facilities) to reduce the parking lot setbacks off Washington Street from 37 feet from the edge of the right of way, which is 70 feet from the centerline of the roadway, to 1.5 feet from the edge of the right of way, which is 34.5 feet from the centerline of the roadway; (iii) Section 6-9-2:4.3 (Off-Street Parking Facilities) to reduce the front yard setback for the parking from 30 feet to 1.5 feet and the corner side yard setback for parking from 30 feet to 5.5 feet ; and (iv) Section 5-10-3:5.2.1 (Perimeter Parking Lot Landscape Area) to reduce the required landscape setback from 5 feet to 1.5 feet along Washington Street.

Variance from Section 5-4-5:2.5 to reduce the sign setback from 10 feet to 4 feet.

5. Describe all requested waivers from the Subdivision Regulations: (i.e., R.O.W., widths, easements, etc.) **NOTE:** Complete this Section as well as **Exhibit 4** - attach additional pages if necessary:

N/A

6. Deviations from the Landscaping Regulations **NOTE:** Complete this section as well as **Exhibit 6** - attach additional pages if necessary:

Variance from Section 5-10-3:5.1.3 to eliminate one required parking lot island tree.

Variance from Section 5-10-3:3.2.3 to not plant required parkway trees on Washington Street.

7. General Land Use Data:

	Residntl	Comrc	Office	Indst	R.O.W.	Park	School	Private	Other*	Total
No. of Acres										
% of Total		100%								100%

\*Please explain:

8. Development Densities: N/A

	Number of Units	Gross Acres	Gross Density	Modified Gross Acres	Modified Gross Density	Building square footage	Minimum Lot Size	Maximum Lot Size	Average Lot Size
Single-Family						NA			
Townhome						NA			
Duplex						NA			
Apartment						NA			
Comrc.			NA	NA	NA				
Office			NA	NA	NA				
Industrial			NA	NA	NA				

Gross Acres = land designated for land use type including right-of-way  
 Gross Density = number of units divided by gross acres  
 Modified Gross Acres = residential acreage including internal right-of-way, detention facilities, school/park dedications and open space areas  
 Modified Gross Density = number of units divided by modified gross acres



Note: Please provide a brief explanation of the type of private facility, common area, open space or other acreage included in the development (Private facilities would include facilities such as clubhouses or private swim clubs. Other could include detention/facilities or outlots for landscape buffers, subdivision identification signage or similar purposes.)

Respectfully submitted,

McDonald's USA, LLC, an Illinois limited liability company

By: [Signature] (Jae)

STATE OF ILLINOIS )  
COUNTY OF DUPAGE )  
CITY OF NAPERVILLE )

The foregoing petition was acknowledged before me by Patrick Kelley on the 25<sup>th</sup> day of January 2012 A.D.



By: [Signature]  
Name: Jeffrey A. Angres

Notary Public

LLC PETITIONERS

LLC petitioners are required to produce the articles of organization that are on file with the Illinois Secretary of State's office. If an LLC is manager-managed, this petition may be executed by the manager identified within the articles of organization. If an LLC is member-managed, this petition must be executed by each member of the LLC

EFFECTIVE PERIOD OF APPLICATION

Please note that applications for development approval are only valid for a period of two years from the date of application submission and that all cases will be closed by the City without further notice to the applicant after the two year period has expired.

EXHIBIT "A"

**RESPONSE TO STANDARDS FOR GRANTING A  
ZONING VARIANCE SECTION 6-3-5:2**

Re: McDonald's Restaurant  
702 S. Washington, Naperville, Illinois

**Parking Variance and Drive-Thru Stacking Width Variance**

Variances from (i) Section 6-9-3:4 (Schedule of Off-Street Parking Requirements) to reduce the required parking spaces from 61 to 31; and (ii) Section 6-9-6:2.3.5 (Supplemental Standards for Drive-Thru Stacking Lanes) to reduce the required stacking lane width from 12 feet to 10 feet.

1. The variance is in harmony with the general purpose and intent of this title.

**RESPONSE:** The requested variation to reduce required on-site parking to a total of 31 spaces is consistent with the intent and purpose of the underlying zoning district, generally, and the intent to this title. Thirty-one onsite parking spaces is consistent with the number of parking spaces commonly provided by Applicant for the size of restaurant proposed. This is confirmed as part of the parking study prepared by Gewalt Hamilton and submitted as part of this Application. The high percentage of total sales generated through the use of the drive-thru system (generally 70 to 80 percent) impacts the parking demand for the subject use. The proposed number of parking spaces will be sufficient for on-site activities and not negatively impact the area. Reducing the stacking lane width will not alter the ability of the drive-thru lanes to operate effectively and efficiently and therefore is in harmony with the general purpose and intent of this title..

2. Strict enforcement of this title would result in practical difficulties or impose exceptional hardships due to special and unusual conditions which are not generally found on other properties in the same zoning district.

**RESPONSE:** This site is impacted and constrained by the floodway adjacent to the river which is contained on applicant's property. Applicant is not constructing any improvements in this floodway. This is the practical difficulty and exceptional hardship which generally is not found on other properties in this district.

3. The property cannot yield a reasonable return if permitted to be used only under the conditions allowed by this title.

**RESPONSE:** The site could not be developed for its proposed use if parking for 61 cars or drive-thru lane width of 12 feet were required to be provided for this site given the constraints imposed on this property by the floodway.

4. The variance, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property. (Ord. 80-5, 1-21-1980) The city council shall not vary the provisions of this title concerning permitted uses, conditional uses or the regulation of nonconforming uses. (Ord. 05-028, 2-15-2005)

**RESPONSE:** As stated in response to Standard #1 above, the proposed parking and drive-thru lane widths at this site are sufficient to handle McDonald's needs for a restaurant of this size. Consequently, the reduction in required parking or drive-thru lane widths will not alter the essential character of the neighborhood nor be a substantial detriment to adjacent property.

**Setback Variances**

Variances from (i) Section 6-2-14 (Major Arterial Setback Requirements) to reduce the required building and parking setback off Washington Street from 37 feet from the edge of the right of way, which is 70 feet from the centerline of the roadway, to 33 feet from the edge of the right of way, which is 66 feet from the centerline of the roadway for the building and 1.5 feet from the edge of the right of way, which is 34.5 feet from the centerline of the roadway for the parking ; (ii) Section 6-9-2:4.6 (Off-Street Parking Facilities) to reduce the parking lot setbacks off Washington Street from 37 feet from the edge of the right of way, which is 70 feet from the centerline of the roadway, to 1.5 feet from the edge of the right of way, which is 34.5 feet from the centerline of the roadway; (iii) Section 6-9-2:4.3 (Off-Street Parking Facilities) to reduce the front yard setback for the parking from 30 feet to 1.5 feet and the corner side yard setback for parking from 30 feet to 5.5 feet ; and (iv) Section 5-10-3:5.2.1 (Perimeter Parking Lot Landscape Area) to reduce the required landscape setback from 5 feet to 1.5 feet along Washington Street.

1. The variance is in harmony with the general purpose and intent of this title.

**RESPONSE:** The requested variations to reduce the required parking and building setbacks are consistent with the intent and purpose of the underlying zoning district generally and the intent of this title. This site contains an existing gas station which has been in existence on this site for years with similar setbacks. The current development contains pavement that goes right up to the property line on Washington and Hillside. The current gas station has a canopy that is setback only approximately 10.3 feet on Washington and 3.3 feet on Hillside. Reducing the required setbacks will allow this site to be redeveloped with a new McDonald's which will eliminate some current access points and allow the site to be redeveloped and the gasoline tanks removed as well as enhancing the landscaping on the site, and instituting best management practices for stormwater management.

2. Strict enforcement of this title would result in practical difficulties or impose exceptional hardships due to special and unusual conditions which are not generally found on other properties in the same zoning district.

**RESPONSE:** This site is impacted and constrained by the floodway adjacent to the river which is contained on applicant's property. Applicant is not constructing any improvements in the floodway. This is the practical difficulty and exceptional hardship which generally is not found on other properties in this district. The floodway on this site creates the need to go down to a 7.5 foot parking circulation because all onsite circulation has been reduced to a minimum.

3. The property cannot yield a reasonable return if permitted to be used only under the conditions allowed by this title.

**RESPONSE:** The site could not be developed for its proposed use under the setback requirements given all of the site constraints noted in Response #2.

4. The variance, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property. (Ord. 80-5, 1-21-1980) The city council shall not vary the provisions of this title concerning permitted uses, conditional uses or the regulation of nonconforming uses. (Ord. 05-028, 2-15-2005)

**RESPONSE:** As stated in Response Standard #1 above, the current site has reduced setbacks. The proposed improvements are a substantial upgrade to the site and overall provides much more green space. The proposed development contains approximately 11,500 s.f. (27.4%) of green space whereas the existing development contains 8,082 s.f (19.3%) of green space. Consequently, the redevelopment of this site will improve the essential character of the neighborhood and will not be a detriment to the surrounding property.

**RESPONSE TO STANDARDS FOR GRANTING  
A LANDSCAPE VARIANCE (SECTION 5-10-7)**

**Parking Island Shade Tree Variance**

Variance from Section 5-10-3:5.1.3 to eliminate one required parking lot island tree.

1. Strict enforcement of this chapter would result in practical difficulties or impose exceptional hardships.

**RESPONSE:** One parking island shade tree variance is required because the fire hydrant must be placed in the location the shade tree would otherwise would be required and for the second as a result of moving the sign out of the site distance triangle.

2. The principal reason for the variance is other than an increased income or revenue from the property.

**RESPONSE:** As explained above this site must contain a fire hydrant and meet the site distance triangle requirement. Additionally, applicant cannot reduce parking further to reduce the need for a parking lot island which would then eliminate the need for one of these shade trees.

3. The variance, if granted, will not alter the essential character of the neighborhood, will not be a substantial detriment to adjacent property, and will not increase congestion or traffic hazards in the public streets, or otherwise impair the public health, safety, comfort, and general welfare.

**RESPONSE:** The proposed improvements are a substantial upgrade to what currently exists on the site. Two less parking island shade tree certainly will not alter the essential character of the neighborhood.

**Parkway Tree Variance**

Variance from Section 5-10-3:3.2.3 to not plant required parkway trees on Washington Street.

1. Strict enforcement of this chapter would result in practical difficulties or impose exceptional hardships.

**RESPONSE:** The parkway for the site along Washington contains only between 3.5' and 4'. The parkway also contains underground phone and gas lines and overhead wires. Consequently, there is not sufficient room to plant any parkway trees.

2. The principal reason for the variance is other than an increased income or revenue from the property.

**RESPONSE:** This site is constrained by the floodplain and floodway on the property. Give the existence of utilities and maximum size of the parkway because of the site constraints, parkway trees cannot be planted.

3. The variance, if granted, will not alter the essential character of the neighborhood, will not be a substantial detriment to adjacent property, and will not increase congestion or traffic hazards in the public streets, or otherwise impair the public health, safety, comfort, and general welfare.

**RESPONSE:** The proposed improvements are a substantial upgrade to what currently exists on the site. Not providing parkway trees will not alter the essential character of the neighborhood.

**RESPONSE TO STANDARDS FOR GRANTING A SIGN VARIANCE**  
**FROM SECTION 5-4-5:2.5**

Variance from Section 5-4-5:2.5 to reduce the sign setback from 10 feet to 4 feet.

1. The variance is in harmony with the general purpose and intent of the Fence/Sign Ordinance.

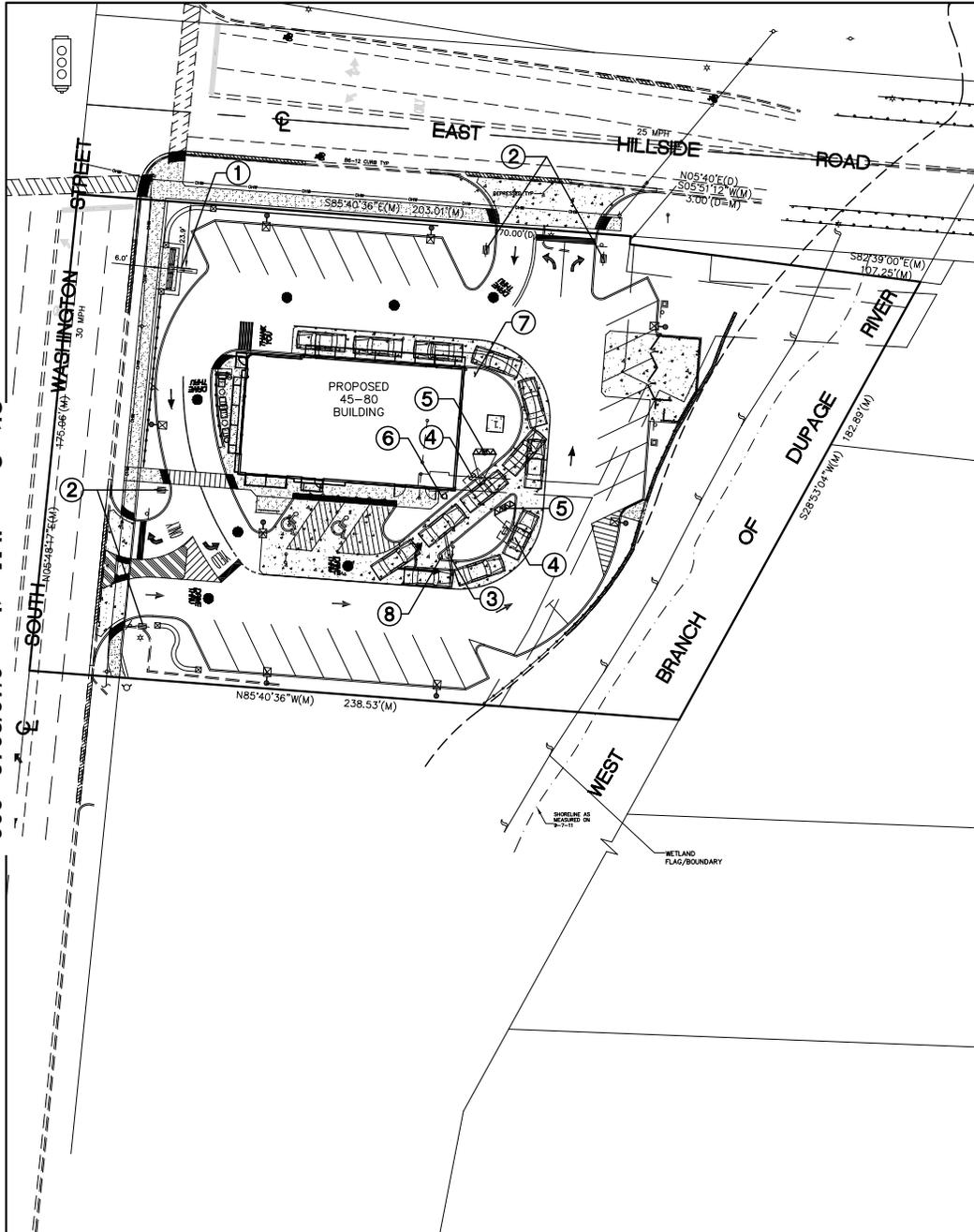
**RESPONSE:** The proposed McDonald's sign is setback 4 feet, which is approximately the same setback as the existing Citgo sign.

2. Describe how unique conditions of this property make the request for a sign/fence variance reasonable.

**RESPONSE:** This site contains significant floodway along the river which applicant is not impacting. This reduces the amount of developable area for this site. Moving the sign back 10 feet would cause loss of parking spaces and Applicant already is requesting a parking variance. Additionally, the sign cannot be setback further because of the site triangle requirements of the City.

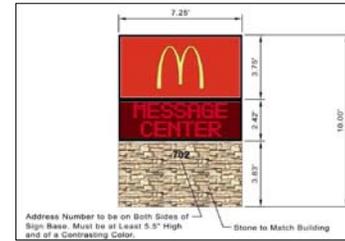
3. Describe how the variance, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property.

**RESPONSE:** The current sign has been set back approximately 4' from the property line for many years. Additionally, the existing sign to the north is set back approximately 4' as well. Consequently, the requested variance will not alter the essential character of the area or be a substantial detriment to adjacent property.



### FREESTANDING SIGN LEGEND

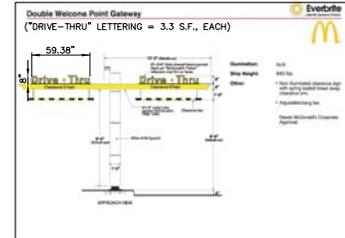
① McDONALD'S MONUMENT SIGN (44.7 SF)



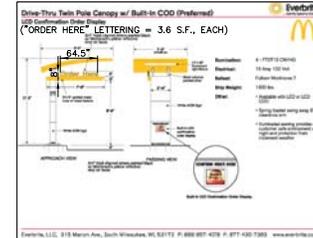
② McDONALD'S DIRECTIONAL SIGN (3.93 SF)



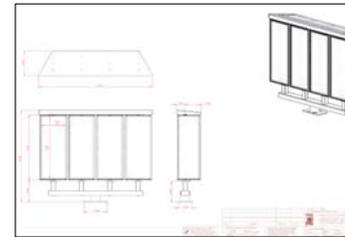
③ McDONALD'S DOUBLE WELCOME POINT GATEWAY



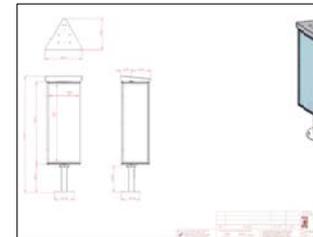
④ McDONALD'S DRIVE-THRU TWIN POLE CANOPY W/BUILT IN COD



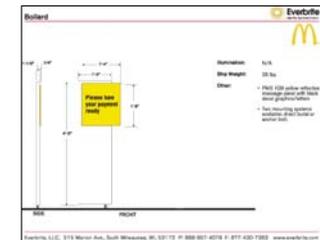
⑤ McDONALD'S MENU BOARD



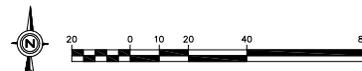
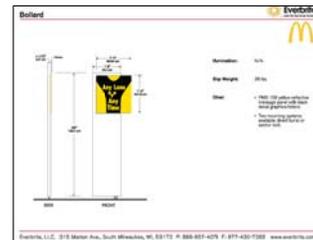
⑥ McDONALD'S PRE-SELL BOARD



⑦ McDONALD'S BOLLARD SIGN



⑧ McDONALD'S BOLLARD SIGN



### FREESTANDING SIGNAGE EXHIBIT

NO.	REVISIONS	DATE
1	REV. OF NEW LETTER DATED 03/27/12	03/27/12
2	CITY REVIEW LETTER DATED 04/17/12 & CITY RECOMMENDATIONS	04/17/12

Prepared For:

McDonald's Corporation  
 4550 Windward Road, Suite 400  
 Westborough, MA 01581  
 TEL: 508.857.4000  
 FAX: 508.857.4000  
 WWW.MCDONALDS.COM

Prepared

Walmark Engineering Resource  
 www.walmarkeng.com  
 10818 11th St., Suite 100  
 Westborough, MA 01581  
 Tel: 508.352.2222  
 Fax: 508.352.2222

CHECKED BY: J. MILLER  
 DESIGN BY: K. SACK  
 DRAWN BY: K. SACK  
 DATE: FEBRUARY 1, 2012  
 SCALE: 1" = 20'  
 PROJECT NO.: 10-078

1 of 1  
 LC #12-0280



CONSULTING ENGINEERS

850 Forest Edge Drive, Vernon Hills, IL 60061

TEL 847.478.9700 ■ FAX 847.478.9701

820 Lakeside Drive, Suite 5, Gurnee, IL 60031

TEL 847.855.1100 ■ FAX 847.855.1115

www.gha-engineers.com

## Memorandum

To: **Elizabeth Stack**  
McDonald's USA, LLC

From: **Bill Grieve** *BG*

Date: January 20, 2012

Subject: ***Proposed McDonald's  
Washington Street @ Hillside Road -- SE Corner  
Naperville, Illinois***

GEWALT HAMILTON ASSOCIATES, INC. (GHA) has conducted a parking study for the above captioned project. As proposed, McDonald's would redevelop an existing Citgo gas station and build a new restaurant with about 50 seats in the southeast corner of the Washington Street / Hillside Road intersection in Naperville, Illinois. Per the site plan prepared by Watermark Engineering Resources, Ltd., the restaurant would have 31 parking spaces on its site, which requires a deviation from City code of 30 parking spaces.

To this end, GHA conducted weekday and Saturday parking surveys throughout the morning, midday, and evening peak periods at four nearby McDonald's that have double drive-thru lanes, as proposed at the Washington / Hillside site and which are located along busy roadway corridors, including...

- 28231 W. Diehl Road in Warrenville.
- 1298 S. Naper Boulevard in Naperville.
- 840 Boughton Road in Bolingbrook.
- 305 S. Neltnor Road (IL 59) in West Chicago.

In addition, GHA staff observed parking usage at another 25 McDonald's throughout the Chicago area on various weekdays and at various times during the peak periods.

*Exhibit 1* summarizes the extensive data collection efforts at the four McDonald's. The survey worksheets are also attached. *Exhibit 2* summarizes the data collection efforts at the other McDonald's observed. Briefly highlighting the results...

- ✓ The four McDonald's surveyed all have larger building footprints and have more seats than as proposed at the Washington / Hillside site.
- ✓ The highest demand occurred at the 1298 S. Naper Boulevard restaurant, when 38 parking spaces were occupied on a weekday morning. The other three McDonald's highest parking demand never reached 30 spaces.
- ✓ The highest Saturday demand occurred at the 305 S. Neltnor Road restaurant, when 27 parking spaces were occupied midday.
- ✓ The highest demand at the other restaurants observed occurred at the Gurnee Mills location, when 31 parking spaces were occupied midday on a weekday.

**Key Finding.** Based on the results of the extensive GHA data collection efforts, we believe that the proposed 31 parking spaces at the Washington / Hillside site should readily accommodate the busiest McDonald's customer and employee parking demands.

**Exhibit 1**  
**McDonald's Parking Survey Data**  
 Survey Dates: August 31 to September 8, 2011  
 Group 1 - 4 Comparable McDonald's

Location	Restaurant Data			Supply Spaces	Weekday	Occupied	Peak Parking Demands			
	Size	Seats	Drive-Thru				Time	Saturday	Occupied	Time
Bolingbrook, IL. Broughton Road @ I-355	3910 sq. ft.	71	Double	43	28	65%	Midday	23	53%	Midday
Chicago, IL. Laper Blvd. @ 75th Street	4500 sq. ft.	95	Double	58	38	66%	Morning	25	43%	Midday
Chicago, IL. 8231 Diehl Road	3870 sq. ft.	69	Double	52	27	52%	Midday	12	23%	Evening
Chicago, IL. 105 S. Neltnor Road	4220 sq. ft.	79	Double	41	27	66%	Morning	27	66%	Midday

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**McDonald's Parking Survey Data**

Survey Dates: August 31 to September 8, 2011

**Group 2 - Other McDonald's Various Data**

Location	Drive-Thru	Supply Spaces	Parking Demands		
			Weekday	% Occupied	Time
Glenview, IL.	Double	36	12	33%	7:30 AM
IL 43 South of Glenview Rd.		36	24	67%	12:30 PM
		36	15	42%	5:30 PM
Berwyn, IL.	Double	24	27	113%	11:30 AM
Roosevelt Road East of IL 43			(includes 5 off-site)		
Forest Park, IL.	Double	28	23	82%	12:15 PM
Des Plaines Ave. @ Madison St.					
River Forest, IL.	Double	17	19	112%	12:45 PM
Harlem Ave. North of Lake St.			(includes 2 circulating for a space)		
Lindenhurst, IL.	Single	40	14	35%	1:00 PM
IL 132 @ Sand Lake Road					
Lake Villa, IL.	Single	35	13	37%	12:45 PM
IL 132 @ IL 83					
Fox Lake, IL.	Single	59	19	32%	5:30 PM
US 12 South of Grand					
McHenry, IL.	Double	50	18	36%	5:15 PM
IL 120 West of Oak Drive					
Round Lake Beach, IL.	Double	29	18	62%	8:30 AM
Rollins Road West of IL 83					
Highland Park, IL.	Single	49	15	31%	5:45 PM
US 41 North of IL 22					
Wauconda, IL.	Single	37	14	38%	5:45 PM
US 12 @ IL 176					
Lake Zurich, IL.	Single	71	17	24%	5:15 PM
US 12 @ Ela Road					
Libertyville, IL.	Single	71	17	24%	10:00 AM
IL 137 East of Butterfield Rd.					
Mundelein, IL.	Single	32	14	44%	9:30 AM
IL 60-83 @ Midlothian Rd.					
Vernon Hills, IL.	Single	59	23	39%	7:15 AM
IL 21 @ IL 60					
Buffalo Grove, IL.	Single	40	10	25%	7:00 AM
IL 21 South of Deerfield Rd.					
Lincolnshire, IL.	Single	70	17	24%	7:15 AM
IL 21 @ IL 22					
Libertyville, IL.	Single	43	19	44%	7:15 AM
IL 21 @ Winchester Road					
Gurnee, IL.	Single	61	31	51%	1:15 PM
IL 132 @ Gurnee Mills					
Streamwood, IL.	Single	58	15	26%	6:30 AM
IL 19 @ Bartlett Road					
Hanover Park, IL.	Single	38	18	47%	6:45 AM
Barrington Road @ IL 19					
Schaumburg, IL.	Single	77	15	19%	7:00 AM
Barrington Rd. @ Schaumburg Rd.					
Hoffman Estates, IL.	Single	39	10	26%	8:45 AM
IL 72 @ Governy Lane					
Grayslake, IL.	Single	37	20	54%	10:45 AM
US 45 @ IL 120					
Mundelein, IL.	Double	39	18	46%	11:15 AM
US 45 @ Division Street					
Gurnee, IL.	Single	97	12	12%	5:45 PM
IL 132 @ Dilleys Road					

## McDonalds Parking Lot Study

Date: Friday, September 02, 2011

Location: 840 Boughton Rd., Bolingbrook, IL.

Parking Capacity: 43 spots including 2 handicap

Time AM	Total Spots occupied	Handicap occupied	% Occupied
7:00	11	0	26%
7:15	15	0	35%
7:30	8	0	19%
7:45	11	0	26%
8:00	8	0	19%
8:15	12	0	28%
8:30	8	0	19%
8:45	7	0	16%
9:00	8	1	19%
Lunchtime			
11:00	10	0	23%
11:15	13	0	30%
11:30	20	0	47%
11:45	15	0	35%
Noon	23	1	53%
12:15	28	1	65%
12:30	24	0	56%
12:45	22	1	51%
1:00	22	1	51%
1:15	22	1	51%
1:30	22	0	51%
PM			
4:00	8	0	19%
4:15	20	0	47%
4:30	15	0	35%
4:45	17	1	40%
5:00	13	0	30%
5:15	14	0	33%
5:30	14	0	33%
5:45	14	0	33%
6:00	12	0	28%

## McDonalds Parking Lot Study

Date: Saturday, September 03, 2011

Location: 840 Boughton Rd., Bolingbrook, IL.

Parking Capacity: 43 spots including 2 handicap

Time AM	Total Spots occupied	Handicap occupied	% Occupied
7:00	12	0	28%
7:15	9	0	21%
7:30	8	0	19%
7:45	12	1	28%
8:00	14	1	33%
8:15	8	1	19%
8:30	11	0	26%
8:45	9	0	21%
9:00	8	0	19%
Lunchtime			
11:00	14	1	33%
11:15	10	1	23%
11:30	7	0	16%
11:45	16	1	37%
Noon	19	1	44%
12:15	23	0	53%
12:30	21	1	49%
12:45	16	0	37%
1:00	15	0	35%
1:15	16	0	37%
1:30	14	0	33%
PM			
4:00	9	1	21%
4:15	6	0	14%
4:30	5	0	12%
4:45	6	1	14%
5:00	4	0	9%
5:15	6	0	14%
5:30	7	0	16%
5:45	8	0	19%
6:00	6	0	14%

## McDonalds Parking Lot Study

Date: Tuesday, September 06, 2011

Location: 1298 Naper Blvd., Naperville, IL.

Parking Capacity: 58 spots including 3 handicap

Time AM	Total occupied	Handicap occupied	% Occupied
7:00	11	0	19%
7:15	18	0	31%
7:30	15	0	26%
7:45	15	0	26%
8:00	20	3	34%
8:15	30	3	52%
8:30	36	3	62%
8:45	30	3	52%
9:00	38	3	66%
10:00	38	3	66%
<b>Lunchtime</b>			
11:00	23	2	40%
11:15	22	1	38%
11:30	26	1	45%
11:45	25	1	43%
Noon	30	2	52%
12:15	30	2	52%
12:30	27	2	47%
12:45	32	1	55%
1:00	27	1	47%
1:15	27	2	47%
1:30	27	2	47%
<b>PM</b>			
4:00	17	1	29%
4:15	15	0	26%
4:30	15	0	26%
4:45	15	0	26%
5:00	16	0	28%
5:15	11	1	19%
5:30	14	1	24%
5:45	17	1	29%
6:00	17	0	29%

## McDonalds Parking Lot Study

Date: Saturday, September 03, 2011

Location: 1298 S. Naper Blvd., Naperville, IL.

Parking Capacity: 58 spots including 3 handicap

Time AM	Total occupied	Handicap occupied	% Occupied
7:00	17	0	29%
7:15	17	0	29%
7:30	15	0	26%
7:45	13	0	22%
8:00	14	1	24%
8:15	15	0	26%
8:30	11	0	19%
8:45	11	0	19%
9:00	13	1	22%
10:00	21	2	36%
Lunchtime			
11:00	16	0	28%
11:15	11	0	19%
11:30	9	0	16%
11:45	13	0	22%
Noon	23	1	40%
12:15	25	0	43%
12:30	25	1	43%
12:45	18	1	31%
1:00	22	1	38%
1:15	18	2	31%
1:30	19	2	33%
PM			
4:00	18	1	31%
4:15	20	1	34%
4:30	20	1	34%
4:45	18	1	31%
5:00	20	1	34%
5:15	8	1	14%
5:30	18	1	31%
5:45	14	1	24%
6:00	16	0	28%

## McDonalds Parking Lot Study

Date: Tuesday, September 06, 2011

Location: 28231 W. Diehl Rd., Warrenville, IL.

Parking Capacity: 52 spots including 3 handicap (revised)

Time AM	Total occupied	Handicap occupied	% Occupied
7:00	5	0	10%
7:15	4	1	8%
7:30	3	1	6%
7:45	7	0	13%
8:00	5	0	10%
8:15	5	0	10%
8:30	7	0	13%
8:45	5	0	10%
9:00	8	0	15%
Lunchtime			
11:00	7	0	13%
11:15	6	0	12%
11:30	12	0	23%
11:45	25	0	48%
Noon	17	0	33%
12:15	27	0	52%
12:30	21	0	40%
12:45	22	0	42%
1:00	17	0	33%
1:15	16	2	31%
1:30	11	1	21%
PM			
4:00	7	0	13%
4:15	7	0	13%
4:30	13	0	25%
4:45	17	0	33%
5:00	8	0	15%
5:15	8	0	15%
5:30	10	0	19%
5:45	4	0	8%
6:00	8	0	15%

## McDonalds Parking Lot Study

Date: Saturday, September 03, 2011

Location: 28231 W. Diehl Rd., Warrenville, IL.

Parking Capacity: 52 spots including 3 handicap

Time AM	Total Spots occupied	Handicap occupied	% Occupied
7:00	0	0	0%
7:15	0	0	0%
7:30	3	0	6%
7:45	2	1	4%
8:00	3	1	6%
8:15	1	1	2%
8:30	3	0	6%
8:45	4	0	8%
9:00	6	0	12%
Lunchtime			
11:00	4	1	8%
11:15	3	1	6%
11:30	7	0	13%
11:45	5	1	10%
Noon	7	1	13%
12:15	8	0	15%
12:30	6	1	12%
12:45	7	0	13%
1:00	8	0	15%
1:15	7	0	13%
1:30	8	0	15%
PM			
4:00	9	1	17%
4:15	12	0	23%
4:30	10	0	19%
4:45	7	1	13%
5:00	7	0	13%
5:15	5	0	10%
5:30	5	0	10%
5:45	4	0	8%
6:00	6	0	12%

## McDonalds Parking Lot Study

Date: Wednesday, September 07, 2011

Location: 305 S. Neltnor Rd., West Chicago, IL.

Parking Capacity: 41 spots including 2 handicap

Time	Total Spots occupied	Handicap occupied	% Occupied
7:00	27	1	66%
7:15	25	0	61%
7:30	22	1	54%
7:45	24	1	59%
8:00	24	1	59%
8:15	17	0	41%
8:30	27	0	66%
8:45	23	0	56%
9:00	23	0	56%
Lunchtime			
11:00	17	1	41%
11:15	17	1	41%
11:30	17	2	41%
11:45	19	2	46%
Noon	22	2	54%
12:15	16	1	39%
12:30	15	0	37%
12:45	16	1	39%
1:00	17	0	41%
1:15	17	0	41%
1:30	10	0	24%
PM			
4:00	16	0	39%
4:15	14	0	34%
4:30	13	0	32%
4:45	11	0	27%
5:00	13	0	32%
5:15	12	0	29%
5:30	11	0	27%
5:45	14	0	34%
6:00	9	1	22%

## McDonalds Parking Lot Study

Date: Saturday, September 03, 2011

Location: 305 S. Neltnor Rd., West Chicago, IL.

Parking Capacity: 41 spots including 2 handicap

Time AM	Total Spots occupied	Handicap occupied	% Occupied
7:00	16	0	39%
7:15	17	0	41%
7:30	16	0	39%
7:45	19	0	46%
8:00	18	0	44%
8:15	17	0	41%
8:30	16	0	39%
8:45	19	0	46%
9:00	24	0	59%
Lunchtime			
11:00	15	0	37%
11:15	17	0	41%
11:30	22	0	54%
11:45	27	0	66%
Noon	25	0	61%
12:15	25	0	61%
12:30	23	0	56%
12:45	22	0	54%
1:00	16	0	39%
1:15	14	0	34%
1:30	16	0	39%
PM			
4:00	6	0	15%
4:15	6	0	15%
4:30	7	0	17%
4:45	9	0	22%
5:00	14	0	34%
5:15	12	0	29%
5:30	11	0	27%
5:45	11	0	27%
6:00	14	0	34%

THOMAS A. ECKHARDT  
ATTORNEY AT LAW  
649 MELODY LANE  
NAPERVILLE, ILLINOIS 60540

[630] 355-9146

Planning Services Team  
City of Naperville  
400 S. Eagle Street  
Naperville, IL 60540

Mr. Henry S. Stillwell, III  
Rathje & Woodward, LLC  
300 E. Roosevelt Road  
Wheaton, IL 60187

RE: Petition of McDonald's USA, LLC  
702 S. Washington Street  
Hearing Date-April 18, 2012

TO: Zoning and Planning Commission Members and  
Planning Services Team

Due to recent surgery, I will be unable to attend the above hearing. However, I would like to note my objection to McDonald's LLC Petition for Variances.

I reside at 649 Melody Lane. Melody Lane is the first street east of the subject site, running south from Hillside Road. Though my lot does not abut the subject site, it lies two lots south of it. Both sides of Melody Lane are zoned residential and have been so developed since the subdivision was platted in 1957.

In reading the Petitioner's Notice of Publication, there is no request for a change of zoning. Therefore, without a copy of the City's Zoning Ordinance handy, I am assuming that McDonald's use of the subject property for a restaurant is a permitted use.

However, of the variances requested, the most troublesome one and the one I most object to is the one requesting a variance of Section 6-9-3:4 to reduce the number of parking spaces from 61 to 31. That is almost a fifty percent reduction. It is also clear evidence that McDonald's is trying the shoe horn in a high traffic use into an undersized area.

Pragmatically and foreseeably, Melody Lane, which is designated as a "Neighborhood Street", will be used for McDonald's employee and overflow parking to make up for the reduction of 30 parking spaces for which it is asking. Clearly an extension of a commercial use into a residential zone with its increase in parking, traffic, noise and public litter. That, of course, would be contrary to Naperville's Zoning Ordinance.

Yours very truly,



Thomas A. Eckhardt

5/1/2012

Members of the Naperville City Council,

We were recently made aware of the possibility a McDonalds restaurant might be erected on the Southeast corner of Washington and Hillside. As residents of the East Highlands community this is VERY concerning. Please take serious consideration as to how an increase of traffic to an already heavily trafficked area may affect our neighborhood public safety. Here are a few of our concerns;

- The Hillside - Washington intersection is already heavily congested. At varied times throughout the day, traffic backs up to the West almost to Central High School and East almost to Highlands Elementary. This most often happens when school children (High School and Elementary) are making their way to and from School.
- An increase of traffic to this corner would most definitely add danger to bicycle riders who are encouraged to follow the bicycle route down Hillside crossing Washington at this intersection and even on the same side of the street as the proposed McDonalds location.
- The Southeastern leg of the Riverwalk spills out onto Hillside directly across the street from the proposed location. During the warmer months this is an enormous source of pedestrian foot traffic most which crosses over Hillside at this point into the East Highlands neighborhood.
- Already during peak rush hour, traffic is almost at a standstill from this intersection north through town, the addition of the traffic generated would further compound the gridlock in downtown Naperville.
- Potential parking problems due to the limited size of the parcel considered which would lead to vehicles parking on heavily trafficked Hillside or Melody an already a narrow residential street with considerable foot traffic generated by the Riverwalk.
- Concern should also exist during delivery hours when the standard 18-wheel semi-trailer used by McDonalds Corporation as well as other vendors has to park on the street to unload due to the constrained amount of space.

In addition to the traffic and safety related concerns there is also cause to be concerned with other issues a HIGH VOLUME fast food restaurant operating in a residential area will bring; bright lights, late operating hours and exhaust odor from the kitchen to name a few.

We and many other members of The East Highlands community are hopeful our City Council will concur with and support our concern. With the full backing of our Councils authority, we remain hopeful preventing this disruption to our neighborhood and keeping its citizens safe would be achieved.

Respectfully,

Todd & Jackie Cahan  
20 Maple Lane

**From:** [Wendy Serafin](#)  
**To:** [Liu, Ying](#)  
**Subject:** McDonald's project - East Highlands resident feedback  
**Date:** Tuesday, April 24, 2012 4:05:42 PM

---

Ying

Thank you very much for the call back regarding the McDonald's project (Hillside/Washington Ave).

As I mentioned in my email, I am an East Highlands resident, and I am very concerned with the traffic that will occur with the new McDonald's that will be placed on Hillside - a main entrance to the East Highlands neighborhood. My concerns are as follows:

- The significant increase in traffic during morning and evening times with McDonalds customer traffic, school traffic for Highlands Elementary and Central High School, and regular rush hour traffic. Currently, traffic can reach as far as 3-4 blocks up Hillside as cars wait for the traffic light in the mornings. The McDonalds traffic that will turn right or left onto Hillside will create more serious traffic and safety issues. This will increase with the winter months.

- Hillside will become a "turnaround" street as customers turn right onto Hillside and then turnaround - this will likely occur in the blocks where young elementary children will be walking to and from school (morning, lunch, and after school). (Melody, Willow, Thornwood, Sunset, ). Drivers will not wait to turn left and have other drivers "let them in". Ironically, these streets were not notified that a McDonalds was approved (250 ft only were notified)...yet they will be impacted.

- Hillside is a major walking thoroughfare for both Highlands Elementary and Central High School students (who also must cross Washington). It is also the Riverwalk connection (less than 50 ft from the proposed entrances) to the bike paths along the DuPage River for bikers, joggers, and walkers - this increased traffic from McDonalds causes serious safety concerns for the kids/walkers/bikers who use/cross this road daily to access the designated bike route.

- A 24 hour McDonalds brings concern with more loitering in and around a residential neighborhood and school zones. How will this be monitored and addressed if and when issues come up?

I would like to see the traffic assessment and why the engineer believes that traffic is not an issue. I would urge the city council and commissioners to reexamine this assessment, come to the area for a few mornings to see first hand during 7- 8:30am, 2:30-3:30, 5 - 7pm and ask how this intersection can accommodate more traffic especially during the 9 month school year.

Thank you for allowing me to provide comment on this project. I hope these will be taken seriously by the city council and planning commissioners before they make a final decision. I welcome any future conversations to answer more questions and discuss my concerns.

Respectfully,  
Wendy Serafin  
651 S. Loomis St  
Naperville IL 60540  
630-346-5564

wserafin@nifares.com | office 630.328.7310 | mobile 630.346.5564 | www.nifares.com



**NAPERVILLE PLANNING AND ZONING COMMISSION  
MINUTES OF APRIL 18, 2012**

**Call to Order**

**7:00 p.m.**

**A. Roll Call**

Present: Frost, Coyne, Bruno, Gustin, Herzog, Meyer, Trowbridge, Williams  
Absent: Messer  
Student Members:  
Staff Present: Planning Team – Ying Liu, Timothy Felstrup  
Code Enforcement – Trude Terreberry  
Engineer – Peter Zibble

**D2. #PZC 12-1-018  
McDonald's on  
Washington Street**

Conduct the public hearing for a request for approval of a preliminary/final plat of subdivision as well as zoning, landscape, and signage variances in order to construct a new McDonald's restaurant at 702 S. Washington Street.

Liu, Planning Services Team, gave an overview of the request.

Henry Stillwell, Attorney, Rathje & Woodward, LLC, spoke on behalf of the petitioner, McDonald's USA:

- Reviewed the surrounding zoning and land uses.
- Reviewed the advantages of the proposed side-by-side drive-through system including reducing the stacking length by 60%, and improved circulation.
- The drive-thru represents a minimum of 70% of the sales of the McDonald's restaurants.
- The two proposed accesses represent a reduction from the previous four accesses to the site.
- Site lighting is sensitive to the east residential neighborhood, providing 0 footcandles at the east property line.
- The development incorporates a state-of-art volume reducing system for the order boards, which would substantially reduce the noise level during the evening hours.
- The proposed store has a smaller footprint than a typical McDonald's due to the site constraints.
- Provision of a Riverwalk easement to allow the City to construct a connection to the Riverwalk in the future.
- The truck loading area is located on the south side of the building. The trucks will be parked in the inside drive-through lane during off-peak hours for loading and unloading.
- The petitioner is confident that there won't be any employee parking in

the neighborhood streets.

William C. Grieve, Gewalt Hamilton Associates, Inc. spoke on behalf of the petitioner;

- Reviewed the traffic study methodology and findings.
- Reviewed the existing traffic pattern of area.
- Up to 15 employees would work on the site and the store manager would direct them to park in the east parking lot on the site.
- The data show that only one or two cars would be stacked on Hillside Road waiting for a left turn during each traffic signal circle.
- Additional stacking spaces are available to accommodate additional cars beyond the order boards.
- The peak hours of the restaurant will be 7- 8 a.m., noon – 1 p.m., and 5:30 – 6:30 p.m.
- The proposed McDonald's traffic will be heavier than the existing Citgo station traffic.

Dan Olsen, Watermark Engineering, spoke on behalf of the petitioner:

- No signage is being proposed on the east side of the building facing the residential area.
- Reviewed the reasons for the proposed 4' setback of the monument sign from Washington Street. Upon the commission's request, the petitioner agrees to increase the setback of the sign by 2'.
- The design of the monument sign complements the design of the building.
- The proposed landscaping for the restaurant is a dramatic improvement to the existing landscaping on the site.
- Specific plant materials were selected to fit the narrow area along the River to reduce lighting and noise impacts of the site.
- Proposes decorative walls and wrought iron fences along Washington Street.
- Outdoor seating is proposed on the west side of the building. Outdoor seating along the river is not functional; nor would it be safe.
- Pedestrian traffic is directed to a single point in order to provide pedestrian safety.
- Location of the bike rack.

Jeff Miller, President of the Watermark Engineering, spoke on behalf of the petitioner.

- Tries to minimize disturbance to the floodplain/floodway east of the fence along the River.
- Reviewed the functions of the Stormwater and BMP facilities on the site.
- Reviewed environmental mitigation measures for the existing gas station.

Planning and Zoning Commission inquired about

- Reasons for staff's support for the parking variance.

- Whether the 6' fence is considered sufficient to screen from the adjacent residences. Staff responded that the fence is intended to block headlights from cars in the parking lot and the 6' height is sufficient for that purpose. Parking lot lighting is addressed through the Performance Standards of the Zoning Regulations.
- Considerations given to the proximity of the site to the Naperville Central High School and the additional parking that might be resulted.
- Whether traffic leaving the site would create stacking issue on Hillside waiting to turn south to Washington Street. Zibble, Engineering Services Team, responded that based on the traffic study, the traffic generation from the development would be minimal and a stacking problem on Hillside Road is not anticipated.
- The number of vehicles leaving through the Hillside Access during peak hours.
- The reasons behind the site selection to generate the parking data.
- Whether the City experienced any parking issues at the downtown Burger King location.
- The entrance on Washington Street being too close to Hillside. Staff clarifies that the entrance on Washington Street would be right-in /right-out only.
- The circulation pattern of the site.
- Peak hours of the restaurant.
- How cars would enter into the drive-through lane. The estimated number of cars to be stacked at the drive-thru during peak hours. Whether stacked cars could spill into Washington Street.
- The number of employee parking to be needed. The possibility of restricting the location of employee parking to be on-site.
- Comparison of the proposed development to the existing McDonald's on 75<sup>th</sup> & Naperville-Plainfield Road. The commission also noted that the McDonald's on 75th is not comparable as it has only a single drive-through lane.
- Comparison of the traffic generation of the proposed McDonald's to the existing Citgo station.
- Whether the proposed monument sign complies with the City's requirements with the exception of the setback from Washington Street. Whether the sign can be moved further back from the Street.
- Whether there was any consideration for an outdoor seating area along the river.
- Suggests that the petitioner present the project to the Riverwalk Commission.
- Whether an access easement along the west side of the River is required. Staff responded that the site would be south end of the Riverwalk and an easement is not required.
- Proposed plantings in front of and behind the wrought iron fence along Washington Street.
- The amount of trees to be removed along the River. The petitioner

responded that the amount will be determined at the final engineering stage.

- Number of bike parking spaces provided.
- The possibility of adding additional trees to the site.

**Public Testimony:** None

Planning and Zoning Commission discussion:

- Bruno - Likes to see the sign to be moved further away from Washington Street. Concerned with spillover parking on adjacent neighborhood streets. Would like to stipulate employee parking on-site.
- Gustin – Concerned with lack of parking on the site. The high school students would be more likely to drive and park on the site at lunch hour. The development would improve and soften the appearance of the corner. Likes to add a condition about employee parking. Has no concern with the setback variances.
- Frost – The proposed restaurant is a drive-through restaurant while the city’s parking requirement is geared toward sit-down restaurants. The parking data provided justify the parking variance. It is possible that the high school students may stay with their cars to go through the drive-thru. Concerned that the traffic generation of the restaurant would be more intensive than what the traffic study might suggested as the restaurant would be a very highly attractive facility.
- Herzog – Agrees with Frost regarding parking. The data demonstrates there will be adequate parking. The entire drive-through facility would accommodate approximately 20 cars. Therefore, the site probably won’t create a stacking problem on Washington Street from a practical point.
- Meyer – Concerned with parking. However, believes the restaurant can get by with 31 spaces. Believes it will be a nice addition to the area of the town. Appreciates the measures taken to reduce noise and lighting.
- Coyne – Believes that the development will be extreme successful. Concerned with traffic backing into Washington Street.
- Williams – Not sure that the traffic conditions would be enforceable. Believes that the site would create traffic congestions on Washington Street and Hillside Road but traffic may not be a bad thing. The proposed location is a good location for the restaurant.

Planning and Zoning Commission closed the public hearing.

Planning and Zoning Commission moved to recommend approval of a preliminary/final plat of subdivision and variances #1-9 listed in the staff report dated April 18, 2012 to allow for construction a new McDonald’s restaurant at 702 S. Washington Street, subject to the following conditions:

1. The monument sign shall be setback no less than 6’ from Washington Street.
2. Employees of the proposed restaurant shall park their personal vehicles

Naperville Planning and Zoning Commission  
April 18, 2012  
Page 5 of 5

on-site or at a legally authorized off-site private location.

Motion by: Williams  
Seconded by: Gustin

Approved  
(7 to 0)



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Aquatic Visions – PZC Case #12-1-047

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**TYPE OF VOTE:** Simple Majority

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**ACTION REQUESTED:**

Option A: Concur with the Planning & Zoning Commission and staff and recommend denial of the requested variance for a window sign on the west elevation of the building that will cover 100% of the window-surface area for the property located at 2695 Forgue Drive, Suite #109.

Option B: Concur with the petitioner and direct staff to prepare resolution paperwork approving a variance for a window sign on the west elevation of the building that will cover 100% of the window-surface area for the property located at 2695 Forgue Drive, Suite #109. Staff does not concur with this option. PZC 12-1-047

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**BOARD/COMMISSION REVIEW:**

At their May 2, 2012 meeting, the Planning & Zoning Commission recommended denial of a variance from Section 5-4-6:2 (Commercial Signs; Miscellaneous Signs; Window Signs) of the Naperville Municipal Code in order to have window signage that covers more than fifty (50) percent of the window-surface area for the property located at 2695 Forgue Drive, Suite #109.

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**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
June 5, 2012	17	Tabled to June 19, 2012 City Council Meeting

**DEPARTMENT:** TED – Planning Services Team

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**SUBMITTED BY:** Tim Felstrup, Assistant Planner

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**FISCAL IMPACT:** N/A

**BACKGROUND:**

The subject property consists of a one (1) acre lot, is improved with a one-story commercial building and is zoned B2 PUD (Community Shopping Planned Unit Development). Aquatic Visions occupies unit # 109, which is in the center of the building.

The petitioner, Aquatic Visions, is requesting a variance from Section 5-4-6:2 (Commercial Signs; Miscellaneous Signs; Window Signs) of the Naperville Municipal Code to maintain an

*Aquatic Visions – Staff CC Memo – PZC 12-1-047*

*June 19, 2012*

*Page 2 of 3*

existing window signage that covers more than fifty (50) percent of the window-surface area at the subject property.

**DISCUSSION:**

Section 5-4-6:2 (Commercial Signs; Miscellaneous Signs; Window Signs) of the Naperville Municipal Code limits the area of window signs to fifty (50) percent of the window-surface area per elevation and the main purpose for this limitation is to avoid sign clutter.

Aquatic Visions has already installed the window signs and the signs cover 100% of the window-surface area, which equates to 124 square feet (SF) of window signage. The vinyl window signs are attached to metal boards; the metal boards are screwed into the window frames and behind the metal boards are the windowpanes. Inside the store there is insulation behind the windows and behind the insulation there is a wall made of drywall (i.e. a false wall). This setup prevents light from entering into the building and prohibits individuals from being able to see through the windows.

According to the petitioner, 100% coverage of the windows is necessary for the saltwater and live-coral store for the following reasons:

- It is necessary to keep all sunlight out of the store because it is detrimental to the saltwater and causes severe algae problems
- The windows sweat severely during winter / cold spells due to all of the water / humidity in the store and this sweat leaks down the windows to the floor
- There is a large display tank behind the windows and the window signs will help prevent incidents of criminal damage to property (e.g. rocks being thrown through the windows)

Staff believes a hardship does not exist and covering 100% of the windows with signage is not reasonable for the following reasons:

- Sign clutter
- Gives the appearance that a business does not occupy the space
  - This belief was reinforced when a recent site visit by staff found that the business owner had propped the door open and had placed two “We’re Open” signs near the door in order to let customers know that the store was open for business
- Gives the appearance that the space is being used as a billboard
- The petitioner has already blocked out the sunlight, stopped the leakage of the sweat and prevented any damage to the inventory inside the store by installing a false wall behind the windows
- If the petitioner wishes to block the view of the insulation and wall that were installed behind the windows, this can be done by installing tinted vinyl film on the windows. Please note that other businesses in Naperville have used tinted vinyl film to block the view of items placed behind store windows (e.g. shelves that contain inventory).

*PZC Recommendation*

The Planning & Zoning Commission considered this petition at their May 2, 2012 meeting and no members of the public offered testimony during the public hearing. After discussing the matter, the PZC made a motion to approve the variance requested by the petitioner. This motion

*Aquatic Visions – Staff CC Memo – PZC 12-1-047*

*June 19, 2012*

*Page 3 of 3*

was then amended to approve a variance allowing window signage to cover 100% of the window-surface area subject to the condition that the text of the sign be removed and the graphic provide a fish and coral pattern similar to the existing design (motion denied; 2 – 6). A vote on the original motion to approve the variance requested by the petitioner was then taken and failed (motion denied; 0 – 8). Staff concurs with the PZC’s recommendation of denial.

**RECOMMENDATION:**

Option A: Concur with the Planning & Zoning Commission and staff and recommend denial of the requested variance for a window sign on the west elevation of the building that will cover 100% of the window-surface area for the property located at 2695 Forgue Drive, Suite #109.

Option B: Concur with the petitioner and direct staff to prepare resolution paperwork approving a variance for a window sign on the west elevation of the building that will cover 100% of the window-surface area for the property located at 2695 Forgue Drive, Suite #109. Staff does not concur with this option. PZC 12-1-047

**ATTACHMENTS:**

1. Aquatic Visions – Petitioner’s Application – PZC 12-1-047
2. Aquatic Visions – Email from Petitioner – PZC 12-1-047
3. Aquatic Visions – Legal Description – PZC 12-1-047
4. Aquatic Visions – Location Map – PZC 12-1-047
5. Aquatic Visions – PZC Minutes – PZC 12-1-047
6. Aquatic Visions – Site Plan – PZC 12-1-047
7. Aquatic Visions – Sign Rendering – PZC 12-1-047
8. Aquatic Visions – Photograph of Building – PZC 12-1-047
9. Aquatic Visions – Email from Mark Knapp – PZC 12-1-047

### CITY OF NAPERVILLE APPLICATION FOR A SIGN VARIANCE

ADDRESS OF SUBJECT PROPERTY: 2695 FORGIVE DR, SUITE 101  
 PARCEL IDENTIFICATION NUMBER (PIN): LOT 10 070103307125-0000  
 APPLICANT'S NAME: MICHAEL ELMORE  
 APPLICANT'S ADDRESS: 5302 S. MAYFIELD  
 CITY: CHICAGO STATE: IL ZIP CODE: 60638  
 DAYTIME PHONE: 630 961 3474 STORE PHONE 1001-8  
 E-MAIL ADDRESS: loyaltyinc1732@yahoo.com

OWNER OF PROPERTY: JOSEPH CAUTER  
 OWNER'S ADDRESS: 925 S. ROUTE 83  
 CITY: ELMHURST STATE: \_\_\_\_\_ ZIP CODE: 60126  
 OWNER'S DAYTIME PHONE: 630 832 8600

ZONING OF PROPERTY: B-2 & ORI & R3  
 AREA OF PROPERTY (Acres or sq ft): 1.02 ACRES  
 List Improvements on property (buildings, fences, pools, decks, etc.):  
8275 SQ FT. RETAIL BUILDING

DETAILED DESCRIPTION OF VARIANCE (include relevant Section numbers of Municipal Code; attached additional pages if needed):  
SECTION 5-4-4 22  
I WANT TO COVER 100% OF FRONT WINDOW ELEVATOR

The above information, to the best of my knowledge, is true and accurate:

*M. P. Eide*      03/14/12  
(signature of applicant)      (date)

SUBSCRIBED AND SWORN TO before me this 12 day of March, 2012

*Stephanie D. Eide*  
(Notary Public and Seal)

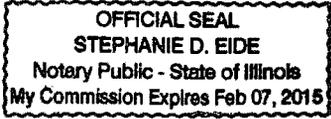


EXHIBIT A

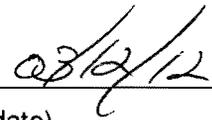
## FINDINGS OF FACT FOR SIGN VARIANCES

The city will consider the reasonableness of a sign variance request as well as the extent to which it complies with the standards contained in Section 5-14-4:11 of the Naperville Municipal Code, which are listed below. Self-inflicted hardships or increased profit or property value are not sufficient justifications to warrant a variance. The recommendations prepared by staff and the Planning and Zoning Commission are prepared based upon the following standards. *You should review the standards and, if necessary, prepare written findings or other evidence to support your request.*

Standards For Variations: The Planning and Zoning Commission shall not recommend or grant a variation unless it shall make findings of fact based upon evidence presented at the hearing in any given case that:

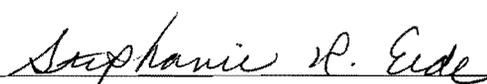
1. **The plight of the owner is due to unique circumstances and the proposed variation will not merely serve as a convenience to the petitioner, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations of this Chapter were carried out and which particular hardship or practical difficulty is not generally applicable to other comparable signs or properties.**
2. **The alleged hardship has not been created by any person presently having a proprietary interest in the subject sign (or property).**
3. **The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.**
4. **The proposed variation will not impair visibility to the adjacent property, increase the danger of traffic problems or endanger the public safety.**
5. **The proposed variation will not alter the essential character of the neighborhood.**
6. **The proposed variation is in harmony with the spirit and intent of this Chapter.**

I have reviewed the Standards for a Sign Variation and understand and acknowledge that my request will be considered based upon the extent to which it fulfills these standards. Further, I understand and acknowledge that I may be required to provide a written explanation detailing how my request fulfills these standards.



  
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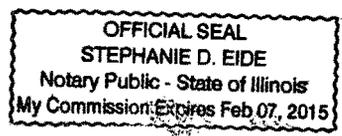
(signature of applicant) (date)

SUBSCRIBED AND SWORN TO before me this 12 day of MARCH, 2012


  
 \_\_\_\_\_

(Notary Public and Seal)

EXHIBIT A (continued)



**Terreberry, Trude**

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**From:** Michael Trela [loyaltyinc1732@yahoo.com]  
**Sent:** Thursday, February 23, 2012 1:46 AM  
**To:** Terreberry, Trude  
**Subject:** aquatic visions

hello trudy

per our discussion yesterday, concerning my window graphics.

before i installed the graphics i submitted to the landlord with my reasons and they gave me the ok and said it would be no problem a beautiful addition to the center, they based it on the autozone windows 3 doors down which are solid chrome tint, total coverage. i understand ignorance (on our part) is no excuse, but it was not for show but purpose. since it went up in the end of the december we had someone from the chamber of commerce, police officers, firefighters, business owners and countless customers and residents stop by and comment on how it was a beautiful addition to naperville.

from the start i didnt do it for show or beauty, i did it for the following reasons-

a. sunlight - this is a saltwater fish and live coral store, sunlight, even if minimal through tint or just leaking in is detrimental to saltwater and causes severe algae problems/blooms, and heat transfer even if i tinted, i didnt want to mimic the autozone windows and just solid color them out.

b. during winter or cold spells due to the fact of all the water/humidity the windows sweat severely and freeze and melt and refreeze and leak down the windows and to the floor even though its finished on the inside.

c.on the inside of the store against the window total length are huge expensive display tanks(glass).the risk of something coming through that window(ex.vandalism,bottle,rock etc,)which is very common problem for fish stores(and already happened at this location-lower right pane was broke before the vinyl protection panels went up),even if there is nothing directly in front of the windows.i have had 4 stores in the past 15 years and that has happened at all of them.after the window graphic went up the multiple police officers that stopped by said that was a great idea and mentioned how my neighbor store a few doors down had the windows broke several times during summers.

the window graphic was done for purpose,not for show.but due to the fact i am located in naperville i just tried to make it pleasing with purpose instead of just plain. im not making excuses just hoping you can please understand my reasoning.

thank you  
mike-aquatic visions

Legal Description

LOT 10 OF CANTORE PLACE BEING A SUB-DIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED THE 17<sup>TH</sup> DAY OF DECEMBER, 2004, AS DOCUMENT R2004227291, IN WILL COUNTY, ILLINOIS.

PIN: 07-01-03-307-125-0000

Address: 2695 Forgue Dr., Suite 109, Naperville, IL 60564

# 2695 Forgue



Address Points

City.NLIS.CityGrid

Municipal Boundary (outline)

City.NLIS.Parcel

Major Rivers

Railroads

NPD\_Parks

Municipal Boundary (filled polygon)



**NAPERVILLE PLANNING AND ZONING COMMISSION  
DRAFT MINUTES OF MAY 2, 2012**

**Call to Order**

**7:02 p.m.**

**A. Roll Call**

Present: Frost, Coyne, Gustin, Herzog, Meyer, Messer, Trowbridge, Williams  
Absent: Bruno  
Student Members:  
Staff Present: Planning Team – Ying Liu, Tim Felstrup  
Engineering – Trude Terreberry

**D1. Case #12-1-047  
Aquatic Visions**

The petitioner is requesting a variance in order to have window signage that covers more than fifty (50) percent of the window-surface area of Suite 109 at 2695 Forgue Drive.

Terreberry, Engineering Services Team, gave an overview of the request.

- The petitioner indicated the sign was installed for safety reasons due to a recent break-in incident. The Police Department indicated that there is no criminal record associated with the subject property or the surrounding commercial development.
- The building code does not prevent people from blocking their windows. However, window signage is subject to the 50% requirement.

Michael Elmore, Aquatic Visions, spoke on behalf of the petitioner.

- The proposed signage is to improve the appearance of the storefront.
- Window covering is to protect the fish tank behind the window.
- The false dry wall serves the purpose of blocking the sun light.

Planning and Zoning Commission inquired about

- Whether the “window-surface area” includes the door and transom.
- What would be considered window signage? Staff responded that a blank film or generic graphic patterns covering the window are not considered signage. However, if the graphics are associated with the logo or products/services of the business, they are considered signage. A graphic pattern of fish would be considered a sign.
- Whether the false wall behind the window violates the building code. Staff responded that it doesn’t violate the building code.
- The purpose of requiring 50% of the windows free of signage. Staff indicated that the purpose is to prevent sign clutter.
- Whether the proposed sign should be considered a wall sign.

- Whether the fish tank can be relocated away from the window in the store. The petitioner responded no.
- Whether the regulations are different for signage inside the window.

**Public Testimony:** None

Planning and Zoning Commission closed the public hearing.

**Planning and Zoning Commission Discussion:**

- Coyne – Likes the design of the sign. However, concerned that this sign would set a precedent.
- Gustin – Agrees with Coyne. Suggests that the petitioner change the sign to a generic pattern and remove the text. Feels that a fish pattern is generic.
- Messer – It is an eye-catching sign. Agrees that a fish pattern is generic. Would like the petitioner to modify the sign.
- Trowbridge – Agrees with Gustin and Messer. Suggests that the petitioner reduce the sign to 50% of the window area and remove the text.
- Herzog – The sign is well-designed. However, the sign creates signage clutter on the storefront. Would prefer a blank covering for the window.

Planning and Zoning Commission moved to recommend approval of PZC 12-1-047 for a variance in order to have window signage that covers more than fifty (50) percent of the window-surface area of Suite 109 at 2695 Forgue Drive.

Motion by: Gustin

Seconded by: Trowbridge

The Planning and Zoning Commission moved to amend the main motion to approve window signage to cover 100% of the window-surface area subject to the condition that the text of the sign be removed and the graphic provide a fish and coral pattern similar to the existing design. Not Approved (2 to 6)

Motion by: Gustin

Seconded by: Messer

Ayes: Gustin, Messer

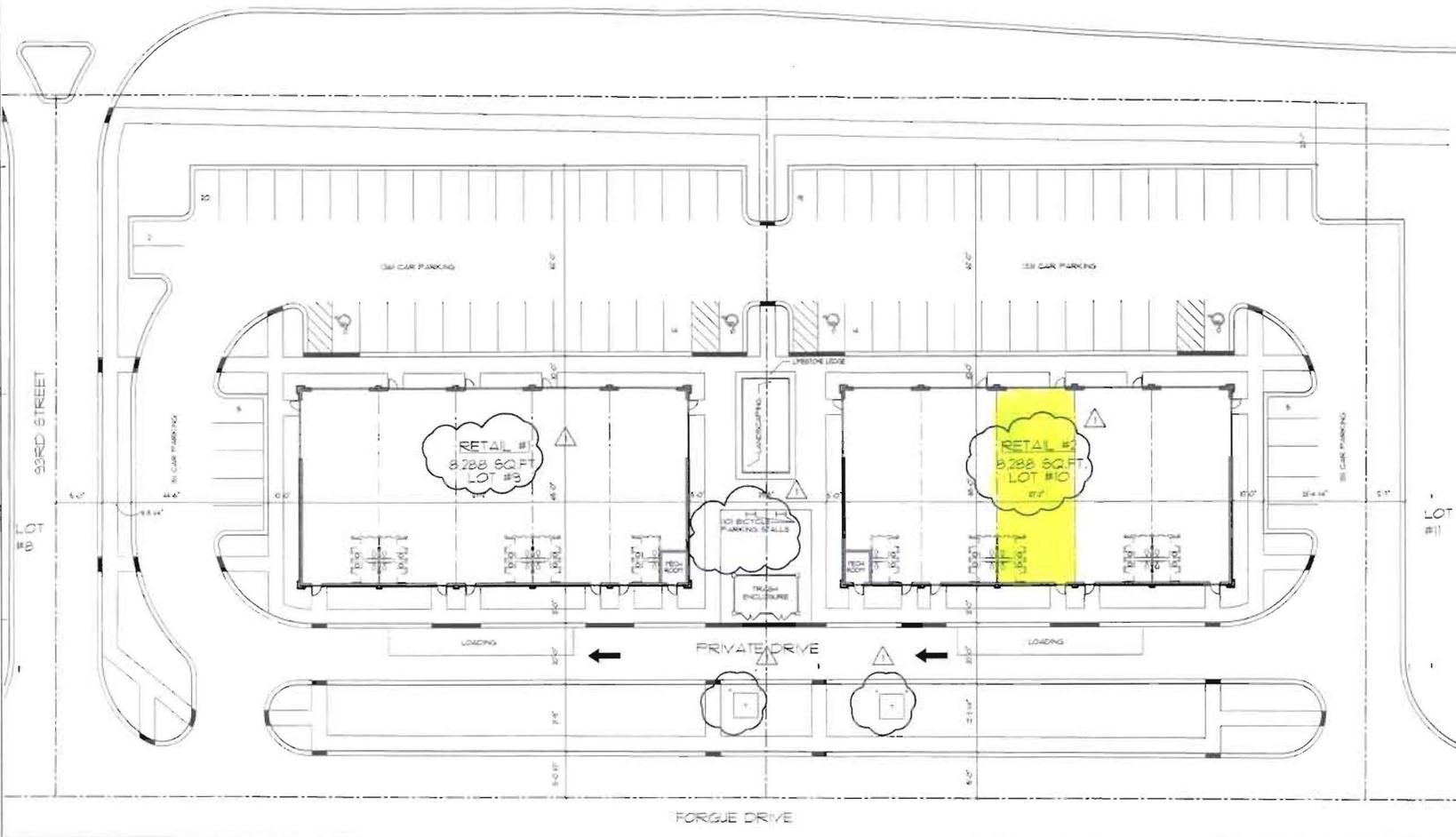
Nays: Coyne, Frost, Meyer, Trowbridge, Williams, Herzog

The Planning and Zoning Commission voted on the main motion.

Not Approved  
(0 to 8)

**GENERAL NOTES:**

- FOR ADDITIONAL INFORMATION SEE CIVIL ENGINEERING DRAWINGS.
- DIMENSION AND PROPERTY LINES SHOWN ARE FOR COORDINATION ONLY. REFER TO CIVIL DRAWINGS FOR DIMENSIONAL CONTROL PLANS.
- BUILDING AND SITE LAYOUT TO BE VERIFIED BY LICENSED SURVEYOR AND WRITTEN VERIFICATION TO BE FORWARDED TO OWNER.
- CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE AWARD OF CONTRACTS.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE GRADES, STORM DRAINAGE, UTILITIES, DIMENSIONS AND BEARING.
- ALL DRIVE APPROACHES SHALL BE INSTALLED PER CITY AND STATE STANDARDS.
- GENERAL CONTRACTOR TO INSTALL SIGNAGE FOR HANDICAP PARKING PER CITY AND STATE STANDARDS.
- PARKING STALLS 9'-0"X11'-6" AT LOCATIONS AS INDICATED ON SITE PLAN WITH 4" YELLOW PAINTED LINES, UNLESS NOTED OTHERWISE.
- PROVIDE DEPRESSIONED CONCRETE OUTER AT DRIVEWAYS WITH TWO #6 BARS AND 1/2" EXPANSION JOINT AT CENTER OF DRIVEWAY, UNLESS NOTED OTHERWISE.
- CONCRETE WALKS TO BE 5" THICK ON 4" GRAVEL BASE, 6" DEEP DOORS. PROVIDE THREE #4X12" LONG REINFORCING BARS AT UTILITY CROSSINGS, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PROVIDE A MIN. OF 6" TOP SOIL IN PLANTING AREAS UNLESS NOTED OTHERWISE.
- ALL SIGNAGE AND LOCATION SIGNAGE TO BE VERIFIED WITH OWNER.
- USE 6X6 DWOOD CURBS AROUND PAVED AREAS UNLESS NOTED OTHERWISE (SEE CIVIL DRAWINGS).
- KNOX BOX (KEY BOX) LOCATION TO BE VERIFIED & COORDINATED W/LOCAL FIRE DEPT. TO BE INSTALLED 36"-48" ABOVE GRADE. LOCATION TO BE VERIFIED AT A LATER DATE.
- ALL SIGNS TO BE PERMITTED SEPARATELY.
- ALL LAWN SPRINKLER SYSTEMS MUST BE PERMITTED SEPARATELY.



SITE/BUILDING DATA:	
<b>SITE DATA</b>	<b>QUANTITY</b>
LOT 10:	44,382 SQ.FT. (1.01 ACRES)
FLOOR AREA RATIO:	0.18 (0.325 MAX. ALLOWED)
<b>BUILDING DATA</b>	<b>QUANTITY</b>
TOTAL BUILDING AREA:	8,288 SQ.FT.
PROPOSED # OF TENANTS:	5 TENANTS
CAR PARKING:	38 STALLS (38 STALLS REQUIRED)
BICYCLE PARKING:	10 STALLS (5 STALLS REQUIRED)
CLEAR HEIGHT:	10'-8"

REV.	DATE	REVISION DESCRIPTION
1	08-15-09	PERM PER COMMENT
2	07-22-09	ISSUE FOR PERM
3	06-08-09	ISSUE FOR PERM

DATE: 08-23-09  
 DRAWN: JF  
 CHECKED: KLL  
**CANTORE PLACE**  
**RETAIL #2**  
 ROUTE 59 & 93RD STREET  
 NAPERVILLE, ILLINOIS  
 SITE PLAN

JOB NO:	05023-2	SHEET NO:	A100
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Terreberry, Trude

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**From:** Terreberry, Trude  
**Sent:** Thursday, April 26, 2012 8:19 AM  
**To:** Terreberry, Trude  
**Subject:** Aquatic Visions Sign Variance

**From:** Mark Knapp <[mknapp@wideopenwest.com](mailto:mknapp@wideopenwest.com)>  
**Date:** April 22, 2012 1:58:38 PM CDT  
**To:** "Brodhead, Judy" <[BrodheadJ@naperville.il.us](mailto:BrodheadJ@naperville.il.us)>  
**Subject:** Aquatic Visions Variance Problem

Dear Council Woman,

I would like to take this opportunity to inform you of a new business in Naperville called Aquatic Vision of Naperville. It is located on Route 59 approximately a half mile North of 95th Street on the East side of Route 59. It sells many beautiful Saltwater Fish and Corals as well as Freshwater Fish. The owner Mike Elmore has recently moved his business from Plainfield to Naperville. Mike has a Undersea Graphic Mural that covers his store front windows and it is visually attractive and in my opinion makes the strip shopping center more visually appealing.

The problem Mike is having is in February 2012, he received a letter from the city stating that an ordinance violation had been filed against him for the Undersea Mural. He contacted the Ordinance Department and was told that a member of the community had filed the complaint. He asked if he could contact the person who had filed the complaint so he could discuss their concerns about the window covering. They told him they were not allowed to disclose this information to him. They advised the owner to file for a variance which costs \$500 so he did.

Prior to installing the \$10,000 mural, he submitted to the landlord the following list of reasons for the mural:

1. Sunlight is a Saltwater Fish and Live Coral stores enemy because even if minimal through tint or just leaking in, it can cause severe algae problems and the heat transfer alone even through tint can be a detriment. Mike didn't want to mimic the Autozone windows and just solid color them out.
2. During the Winter or cold spells all the water/humidity the sweat from the windows create would freeze, melt and refreeze and then eventually leak down the windows onto the floor possibly causing damage and possibly a slip condition in the business.
3. The inside of the store against the front window would reside a full window length glass Saltwater display aquarium. The risk of something being thrown through that window (ex. Vandalism, bottles, rocks, etc) which is a very common problem for fish stores and has already happened at this location. ( The lower right pane was broken before the mural went up)

Mike has had four stores in the past 15 years and has had it happen to all of them. The landlord gave him the OK and said it would be no problem and a beautiful

addition to the center. They based their decision on the Autozone windows which are solid chrome tint. And the mural was not just for show but for a purpose.

Mike contacted the Naperville Police and Fire Departments and both departments inspectors assured the owner that the mural would pose no safety concerns and commented on how visually appealing it was. Multiple police officers stopped by and said that it was a great idea and mentioned how many neighbors store a few shops down had the windows broken several times during the past Summers.

Since the mural went up in the end of December Chamber of Commerce, Police Officers, Firefighters, Business Owners and countless customers and residents have commented on how it was a beautiful addition to Naperville. Mike said because he is now located in Naperville he tried to make it pleasing but with a purpose instead of just plain.

The week of April 8, 2012 an inspector from the City of Naperville: Trudy Tennebaum came and looked at a window sign indicating the business was "Open" and said that it was violating a city ordinance. The inspector told Mike that he probably not receive the variance, and the mural would have to be removed. She also pointed out that he needed a permit which would only be good for one month for three "Now Open Flags" located on the Shopping Centers property in front of the store. The owner indicated that the Shopping Center owner told him that he could put the flags there without any permits.

Thank You for taking the time to read this letter, please contact Mike if you have any further questions or suggestions on how he could come to an agreement with the city. It would really be a shame to lose something of beauty for no apparent reason when the world at times is so ugly.

Sincerely,

Mark Knapp



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** City Council Meeting Schedule

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Approve the City Council Meeting Schedule for July, August & September 2012.

**BOARD/COMMISSION REVIEW:**  
N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item	No. Action

**DEPARTMENT:** City Manager’s Office

**SUBMITTED BY:** Sue Bertino, Executive Secretary, CMO

**FISCAL IMPACT:**  
N/A

**BACKGROUND:**  
 City Council sets their City Council and Workshop meeting schedules three months in advance. The schedule also contains open Workshop dates and potential Workshop topics.

**RECOMMENDATION:**  
 Approve the City Council Meeting Schedule for July, August & September 2012.

**ATTACHMENTS:**  
 City Council Meeting Schedule for July, August & September 2012.

**CITY OF NAPERVILLE**  
**CITY COUNCIL MEETING SCHEDULE**  
**JULY, AUGUST & SEPTEMBER 2012**

<u>Date &amp; Time</u>	<u>Meeting</u>	<u>Location</u>
Tuesday, July 3, 2012 CANCELLED	City Council Meeting Closed Session Open Session	Council Chambers
Tuesday, July 17, 2012 6:00 pm 7:00 pm	City Council Meeting Closed Session Open Session	Council Chambers
Monday, August 6, 2012* 6:00 pm 7:00 pm	City Council Meeting Closed Session Open Session	Council Chambers
Tuesday, August 21, 2012 6:00 pm 7:00 pm	City Council Meeting Closed Session Open Session	Council Chambers
Monday, August 27, 2012 5:00 pm	Workshop: CDBG & Social Services Grant Program Objectives & Guidelines	Council Chambers
Tuesday, September 4, 2012 6:00 pm 7:00 pm	City Council Meeting Closed Session Open Session	Council Chambers
Tuesday, September 18, 2012 6:00 pm 7:00 pm	City Council Meeting Closed Session Open Session	Council Chambers

**OPEN WORKSHOP DATES:** (2nd and 4th Mondays; 5th Tuesdays)  
Monday –25; July 9, 23; August 13; September 10, 24  
Tuesday –July 31

**POTENTIAL WORKSHOP TOPICS**

Council Rules

Copies emailed to:

DLT	City Clerk's Office	School District 203
Kalah Considine, Dispatch	School District 204	Chamber of Commerce
Mike Bevis, Purchasing	Community Relations	Library Director
News Media	Peggy Frank, Naper Settlement	Christine Smith, Finance
Director, Park District	Homeowners Confederation	

\*Due to National Night Out on Tuesday, August 7, 2012



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Regular City Council Meeting Minutes of June 5, 2012

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**  
Approve the Regular City Council Meeting Minutes of June 5, 2012

**BOARD/COMMISSION REVIEW:**  
N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action

**DEPARTMENT:** City Clerk's Office

**SUBMITTED BY:** Pam LaFeber, Ph.D. - City Clerk

**FISCAL IMPACT:**  
N/A

**BACKGROUND:**  
N/A

**DISCUSSION:**  
N/A

**RECOMMENDATION:**  
Approve the Regular City Council Meeting Minutes of June 5, 2012

**ATTACHMENTS:**  
1. Minutes



**CITY COUNCIL MEETING OF JUNE 5, 2012  
UNOFFICIAL PRIOR TO CITY COUNCIL APPROVAL  
APPROVED BY THE CITY COUNCIL ON  
\_\_\_\_\_AS WRITTEN.**

**CALL TO ORDER:**

6:01 P.M.

**A** Mayor A. George Pradel  
Councilwoman Judy Brodhead  
Councilman Steve Chirico  
Councilman Robert Fieseler  
Councilman Paul Hinterlong  
Councilman Joe McElroy

Absent

Councilman Douglas Krause  
Councilman Kenn Miller  
Councilman Grant Wehrli

Also Present

City Manager, Doug Krieger  
City Clerk, Pam LaFeber  
City Attorney, Margo Ely  
Fire Chief, Mark Puknaitis  
Police Chief, Robert Marshall  
Finance Director, Karen DeAngelis  
T.E.D. Director, Marcie Schatz  
T.E.D. Operations Manager, Allison Laff  
T.E.D. Engineering Services Team Leader, Bill Novack  
T.E.D. Team Leader, Karyn Robles  
Public Works Director, Dick Dublinski  
Director of Public Utilities-Electric, Mark Curran  
Director of Public Utilities-Water, Jim Holzapfel

Press

Chicago Sun Times, Daily Herald, Naperville Sun

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
PAGE 2

**B CLOSED SESSION:**

CLOSED SESSION

Chirico moved to recess to Closed Session to discuss 5ILCS/120(c)(1) The appointment, employment, compensation, discipline, performance, or dismissal of specific employees of the public body; (2) Collective negotiating matters between the public body and its employees or their representatives; (21) Discussion of minutes of meetings lawfully closed under this Act, whether for the purposes of approval by the body of the minutes or semi-annual review of the minutes as mandated by Section 2.06; (11) Litigation, when action against, affecting or on behalf of the particular public body has been filed and is pending. Second, Hinterlong.

**ROLL CALL:**

**Ayes:** Pradel, Brodhead, Chirico, Fieseler, Hinterlong, McElroy

**Nays:** None

**Absent:** Krause, Miller, Wehrli

Motion declared carried.

**THE MEETING RECESSED TO CLOSED SESSION AT 6:05 P.M.  
CLOSED SESSION ENDED AT 6:54 P.M.**

**OPEN SESSION:**

**Mayor Pradel called the meeting back to order at 7:00 P.M.**

**ROLL CALL to determine Quorum:**

**Present:** Pradel, Brodhead, Chirico, Fieseler, Hinterlong, McElroy

**Absent:** Krause, Miller, Wehrli

**C PLEDGE TO THE FLAG:**

PLEDGE GIVEN

**D AWARDS AND RECOGNITIONS:**

**D1 Employee of the Month – June**

Councilwoman Brodhead recognized Bill Miller, DPW Field Supervisor, as the June Employee of the Month.

EMPLOYEE OF THE  
MONTH

**E PUBLIC FORUM:**

**E1 Move to Amend Resolution**

Keith Klingeman, 2420 Putnam Drive, spoke against the 2010 Supreme Court ruling on Citizens United v. FEC

John Laesch, 710 S. Fourth St, Aurora, spoke against the 2010 Supreme Court ruling on Citizens United v. FEC

Mary Shesgreen, 402 Orange St., Elgin, spoke against the 2010 Supreme Court ruling on Citizens United v. FEC

Madeline Sullivan, 863 Balton Court, spoke against the 2010 Supreme Court ruling on Citizens United v. FEC

Kathy Franke, 3 S 571 West Avenue, Warrenville, spoke against the 2010 Supreme Court ruling on Citizens United v. FEC

Steve Alesch, 27 S 554, Warrenville, spoke against the 2010 Supreme Court ruling on Citizens United v. FEC

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
PAGE 3

**E2**      **Tree Branches and Pension**

H.R. Hofmann, 1210 Lawn Meadow, discussed trimming branches from right of way and inquired about public sector pensions.

Council advised Mr. Hofmann to work with TED staff to resolve the issue of the branches and Krieger responded that Chief Marshall had yet to decide how he would receive his pension payments.

**F**      **HOLDOVER ITEMS:**

**G**      **PETITIONS AND COMMUNICATIONS TO THE COUNCIL:**

**H**      **CONSIDERATION OF MOTION TO USE OMNIBUS METHOD FOR REMAINING ITEMS:**

Fieseler moved to use the Omnibus method to approve the Consent Agenda. Second, Chirico.

**VOICE VOTE:**      Motion declared carried.

**I**      **CONSENT AGENDA:**

Fieseler moved to approve the Consent Agenda with the exception of items I14, I16, I17. Second, Chirico.

**ROLL CALL:**

**Ayes:** Pradel, Brodhead, Chirico, Fieseler, Hinterlong, McElroy

**Nays:** None

**Absent:** Krause, Miller, Wehrli

Motion declared carried.

**I1**      **Cash Disbursements – 5/9/12**

Council moved to approve the 5/9/12 cash disbursements in the amount of \$6,140,532.67.

CASH DISBURSEMENTS  
5/9/12

**I2**      **Cash Disbursements – 5/17/12**

Council moved to approve the 5/17/12 cash disbursements in the amount of \$9,769,880.92.

CASH DISBURSEMENTS  
5/17/12

**I3**      **Cash Disbursements – 5/23/12**

Council moved to approve the 5/23/12 cash disbursements in the amount of \$6,317,335.73.

CASH DISBURSEMENTS  
5/23/12

**I4**      **Regular City Council Meeting Minutes - May 15, 2012**

Council moved to approve the Regular City Council Meeting Minutes of May 15, 2012.

REGULAR CITY  
COUNCIL MEETING  
MINUTES – 5/15/12

**I5**      **RFP 12-164, Emergency Medical Services Billing**

Council moved to approve the award of RFP 12-164, Emergency Medical Services Billing, to Andres Medical Billing, for an amount of 4% of total dollars collected.

RFP 12-164, EMERGENCY  
MEDICAL SERVICES  
BILLING

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
PAGE 4

- I16**      Contract 12-106, Self Contained Breathing Apparatus (SCBA)  
Council moved to approve the award of Change Order #1 to Contract 12-106, self-contained breathing apparatus to Municipal Emergency Services for an amount not to exceed \$68,000.00 for a total award of \$128,000.00.
- I17**      FY12-13 Transportation Work Program  
Council moved to approve the FY 12-13 Work Program for the Comprehensive Transportation Plan.
- I18**      DuPage Children's Museum's Birthday Bash  
Council moved to approve the use of the DuPage Children's Museum parking lot, and issue a Special Event Permit for the DuPage Children's Museum's Birthday Bash.
- I19**      White Eagle Homeowner's Association Fireworks Display  
Council moved to approve the White Eagle Homeowners Associations' permit request to hold a fireworks display on June 30, 2012.
- I10**      Resolution No. 12-017, 2012 Pace Paratransit Local Share Agreement  
Council moved to adopt Resolution No. 12-017, authorizing the City Manager to execute the agreement with Pace for the 2012 Pace Paratransit Local Share Agreement for the operation of the Ride DuPage Program.
- I11**      Ordinance No. 12-055, Liquor License Late Night Permits  
Council moved to pass Ordinance No. 12-055, amending Title 3 (Business and License Regulations), Chapter 3 (Liquor and Tobacco Control), Sections 3-3-13 of the Naperville Municipal Code limiting the number of Late Night Permits.
- I12**      Ordinance No. 12-056, Electric Utility Transmission Metering Rate  
Council moved to waive first reading and pass Ordinance No. 12-056, amending Article C (Electric Service Rates) of Chapter 1 (Electricity), of Title 8 (Public Utilities), with respect to Electric Utility Transmission Metering Rate.
- I13**      Ordinance No. 12-057, Ribfest  
Council moved to pass Ordinance No. 12-057, establishing temporary traffic controls and issue a Special Event Permit for Ribfest 2012.
- I15**      Resolution No. 12-018, Agreement with IDOT CIP #SC-021, Improvement to Diehl Road  
Council moved to adopt Resolution No. 12-018, approving Amendment #1 to the Joint Agreement between the City of Naperville and the Illinois Department of Transportation for improvements to Diehl Road from Country Club Boulevard to Eola Road (CIP #SC-021).

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
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- I18**      Ordinance No. 12-058, McDonald’s, South Route 59, PZC 12-1-020  
Council moved to pass Ordinance No. 12-058, granting a variance from Section 6-9-3:4 (schedule of off-street parking requirements) and Section 5-10-3:5.1.2 (area of landscape island) in order to modify the parking and drive-through facilities for an existing McDonald’s restaurant located at 3232 S. Route 59.      ORDINANCE NO. 12-058, MCDONALD’S, SOUTH ROUTE 59, PZC 12-1-020
- I19**      Ordinance No. 12-059, Extend Outdoor Seating Permits to Class C-Tavern Liquor Licenses  
Council moved to pass Ordinance No. 12-059, amending Title 3 (business and license regulations), Chapter 3 (liquor and tobacco control) Section 11, of the Naperville Municipal Code to extend outdoor seating permits to Class C – Tavern liquor licenses.      ORDINANCE NO. 12-059, EXTEND OUTDOOR SEATING PERMITS TO CLASS C-TAVERN LIQUOR LICENSES
- I20**      Ordinance No. 12-060, Class R – Legitimate Theater House liquor license  
Council moved to pass Ordinance No. 12-060, amending Title 3 (business and license regulations), Chapter 3 (liquor and tobacco control), Section 11 of the Naperville Municipal Code to allow beer and wine to be consumed in the theater portion of Class R licensed establishments.      ORDINANCE NO. 12-060, CLASS R – LEGITIMATE THEATER HOUSE LIQUOR LICENSE
- I21**      Ordinance No. 12-061, Class M – Recreational Facility liquor license  
Council moved to pass Ordinance No. 12-061, amending Title 3 (business and license regulations), Chapter 3 (liquor and tobacco control), Sections 1 and 13 of the Naperville Municipal Code to expand the definition of (recreational facility) and increase the number of available licenses from six to seven.      ORDINANCE NO. 12-061, CLASS M – RECREATIONAL FACILITY LIQUOR LICENSE
- I22**      Silverado Senior Living, PZC 12-1-024  
      SILVERADO SENIOR LIVING, PZC 12-1-024
- I22a**      Ordinance No. 12-062, Conditional use in the OCI (office, Commercial and Institutional) Zoning District  
Council moved to pass Ordinance No. 12-062, approving a conditional use in the OCI (Office, Commercial, and Institutional) Zoning District for a convalescent or nursing home in accordance with 6-7F-3 of the Naperville Municipal Code and a variance to Section 6-2-12 (fences) for Silverado Senior Living, PZC 12-1-024.      ORDINANCE NO. 12-062, CONDITIONAL USE – OCI DISTRICT
- I22b**      Ordinance No. 12-063, Preliminary/Final plat of Subdivision  
Council moved to pass Ordinance No 12-063, approving a preliminary/final plat of subdivision for Silverado Senior Living.      ORDINANCE NO. 12-063, PRELIMINARY/FINAL PLAT OF SUBDIVISION
- I23**      Ordinance No. 12-064, 30 S. Ellsworth Street, PZC 12-1-045  
Council moved to pass Ordinance No. 12-064, granting a variance from Section 6-6C-7 (R2 single-family and low density multiple family residence district: yard requirements) of the Naperville Municipal Code to reduce the 25’ front yard setback requirement for the property located at 30 S. Ellsworth Street.      ORDINANCE NO. 12-064, 30 S. ELLSWORTH STREET, PZC 12-1-045

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
PAGE 6

**Clerk's Note:** Brodhead recused herself to avoid the appearance of impropriety and left the dais at 7:49 p.m.

- 
- I14**     Ordinance No. 12-065, Temporary Use – Saints Peter and Paul Convent, PZC 12-1-073     ORDINANCE NO. 12-065, TEMPORARY USE – SAINTS PETER AND PAUL CONVENT, PZC 12-1-073
- Fieseler moved to pass Ordinance No. 12-065, approving an extension to the temporary use for the Saints Peter and Paul Convent Building located at 5 N. Brainard Street through August 31, 2018. Second, McElroy.
- ROLL CALL:**  
**Ayes:** Chirico, Fieseler, Hinterlong, McElroy, Pradel  
**Nays:** None  
**Absent:** Krause, Miller, Wehrli  
**Recuse:** Brodhead  
Motion declared carried.
- I16**     Ordinance No. 12-066, Temporary Use Extension – Naper Place     ORDINANCE NO. 12-066, TEMPORARY USE EXTENSION – NAPER PLACE - PZC #12-1-072
- Fieseler moved to pass Ordinance No. 12-066, approving an extension to the temporary use for Naper Place located at 119 S. Main Street, expiring on August 31, 2016, subject to the conditions outlined in the ordinance, PZC #12-1-072. Second, Chirico.
- ROLL CALL:**  
**Ayes:** Fieseler, Hinterlong, McElroy, Pradel, Chirico  
**Nays:** None  
**Absent:** Krause, Miller, Wehrli  
**Recuse:** Brodhead  
Motion declared carried.
- Clerk's Note:** Brodhead returned to the dais at 7:52 p.m.
- I17**     Aquatic Visions, 2695 Forgue Drive, Suite #109, PZC #12-1-047
- Fieseler moved to table to the June 19 meeting. Second, Brodhead
- VOICE VOTE:** Motion declared carried.
- Option A**     Concur with the Planning and Zoning Commission and staff and deny requested variance for a window sign, on the west elevation of the building, that will cover 100% of the window-surface area for the property
- Option B**     Concur with the Petitioner and approve a variance for a window sign on the west elevation of the building that will cover 100% of the window-surface area, PZC 12-1-047.
- 
- K**     **AWARD OF BIDS AND OTHER ITEMS OF EXPENDITURE:**

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
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**L       REPORTS AND RECOMMENDATIONS:**

**L1       City Council Meeting Schedule**

CITY COUNCIL MEETING  
SCHEDULE

Chirico moved to approve the City Council Meeting Schedule for June, July & August 2012. Second, Hinterlong.

**VOICE VOTE:**     Motion declared carried.

**L2       Bicycle and Pedestrian Advisory Committee**

BICYCLE AND  
PEDESTRIAN ADVISORY  
COMMITTEE

**Option   Dissolve the Bicycle and Pedestrian Advisory Committee**

**A**

**Option   Transportation Advisory Board Vacancies be filled with BPAC members**

**B**

Council discussed reasons why committee should stay intact, that bicyclists should have formal advocates, and the benefits of the comprehensive plan that has been developed. Council also stated that combining the committees would be more efficient for staff and interests will no longer separated by having two committees.

Robles discussed the BPAC meeting schedule, stated that the ordinance governing the Transportation Advisory Board will be updated this year, and permanently having bicyclist/pedestrian interest representatives on the Board will be formalized as part of the update.

Chirico moved to approve the recommendation to dissolve the Bicycle and Pedestrian Advisory Committee and approve the recommendation that the two current vacancies on the Transportation Advisory Board be filled with BPAC members. Second, Brodhead.

**ROLL CALL:**

**Ayes:**       Hinterlong, McElroy, Pradel, Brodhead, Chirico

**Nays:**       Fieseler

**Absent:**     Krause, Miller, Wehrli

Motion declared carried.

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
PAGE 8

**L3**      Installation of Sidewalk across vacant lots

INSTALLATION OF  
SIDEWALK ACROSS  
VACANT LOTS

Novack explained the process of sidewalk installation, what is done with properties in foreclosure, that the City partners with owners to bring them into compliance, and the reasons why there was no agenda item notification.

Brodhead moved to continue the delay of enforcement action of Section 5-2B-5:4.1 requiring the installation of sidewalk within three years of platting except when any of the following criteria is met: 1) 90% or more of the lots in the subdivision have sidewalk; 2) 70% or more of the lots in the block face have sidewalk and there is not continuous sidewalk on either side of the street; 3) 50% or more of the lots in the block face on a collector or neighborhood connector street have sidewalk and there is no continuous sidewalk on either side of the street; for a period of two years. Second, Chirico.

**ROLL CALL:**

**Ayes:**        McElroy, Pradel, Brodhead, Chirico, Fieseler, Hinterlong  
**Nays:**        None  
**Absent:**      Krause, Miller, Wehrli  
Motion declared carried.

**M**      **PUBLIC HEARINGS:**

**M1**      2011 CDBG Comprehensive Annual Performance and Evaluation Report (CAPER)      2011 CDBG CAPER

**M1a**      Public Hearing on Program Year 2011

Pradel opened the public hearing at 8:14 p.m.

Fieseler moved to close the public hearing at 8:14 p.m. Second, Hinterlong.

**VOICE VOTE:**        Motion declared carried.

**M1b**      Accept the 2011 CDBG Comprehensive Annual Performance and Evaluation Report

Chirico moved to accept the 2011 CDBG Comprehensive Annual Performance and Evaluation Report. Second, Fieseler.

**ROLL CALL:**

**Ayes:**        Pradel, Brodhead, Chirico, Fieseler, Hinterlong, McElroy  
**Nays:**        None  
**Absent:**      Krause, Miller, Wehrli  
Motion declared carried.

**N**      **ORDINANCES AND RESOLUTIONS:**

**N1**      Ordinance No. 12-, McDonald's, PCZ 12-1-018

ORDINANCE NO. 12-,  
MCDONALD'S – PCZ 12-  
1-018

Fieseler moved to table to the June 19 meeting. Second, Hinterlong

**VOICE VOTE:**        Motion declared carried.

FINAL AGENDA  
CITY COUNCIL MEETING  
JUNE 5, 2012  
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**O NEW BUSINESS**

**O1 Central Park Restroom Facilities**

By consensus Council agreed to amend the CIP in order to have the restrooms constructed for the 2013 concert season.

**O2 Ash Tree**

Hinterlong asked about the treatment process of the Ash trees.

Dublinski explained that a tree will not be treated if more than 50% of the canopy is diseased. He said staff will survey the trees and report back to Council the number of trees to be treated or cut down.

**O3 Mowing Restrictions**

By consensus Council agreed to have the Planning & Zoning Commission review restricting the weekend hours of commercial landscape services similar to that of contractor services.

**O4 Washington Street parking**

Fieseler discussed two parking spaces at 25 S. Washington, explained that they disrupt traffic patterns, and asked about the history of their approval.

Schatz stated that staff will review the initial traffic study and examine it against new data.

**P CLOSED SESSION:**

CLOSED SESSION

**Q ADJOURNMENT:**

ADJOURNMENT –8:30 P.M.

Fieseler moved to adjourn the Regular City Council meeting of June 5, 2012 at 8:30 p.m. Second, Hinterlong.

**VOICE VOTE:** Motion declared carried.

The Regular City Council Meeting of June 5, 2012 officially adjourned at 8:30 p.m.

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PAM LAFEVER PH.D.  
CITY CLERK

PL: BK



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Authorize the City Manager to fill vacant Police Officer position

**TYPE OF VOTE:** Simple Majority

**ACTION REQUESTED:**

Authorize the City Manager to fill one vacant Police Officer position in the Police Department.

**BOARD/COMMISSION REVIEW:**

N/A

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item	No. Action
09/16/08	03	Hiring Freeze
02/03/09	L3	Authorize City Manager to internally fill vacancies that result in no change in FTEs and will be cost neutral or result in cost savings.

**DEPARTMENT:** Police

**SUBMITTED BY:** Robert W. Marshall, Chief of Police

**FISCAL IMPACT:**

The recommended action to replace a retired Officer will result in a first year salary savings of approximately \$25,000. The new officer will be ineligible for annual FOP longevity pay (\$1500/yr) for his first 10 years.

Due to the existing FOP contract, the new hire will remain a Tier 1 employee, and subject to the benefit plans negotiated therein.

**BACKGROUND:**

On September 16, 2008, the City Council implemented a hiring freeze, requiring the City Manager to seek their approval prior to filling positions. On February 3, 2009, the City Council authorized the City Manager to fill vacancies internally without Council approval provided that a) the transfer is cost neutral or saves money, b) there is no increase in FTE's, and c) external hiring will be approved by the City Council.

*Recommendation to fill position in PD  
June 19, 2012  
Page 2 of 2*

Prior to a staff vacancy coming before the City Council for approval, the Personnel Review Committee reviews the department’s written justification and meets with the department director to challenge the necessity of the position, discuss the possibility of reallocating the work and consider alternatives to filling the position. On June 1, 2012, the Personnel Review Committee approved this position for City Council consideration and authorization to hire.

**DISCUSSION:**

<b>DEPARTMENT</b>	<b>JOB TITLE</b>	<b>RESULT</b>	<b>CHANGE IN BUDGETED HEADCOUNT</b>	<b>SALARY GRADE &amp; RANGE</b>	<b>TIER 1 or 2</b>
NPD	Police Officer	Vacant position is filled via external means from police officer eligibility list	+/- 0.00 FTE	Union Grade 201 Step 1 - \$29.71/hr Step 8 - \$41.76/hr	1

Over the last three years the number of sworn positions within the Naperville Police Department has been reduced by 24. Of these sworn reductions, 19 were police officer positions and five were supervisory and management positions. The police department’s total sworn headcount was reduced from 189 to 165.

On May 31, 2012, one police officer retired from the department after 28 years of service. The vacancy will be filled by an external candidate from the police officer eligibility list maintained by the Board of Fire and Police Commissioners.

The police officer candidate will attend the next available police academy class beginning July 9, 2012. The police academy class is a 12-week academy that runs from July 9, 2012 through September 28, 2012. Upon successful completion, the police officer candidate will enter an approximate 22-week field training program, running from October 2012 through February 2013. Assuming the candidate successfully progresses through the training program with an acceptable level of performance, it is estimated that the officer will graduate to solo patrol duties on or around March 1, 2013.

In addition, per General Order 32.2.10, permanent status as a police officer requires completion of a probationary period of 18 months, during which time performance will be evaluated. Permanent status is granted only if work performance has been deemed satisfactory and therefore, this position will be on probation until approximately December 2013.

**RECOMMENDATION:**

Authorize the City Manager to hire one Police Officer from the current Police Officer Eligibility Roster maintained by the Naperville Board of Fire and Police Commissioners to fill the current vacancy.



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Authorize the City Manager to recruit externally and fill one vacant Lead Code Enforcement Officer position in the Department of Transportation, Engineering and Development.

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**TYPE OF VOTE:** Simple majority

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**ACTION REQUESTED:**  
Grant approval to recruit externally and fill one vacant Lead Code Enforcement Officer position in the Department of Transportation, Engineering and Development.

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**BOARD/COMMISSION REVIEW:**  
N/A

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**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
09/16/08	03	Hiring Freeze
02/03/09	L3	Authorize City Manager to internally fill vacancies that result in no change in FTEs and will be cost neutral or result in cost savings.

**DEPARTMENT:** Transportation, Engineering and Development

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**SUBMITTED BY:** Marcie Schatz, Department Director

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**FISCAL IMPACT:**  
The recommended action will result in no change in budgeted headcount within TED. Filling the vacant position is anticipated to result in approximately \$7,000 savings vs. budget. The external hire will have Tier 2 benefits.

**BACKGROUND:**  
On September 16, 2008, the City Council implemented a hiring freeze, requiring the City Manager to seek their approval prior to filling positions. On February 3, 2009, the City Council authorized the City Manager to fill vacancies internally without Council approval provided that a) the transfer is cost neutral or saves money, b) there is no increase in FTE's, and c) external hiring will be approved by the City Council. This position was recently vacated due to an employee resignation. The City Manager supports the request to advertise and hire the position.

*Recommendation to a Lead Code Enforcement Officer  
June 19, 2012  
Page 2 of 3*

The Code Enforcement Team is comprised of one Lead Code Enforcement Officer and four Code Enforcement Officer positions. One Code Enforcement Officer position was eliminated through the reduction in force in 2009.

**DISCUSSION:**

DEPARTMENT	JOB TITLE	RESULT	CHANGE IN BUDGETED HEADCOUNT	SALARY GRADE & RANGE	TIER 1 or 2
Transportation, Engineering and Development.	Lead Code Enforcement Officer	Vacant positions are filled via external means	+/- 0 FTE	Grade N11 Min \$51,089 Mid \$64,529 Max \$77,970	2

The Code Enforcement Officers are responsible for the following duties which include the enforcement of the Property Maintenance Code:

- All property maintenance code calls (general exterior maintenance, vacant/foreclosed homes, sidewalk obstructions)
- Construction site issues (including teardowns), work without a permit
- Rental property concerns (no heat, overcrowding, absentee landlords)
- Illegal sign removal
- Tall grass and weed complaints
- Ensuring compliance with the vacant lot ordinance
- Complex cases in conjunction with the Police Department (hoarding, animals)
- Sign inspections
- Outdoor seating liquor license inspections
- Assistance to the Fire Department on follow-up inspections
- Code enforcement support to other departments (i.e. DPU meter obstructions, movement of basketball hoops before winter plowing season)
- FOIA response (approximately 90 FOIA s annually)
- Assist and draft text amendments (chickens, boarding houses)

The Lead Code Enforcement Officer is a working supervisor position. The Lead officer spends about 75% of their time managing code cases and 25% managing workload, coordination of resources, supervisory responsibilities, and supporting code officers with complex and controversial cases.

If the position is not approved, health, safety, wellness cases and FOIAs will continue to be managed as a high priority. The response time for non-emergency code cases is projected to be 3-4 days. We will provide limited support to other departments. Illegal sign removal and weed cases will be the lowest priority for the team. In addition, efforts underway to further enhance

*Recommendation to a Lead Code Enforcement Officer*

*June 19, 2012*

*Page 3 of 3*

the relationships and resource sharing between code enforcement and the inspection team will be limited.

The Code Enforcement team works closely with the residents and businesses of the community on issues that affect livability. On the health, safety, welfare issues, the officers manage cases in rental units with no heat in the middle of winter, unsanitary conditions, overcrowding, and hoarding cases. On the neighborhood livability issues, they address complaints about exterior maintenance, noise, trash, and weeds. They are the team that ensures adherence with teardown construction regulations in existing neighborhoods. With the filling of the vacant position, the team can maintain a reasonable response time to address concerns and help ensure the properties in this community are properly maintained.

*Part-time Consideration*

TED considers the hiring of part-time personnel for any vacancy created within the Department and created two part-time positions within the last year. The Lead Code Enforcement Officer position is recommended as a full-time position with Tier 2 benefits. As a supervisory position, the position requires significant coordination with the other members of their team, other teams in TED, other departments in the City, and residents and businesses. In addition, code officers typically respond to a non-urgent code call within 48 hours and often a case will require more than one visit for resolution. If an officer is only working part-time, the response and completion time for cases may be compromised. A full-time position also provides a greater level of consistency on managing and supervising the officers managing cases.

**RECOMMENDATION(S):**

Authorize the City Manager to recruit externally and fill one Lead Code Enforcement Officer position in the Department of Transportation, Engineering and Development.



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** Northwest Water Tower - 2820 W. Diehl Road - PZC 12-1-057

**TYPE OF VOTE:** Simple Majority, unless otherwise noted below

**ACTION REQUESTED:**

- a) Waive the first reading and pass the ordinance annexing the subject property.
- b) Pass the ordinance to zone the subject property to I (Industrial District) upon annexation.
- c) Pass the ordinance approving a Preliminary/Final Plat of Subdivision for Northwest Water Tower.
- d) Pass the ordinance approving a conditional use for a Public Assembly Use and related variances at the subject property.

**BOARD/COMMISSION REVIEW:**

At their May 16, 2012 meeting, the Planning and Zoning Commission recommended approval of PZC 12-1-057 (vote 7-0). Staff concurs.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date	Item No.	Action
n/a		

**DEPARTMENT:** Transportation, Engineering and Development Business Group

**SUBMITTED BY:** Allison Laff, AICP, Planning Operations Manager

**FISCAL IMPACT:**

None

**BACKGROUND:**

The subject property includes 0.344 acres located on the south side of Diehl Road, east of the EJ&E Railroad, with an address of 2820 W. Diehl Road. The subject property is currently zoned I-2 (General Industrial) in DuPage County. The site is currently improved with a City of Naperville 300,000 gallon elevated water storage tank used to supply potable water to the community.

*Northwest Water Tower  
June 19, 2012  
Page 2 of 3*

**DISCUSSION:**

*Rezoning & Subdivision*

The petitioner, City of Naperville Department of Public Utilities - Water, is seeking rezoning to I (Industrial) upon annexation. The property is contiguous to the City of Naperville on the north side of Diehl Road and is therefore eligible for annexation. The requested I zoning is consistent with the recommended future land use of the subject property, as well as existing City zoning in the area.

The proposed Preliminary/Final Subdivision Plat for the Northwest Water Tower will establish the subject property as a legal lot of record. The petitioner will be dedicating 30.40' – 32' of right-of-way along the northern property line for Diehl Road. The resulting lot will be 11,881 square feet in size and will comply with the minimum lot width requirements in the I district.

*Conditional Use*

The petitioner is seeking approval of a conditional use in accordance with Section 6-2-29 (Public Assembly Uses) to allow for a civic building/use at the subject property. Public Assembly Uses are defined as noncommercial uses which are operated on a not for profit basis. Section 6-2-29 is intended to create greater opportunities for the location of public assembly uses in appropriate locations. Given the necessary utility function provided by the water tower, staff is supportive of the requested conditional use for a public assembly use at the subject property.

*Variances*

Per Section 6-8C-5 (Area Requirements), the minimum area of any I zoned lot is ½ acre (21,780 square feet). After dedication of additional right-of-way for Diehl Road, the subject property will be 11,181 square feet in size. Accordingly, a variance to reduce the minimum I lot size is required. Staff supports the requested variance given the property's existing configuration and use.

A variance to Section 6-8C-7 (Yard Requirements) is additionally required to reduce the required 20' setback along Diehl Road. Upon dedication of an additional 30.40' – 32' of right-of-way along the northern property line for Diehl Road, the base of the water tower will be setback 18.79' from Diehl Road (the elevated portion of the tank (bowl) will be 6.94' from Diehl Road). Staff supports the requested variance given that the setback reduction is a direct result of the Diehl Road dedication. Upon approval of the setback reduction, the tower will remain in the same place as it sits today.

*Planning and Zoning Commission Review*

The public hearing for PZC 12-1-057 was held on May 16, 2012. No members of the public provided testimony at this meeting. Upon closing the public hearing, the Planning and Zoning Commission recommended approval of PZC 12-1-057 (vote 7-0); staff concurs.

**RECOMMENDATION:**

- a) Waive the first reading and pass the ordinance annexing the subject property.
- b) Pass the ordinance to zone the subject property to I (Industrial District) upon annexation.

*Northwest Water Tower*

*June 19, 2012*

*Page 3 of 3*

- c) Pass the ordinance approving a Preliminary/Final Plat of Subdivision for Northwest Water Tower.
- d) Pass the ordinance approving a conditional use for a Public Assembly Use and related variances at the subject property.

**ATTACHMENTS:**

- 1. Ordinance Annexing the Subject Property
- 2. Ordinance Rezoning the Subject Property
- 3. Ordinance Approving the P/FSP
- 4. Ordinance Approving the Conditional Use and Variances
- 5. May 16, 2012 PZC Minutes

**P.I.N.:**  
07-05-405-007

**ADDRESS:**  
2820 W. Diehl Road  
Naperville, IL 60563

**PREPARED BY:**

**CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170**

**RETURN TO:**

**CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
P.O. BOX 3020  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60566-7020**

**P.C. Case #12-1-057**

**ORDINANCE NO. 12 - \_\_\_\_**

**ORDINANCE ANNEXING CERTAIN PROPERTY COMMONLY KNOWN AS  
NORTHWEST WATER TOWER**

**WHEREAS**, City of Naperville Department of Public Utilities, Water and Wastewater, 400 S. Eagle Street, Naperville, IL has filed a written petition with the City Clerk of the City of Naperville requesting annexation of the real property located 2820 W. Diehl Road,, legally described in **Exhibit A** and depicted on **Exhibit B** (“Subject Property”); and

**WHEREAS**, the territory is not within the corporate limits of any municipality, but is contiguous to the City of Naperville and eligible for annexation; and

**WHEREAS**, the required statutory notices have been given to the Naperville Fire Protection District Trustees, Lisle Fire Protection District Trustees, Lisle Township Board of Auditors – Trustees and Clerk and the Lisle Township Highway Commissioner, at least ten days prior to the date of the adoption of this ordinance; and

WHEREAS, all petitions and other necessary legal requirements are in full compliance with the requirements of the State of Illinois, specifically Section 5/7-1-8 of Chapter 65 of the Illinois Compiled Statutes.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:

**SECTION 1:** The Subject Property described in **Exhibit A** is hereby annexed by the City of Naperville.

**SECTION 2:** The City Clerk is authorized to record certified copies of this Ordinance, together with accurate maps of the territory annexed with the DuPage County Recorder.

**SECTION 3:** This Ordinance shall be in full force and effect upon recordation of the documents described in Section 2 above.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

ATTEST:

\_\_\_\_\_  
A. George Pradel  
Mayor

\_\_\_\_\_  
Pam LaFeber, Ph.D.  
City Clerk

STATE OF ILLINOIS     )  
  ) SS  
DUPAGE COUNTY         )

The undersigned hereby certifies that she is the City Clerk of the City of Naperville, and that, as such, she is the custodian of the records of the municipality and keeper of the journal of proceedings of the City Council; and she further certifies that the foregoing is a true and correct copy of Ordinance No. 12 - \_\_\_\_\_, duly enacted by the City Council of the City of Naperville at a regular meeting thereof on the \_\_\_\_\_ day of \_\_\_\_\_, 2012, and passed on roll call vote as shown on the foregoing; that she further certifies that due notice, as provided by law, of the consideration of ordinance was given to the Naperville Fire Protection District Trustees, Lisle Fire Protection District Trustees, Lisle Township Board of Auditors – Trustees and Clerk and the Lisle Township Highway Commissioner on April 2, 2012, and she further certifies that there is no other public library district to which any notice is required to be given under the provisions of Section 5/7-1-8 of Chapter 65 of the Illinois Compiled Statutes.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
City Clerk

The above and foregoing certificate was subscribed and sworn to before me this \_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Notary Public

**LEGAL DESCRIPTION**

THE NORTH 150 FEET OF THE WEST 100 FEET OF LOT 56 IN COUNTRY LAKES INDUSTRIAL PARK UNIT ONE, A SUBDIVISION IN SECTIONS 4, 5, 8, 9 AND 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1973 AS DOCUMENT R73-74119 AND CERTIFICATE OF CORRECTION RECORDED FEBRUARY 25, 1974 AS DOCUMENT R74-08512, IN DUPAGE COUNTY, ILLINOIS.

PIN: 07-05-405-007

Address: 2820 W. Diehl Road  
Naperville, IL 60563

**EXHIBIT A**

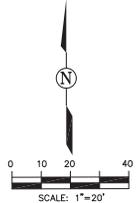
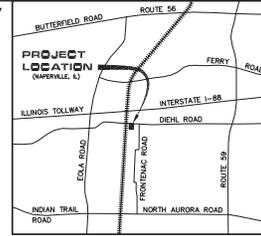
# PLAT OF ANNEXATION

PART OF SECTIONS 5, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

TOTAL AREA= 15,001 SF (0.344 ACRES MORE OR LESS)

P.I.N. 07-05-405-007

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:  
NAME: NAPERVILLE CITY CLERK  
ADDRESS: 400 S. EAGLE STREET  
NAPERVILLE, ILLINOIS  
60540



- ABBREVIATIONS**
- REC. RECORD DATA
  - MEAS. MEASURED DATA
  - DEED DEEDED DATA
  - R. RIGHTS
  - A. ARC DATA
  - ROW RIGHT OF WAY
  - PL PROPERTY LINE
  - CL CENTERLINE

THERE ARE NO HABITABLE STRUCTURES WITH ELECTORS ON THE PROPERTY

- LEGEND**
- ANNEXATION BOUNDARY
  - BOUNDARY
  - EXISTING EASEMENT LINE
  - EXISTING LOT LINE
  - CENTER LINE
  - BUILDING SETBACK LINE
  - RIGHT-OF-WAY
  - EXISTING NAPERVILLE CORPORATE LIMITS

**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS PLAT OF ANNEXATION IS IDENTIFIED AS THAT REAL ESTATE INCORPORATED INTO AND MADE A PART OF THE CITY OF NAPERVILLE OF WILL AND DUPLICATION BY ORDINANCE NO. \_\_\_\_\_ ADOPTED BY THE CITY COUNCIL AT A MEETING HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ AT \_\_\_\_\_

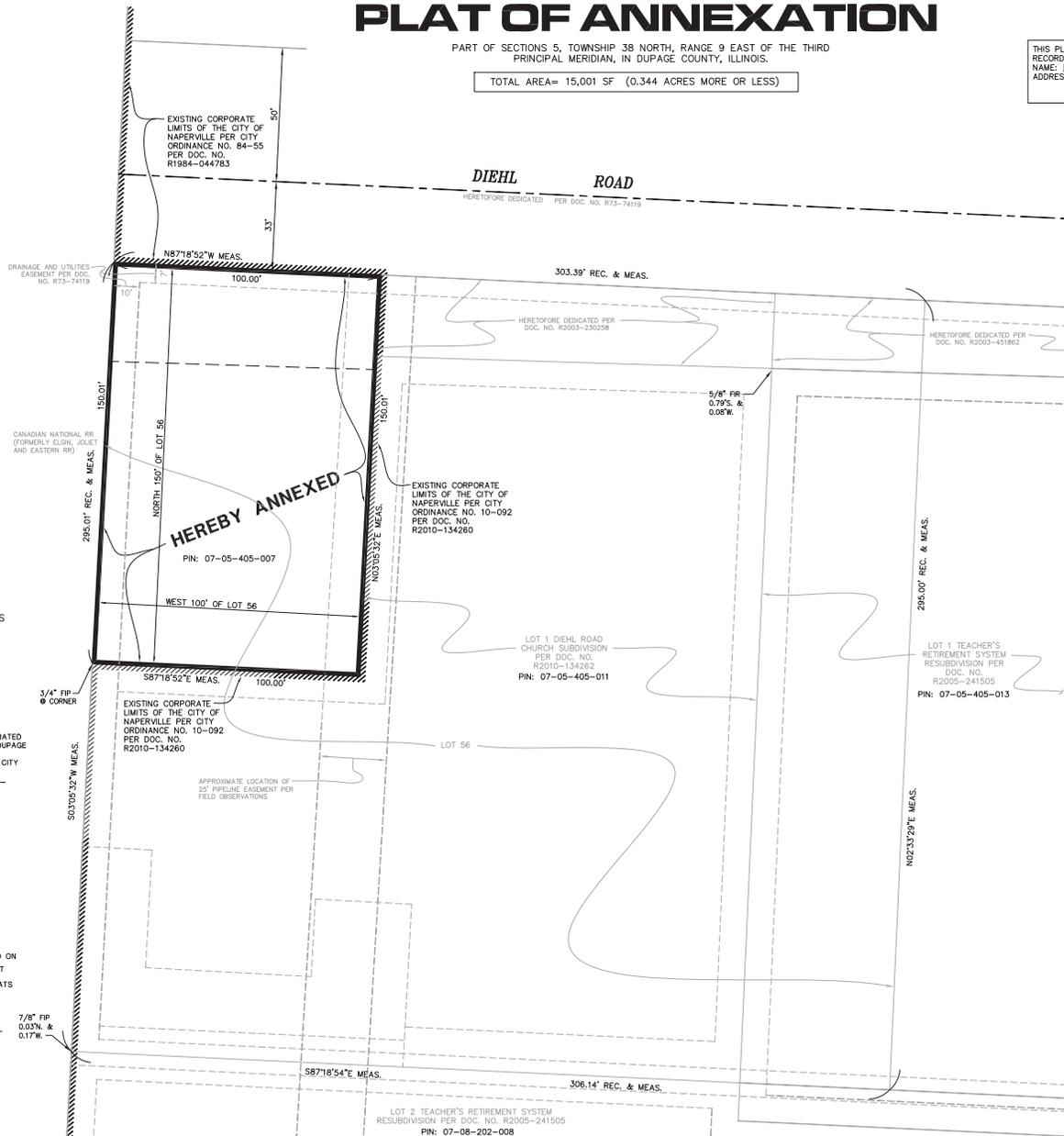
BY: \_\_\_\_\_ MAYOR ATTEST: \_\_\_\_\_ CITY CLERK

**DUPAGE COUNTY RECORDER'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT NUMBER \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF WILL COUNTY, ILLINOIS AFORESAID ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK AND WAS RECORDED IN BOOK \_\_\_\_\_ OF PLATS ON PAGE \_\_\_\_\_

RECORDER OF DEEDS



- SURVEYOR'S NOTES:**
- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF
  - BASIS OF BEARINGS: THE BEARINGS SHOWN ON THE PLAT MAP ARE ASSUMED

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, CHARLES A. HULSE, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM FIELD SURVEYS AND EXISTING PUBLIC RECORDS FOR THE PURPOSE OF ANNEXING THE FOLLOWING DESCRIBED PROPERTY TO THE CITY OF NAPERVILLE, ILLINOIS AND THE NAPERVILLE PARK DISTRICT:

THE NORTH 150 FEET OF THE WEST 100 FEET OF LOT 56 IN COUNTRY LAKES INDUSTRIAL PARK UNIT ONE, A SUBDIVISION IN SECTIONS 4, 5, 8, 9 AND 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1973 AS DOCUMENT R73-7419 AND CERTIFICATE OF CORRECTION RECORDED FEBRUARY 25, 1974 AS DOCUMENT R74-0892, IN DUPAGE COUNTY, ILLINOIS.

THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 20, 2013, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D., 20\_\_\_\_

ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2955  
LICENSE VALID THROUGH NOVEMBER 30, 2012



CITY PROJECT NO. # 11-10000000

**ROAKE AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS  
1894 CUNCIY AVENUE, SUITE 100A • NAPERVILLE, ILLINOIS 60540  
TEL (630) 366-9232 • FAX (630) 366-3287

PREPARED FOR:  
**CITY OF NAPERVILLE**  
DEPARTMENT OF PUBLIC UTILITIES  
400 SOUTH EAGLE STREET  
NAPERVILLE, ILLINOIS 60540  
TEL (630) 420-6131  
FAX (630) 420-6744

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	06/14/11	REVISED PER CITY REVIEW (5/27/2011)			
2	06/16/11	REVISED PER CITY EMAIL (6/16/2011)			
3	05/21/12	REVISED PER CITY EMAIL (6/16/2011)			

**NORTHWEST WATER TOWER**

PLAT OF ANNEXATION

DRN./C/D. BY: MAJ/CAH	FILE: 35461PS	F.L.D. BK./PG.: 235/49	SHEET NO. 1 OF 1
SCALE: 1"=20'	DATE: 04/11/11	JOB NO.: 354.061	

City Council Meeting - 6/19/2012 - 366

Page 366 - Agenda Item M.1.

**P.I.N.:**  
07-05-405-007

**ADDRESS:**  
2820 W. Diehl Road  
Naperville, IL 60563

**PREPARED BY:**

**CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170**

**RETURN TO:**

**CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
P.O. BOX 3020  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60566-7020**

**P.C. Case #12-1-057**

**ORDINANCE NO. 12 - \_\_\_\_**

**AN ORDINANCE AMENDING THE ZONING ORDINANCE  
OF THE CITY OF NAPERVILLE, ILLINOIS, FOR THE  
PROPERTY COMMONLY KNOWN AS  
NORTHWEST WATER TOWER**

**WHEREAS**, the 0.344 acre property located at 2820 W. Diehl Road is legally described in **Exhibit A** ("Subject Property"); and

**WHEREAS**, the Subject Property is currently zoned I-2 (General Industrial) in DuPage County; and

**WHEREAS**, the owner of the Subject Property has petitioned to annex and rezone the property to I (Industrial District) in the City of Naperville; and

**WHEREAS**, on May 16, 2012, the Planning and Zoning Commission held a public hearing and provided a positive recommendation for the petition for rezoning (7-0, approved); and

**WHEREAS**, the City Council has determined that the request for rezoning should be granted as set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The Subject Property legally described in **Exhibit A** is hereby rezoned to I (Industrial District) in the City of Naperville.

**SECTION 2:** The Zoning Map of the City of Naperville is hereby amended in accordance with this Ordinance.

**SECTION 3:** The City Clerk is authorized to record certified copies of this ordinance, together with accurate maps of the territory annexed with the Recorder of Deeds of DuPage County.

**SECTION 4:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph.D.  
City Clerk

**LEGAL DESCRIPTION**

THE NORTH 150 FEET OF THE WEST 100 FEET OF LOT 56 IN COUNTRY LAKES INDUSTRIAL PARK UNIT ONE, A SUBDIVISION IN SECTIONS 4, 5, 8, 9 AND 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1973 AS DOCUMENT R73-74119 AND CERTIFICATE OF CORRECTION RECORDED FEBRUARY 25, 1974 AS DOCUMENT R74-08512, IN DUPAGE COUNTY, ILLINOIS.

PIN: 07-05-405-007

Address: 2820 W. Diehl Road  
Naperville, IL 60563

**EXHIBIT A**

**P.I.N.:**  
**07-05-405-007**

**ADDRESS:**  
**2820 W. Diehl Road**  
**Naperville, IL 60563**

**PREPARED BY:**

**CITY OF NAPERVILLE**  
**LEGAL DEPARTMENT**  
**630/420-4170**

**RETURN TO:**

**CITY OF NAPERVILLE**  
**CITY CLERK'S OFFICE**  
**P.O. BOX 3020**  
**400 SOUTH EAGLE STREET**  
**NAPERVILLE, IL 60566-7020**

**P.C. Case #12-1-057**

**ORDINANCE NO. 12 - \_\_\_\_**

**AN ORDINANCE APPROVING THE  
PRELIMINARY/FINAL PLAT OF SUBDIVISION FOR  
NORTHWEST WATER TOWER**

**WHEREAS**, City of Naperville Department of Public Utilities, Water and Wastewater, 400 S. Eagle Street, Naperville, IL has petitioned the City of Naperville for approval of a Preliminary/Final Plat of Subdivision for the property located at 2820 W. Diehl Road, legally described in **Exhibit A**; and

**WHEREAS**, the petitioner is requesting approval of the Preliminary/Final Plat of Subdivision in order to establish the subject property as a legal lot of record in accordance with Title 7 (Subdivision Regulations) of the Naperville Municipal Code; and

**WHEREAS**, on May 16, 2012, the Planning and Zoning Commission held a public hearing and recommended that the Preliminary/Final Plat of Subdivision for Northwest Water Tower be approved; and

WHEREAS, the City Council has determined that the Preliminary/Final Plat of Subdivision for Northwest Water Tower should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:

**SECTION 1:** The foregoing recitals are incorporated as though fully set forth herein.

**SECTION 2:** The Preliminary/Final Plat of Subdivision for Northwest Water Tower attached to this Ordinance as **Exhibit B** is hereby approved.

**SECTION 3:** The approvals set forth in this Ordinance are subject to all conditions and requirements set forth in of Title 6 (Zoning) and Title 7 (Subdivision Regulations) of the Naperville Municipal Code, as amended, and to all supporting documents and exhibits contained as a part of the record.

**SECTION 4:** The City Clerk is directed to record the Preliminary/Final Plat of Subdivision for Northwest Water Tower approved by this Ordinance.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph.D.  
City Clerk

**LEGAL DESCRIPTION**

THE NORTH 150 FEET OF THE WEST 100 FEET OF LOT 56 IN COUNTRY LAKES INDUSTRIAL PARK UNIT ONE, A SUBDIVISION IN SECTIONS 4, 5, 8, 9 AND 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1973 AS DOCUMENT R73-74119 AND CERTIFICATE OF CORRECTION RECORDED FEBRUARY 25, 1974 AS DOCUMENT R74-08512, IN DUPAGE COUNTY, ILLINOIS.

PIN: 07-05-405-007

Address: 2820 W. Diehl Road  
Naperville, IL 60563

**EXHIBIT A**

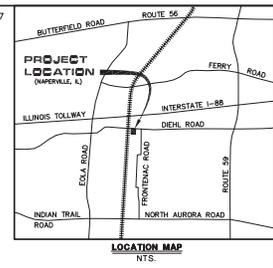
# PRELIMINARY/FINAL PLAT OF SUBDIVISION OF NORTHWEST WATER TOWER

PART OF SECTIONS 5, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD  
PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

GROSS BOUNDARY	15,001 S.F. (0.344 ACRES)
DIEHL ROAD ROW DEDICATION	3,120 S.F. (0.072 ACRES)
NET BOUNDARY	11,881 S.F. (0.272 ACRES)

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:  
NAME: NAPERVILLE CITY CLERK  
ADDRESS: 400 S. EAGLE STREET  
NAPERVILLE, ILLINOIS  
60540

P.I.N. 07-05-405-007



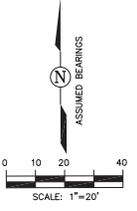
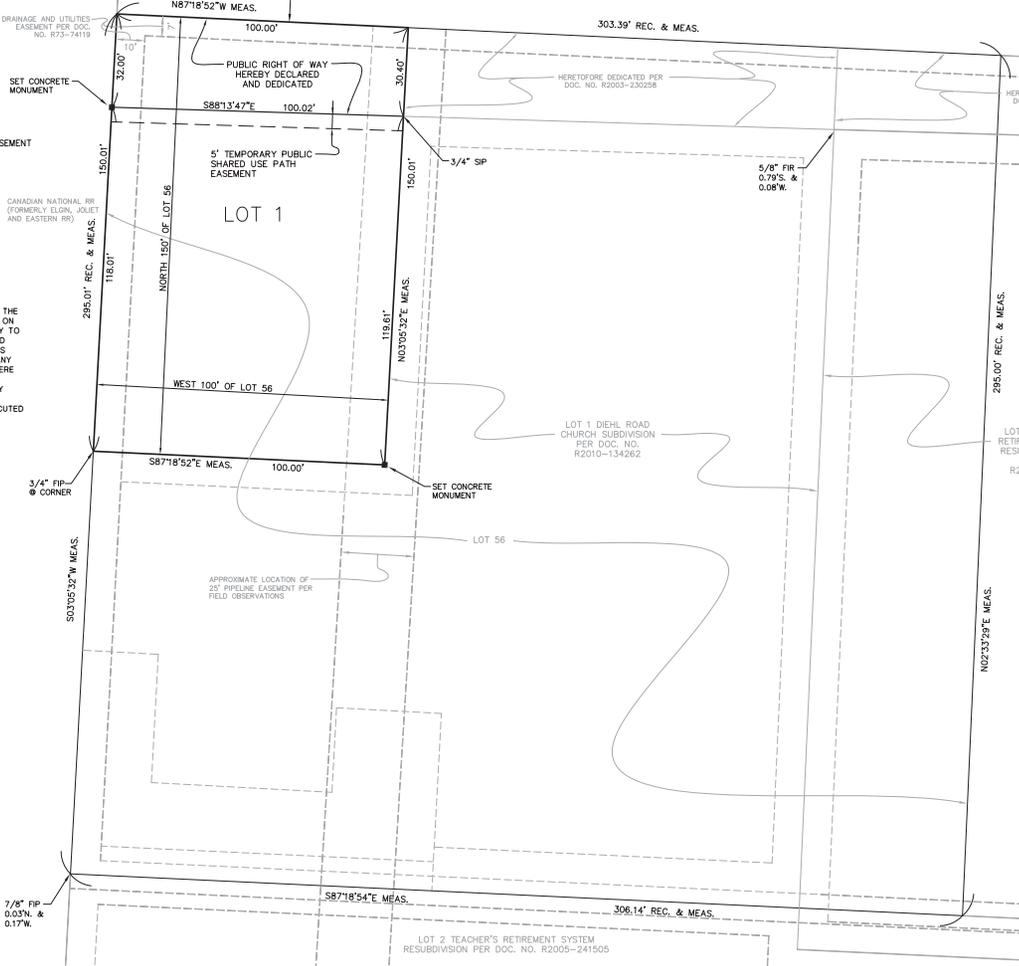
DRAINAGE AND UTILITIES EASEMENT PER DOC. NO. R73-7419

**LEGEND**

	SUBDIVISION BOUNDARY
	EXISTING LOT LINE
	CENTER LINE
	EASEMENT LINE
	PUBLIC UTILITIES & DRAINAGE EASEMENT
	REC. MEAS.
	MEAS.
	FIP
	FIR
	SIP

**PUBLIC SHARED PATH EASEMENT PROVISIONS**

A TEMPORARY PUBLIC SHARED USE PATH EASEMENT IS HEREBY DECLARED BY, RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ILLINOIS, ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "TEMPORARY PUBLIC SHARED USE PATH EASEMENT" ON THIS PLAT FOR THE TEMPORARY RIGHT, PRIVILEGE AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE A PUBLIC SHARED USE PATH FOR PUBLIC ACCESS, INGRESS AND EGRESS. THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SHARED USE PATH. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS. THE TEMPORARY PUBLIC SHARED USE PATH EASEMENT, INCLUDING ALL RIGHTS AND PRIVILEGES OF SHALL EXPIRE TWENTY YEARS (20) FROM THE EXECUTED DATE OF THIS DOCUMENT.



**DUPAGE COUNTY RECORDER'S CERTIFICATE**

STATE OF ILLINOIS ) SS  
COUNTY OF DUPAGE )  
THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ AND WAS RECORDED IN BOOK \_\_\_\_\_ OF PLATS ON PAGE \_\_\_\_\_  
RECORDER OF DEEDS

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS ) SS  
COUNTY OF DUPAGE )  
I, CHARLES A. HULSE, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.  
THE NORTH 150 FEET OF THE WEST 100 FEET OF LOT 58 IN COUNTRY LAKES INDUSTRIAL PARK UNIT ONE, A SUBDIVISION IN SECTIONS 4, 5, 8, 9 AND 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1973 AS DOCUMENT R73-7419 AND CERTIFICATE OF CORRECTION RECORDED FEBRUARY 25, 1974 AS DOCUMENT R74-0852, IN DUPAGE COUNTY, ILLINOIS.  
I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF NAPERVILLE, WHICH HAS ADOPTED AN ORIGINAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ICS 5-11-12-6, AS HERETOFORE AND HEREAFTER AMENDED AND THAT SAID SUBDIVISION IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON REGULATORY FLOOD MAP DUPAGE COUNTY, ILLINOIS, MAP NUMBER 17043C036 A, DATED JULY 7, 2010.  
THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 607, LICENSE EXPIRES APRIL 30, 2013, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.  
GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_



City Council Meeting - 6/19/2012 - 373

Page 373 - Agenda Item M.1.

**ROAKE AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS  
1984 GUNDCY AVENUE, SUITE 100A • NAPERVILLE, ILLINOIS 60540  
TEL (630) 966-9232 • FAX (630) 966-3287



PREPARED FOR:  
**CITY OF NAPERVILLE**  
DEPARTMENT OF PUBLIC UTILITIES  
400 SOUTH EAGLE STREET  
NAPERVILLE, ILLINOIS 60540  
TEL (630) 420-6131  
FAX (630) 420-6744

NO.		DATE		DESCRIPTION	
1	06/14/11	REVISED PER CITY REVIEW	05/27/2011		
2	05/15/12	REVISED PER CITY REVIEW	03/01/2012		

CITY PROJECT NO. # 12-10000057

**NORTHWEST WATER TOWER**

PRELIMINARY/FINAL PLAT OF SUBDIVISION

DRM/CDD. BY: MAJ/CAH	FILE: 35461PS	F.LD. BK./PG.: 235/49	SHEET NO. 1 OF 2
SCALE: 1"=20'	DATE: 04/11/11	JOB NO.: 354.061	

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

THE CITY OF NAPERVILLE, DU PAGE AND WILL COUNTIES, ILLINOIS, A MUNICIPAL CORPORATION OF THE STATE OF ILLINOIS, HEREBY CERTIFIES THAT IT IS THE OWNER OF THE LAND DESCRIBED AND SHOWN HEREON AND THAT AS SUCH OWNER HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED FOR THE USES AND PURPOSES THEREIN SET FORTH AS ALLOWED AND PROVIDED BY STATUTES AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

APPROVED BY THE CITY OF NAPERVILLE MAYOR AND CITY COUNCIL AT A MEETING HELD THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

IN WITNESS WHEREOF CITY OF NAPERVILLE HAS CAUSED THIS CERTIFICATE TO BE EXECUTED BY ITS DULY AUTHORIZED OFFICERS AND ITS CORPORATE SEAL TO BE AFFIXED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

OWNER, CITY OF NAPERVILLE

BY: \_\_\_\_\_  
 DOUGLAS A. KRIEGER  
 TITLE: CITY MANAGER

ATTEST: \_\_\_\_\_  
 PAM LA FEBER, PHD  
 TITLE: CITY CLERK

**NOTARY'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT DOUGLAS A. KRIEGER, CITY MANAGER AND PAM LA FEBER, PHD, CITY CLERK, OF THE CITY OF NAPERVILLE, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH CITY MANAGER AND CITY CLERK, RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID MUNICIPAL CORPORATION AS OWNER, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND SAID CITY CLERK, DID ALSO THEN AND THERE, ACKNOWLEDGE THAT HE/SHE, AS CUSTODIAN OF THE CORPORATE SEAL OF SAID CORPORATION, DID AFFIX SAID SEAL OF SAID CORPORATION TO SAID INSTRUMENT AS HIS/HER FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, AS OWNER, AS AFORESAID, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

( SEAL )

\_\_\_\_\_  
 NOTARY PUBLIC

**DUPAGE COUNTY CLERK'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
 COUNTY CLERK

**CITY TREASURER'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENT THEREOF, THAT HAVE NOT BEEN APPORTIONED AGAINST ANY OF THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED AT NAPERVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
 CITY TREASURER/DIRECTOR, FINANCE DEPARTMENT

**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ MAYOR ATTEST: \_\_\_\_\_ CITY CLERK

**SCHOOL DISTRICT BOUNDARY STATEMENT**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

1. THAT THE CITY OF NAPERVILLE, WILL AND DUPAGE COUNTIES, ILLINOIS, IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE CITY COUNCIL FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE, AND

2. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH THE TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:

INDIAN PRAIRIE SCHOOL DISTRICT 204  
 780 SHORELINE DRIVE  
 AURORA, IL 60504

OWNER NAME: THE CITY OF NAPERVILLE, WILL AND DUPAGE COUNTIES, ILLINOIS.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
 DOUGLAS A. KRIEGER PAM LA FEBER, PHD  
 CITY MANAGER CITY CLERK

SUBSCRIBED AND SWORN BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
 NOTARY PUBLIC

**SURFACE WATER STATEMENT**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
 SIGNATURE  
 ILLINOIS REGISTERED  
 PROFESSIONAL ENGINEER

STATE REGISTRATION NUMBER \_\_\_\_\_  
 REGISTRATION EXPIRATION DATE \_\_\_\_\_

OWNER NAME: THE CITY OF NAPERVILLE, WILL AND DUPAGE COUNTIES, ILLINOIS.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
 DOUGLAS A. KRIEGER PAM LA FEBER, PHD  
 CITY MANAGER CITY CLERK

**PLANNING AND ZONING COMMISSION CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

APPROVED BY THE CITY OF NAPERVILLE PLANNING AND ZONING COMMISSION AT A MEETING HELD THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
 CHAIRMAN SECRETARY



**ROAKE AND ASSOCIATES, INC.**  
 CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS  
 1984 QUINCY AVENUE, SUITE 100A • NAPERVILLE, ILLINOIS 60540  
 TEL (630) 966-9232 • FAX (630) 966-3287



PREPARED FOR:  
**CITY OF NAPERVILLE**  
 DEPARTMENT OF PUBLIC UTILITIES  
 400 SOUTH EAGLE STREET  
 NAPERVILLE, ILLINOIS 60540  
 TEL (630) 420-6131  
 FAX (630) 420-6744

REVISIONS						
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	
1	06/14/11	REVISED PER CITY REVIEW (5/27/2011)				
2	05/15/12	REVISED PER CITY REVIEW (5/01/2012)				

**NORTHWEST WATER TOWER**

PRELIMINARY/FINAL PLAT OF SUBDIVISION

DRM/CMD. BY: MAJ/CAH	FILE: 35461PS	FLD. BK./PG.: 235/49	SHEET NO. 2 OF 2
SCALE: 1"=20'	DATE: 04/11/11	JOB NO.: 354.061	

**P.I.N.:**  
07-05-405-007

**ADDRESS:**  
2820 W. Diehl Road  
Naperville, IL 60563

**PREPARED BY:**

**CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170**

**RETURN TO:**

**CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
P.O. BOX 3020  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60566-7020**

**PZC Case #12-1-057**

**ORDINANCE NO. 12 - \_\_\_\_\_**

**AN ORDINANCE APPROVING A CONDITIONAL USE  
FOR A PUBLIC ASSEMBLY USE AND RELATED VARIANCES FOR  
NORTHWEST WATER TOWER**

**WHEREAS**, City of Naperville Department of Public Utilities, Water and Wastewater, 400 S. Eagle Street, Naperville, IL has submitted a petition for approval of a conditional use and variances for the property located at 2820 W. Diehl Road, Naperville, IL, which is legally described in **Exhibit A**, (Subject Property); and

**WHEREAS**, the Subject Property contains 0.344 acres, is zoned I (Industrial District) and includes one lot currently improved with a City of Naperville elevated water storage tank; and

**WHEREAS**, the Petitioner is requesting approval of a Conditional Use pursuant to Section 6-2-29 (Public Assembly Uses) to allow for a civic building/use at the subject property; and

**WHEREAS**, the Subject Property is currently improved with a 300,000 gallon elevated water storage tank used to supply potable water to the community; and

**WHEREAS**, a variance to Section 6-8C-5 (Area Requirements), is required to reduce the minimum area of the subject property (zoned I) from one-half (1/2 acre) to 11,181 square feet, to reflect the existing size of the Subject Property; and

**WHEREAS**, a variance to Section 6-8C-7 (Yard Requirements) is required to reduce the required twenty foot (20') setback along Diehl Road to reflect the existing location of the elevated water storage tank on the Subject Property, the base of which is 18.79' from Diehl Road and the elevated portion of the tank 6.94' from Diehl Road, as shown on **Exhibit B**; and

**WHEREAS**, on May 16, 2012, the Plan Commission considered the request for the conditional use and variances and recommended approval, and

**WHEREAS**, the City Council of the City of Naperville has determined that the conditional use and variances should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** A Conditional Use pursuant to Section 6-2-29 (Public Assembly Use) to allow for a civic building/use (City of Naperville elevated water storage tank) at the Subject Property is hereby approved.

**SECTION 2:** A variance to Section 6-8C-5 (Area Requirements) to reduce the minimum area of the subject property (zoned I) from one-half (1/2 acre) to 11,181 square feet to reflect the existing size of the Subject Property is hereby approved.

**SECTION 3:** A variance to Section 6-8C-7 (Yard Requirements) to reduce the required twenty foot (20') setback along Diehl Road to reflect the existing location of the elevated water storage tank on the Subject Property, the base of which is 18.79' from Diehl Road and the elevated portion of the tank 6.94' from Diehl Road is hereby approved.

**SECTION 2:** The City Clerk is directed to record this Ordinance and its exhibits with the DuPage County Recorder.

**SECTION 3:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

---

A. George Pradel  
Mayor

ATTEST:

---

Pam LaFeber, Ph. D.  
City Clerk

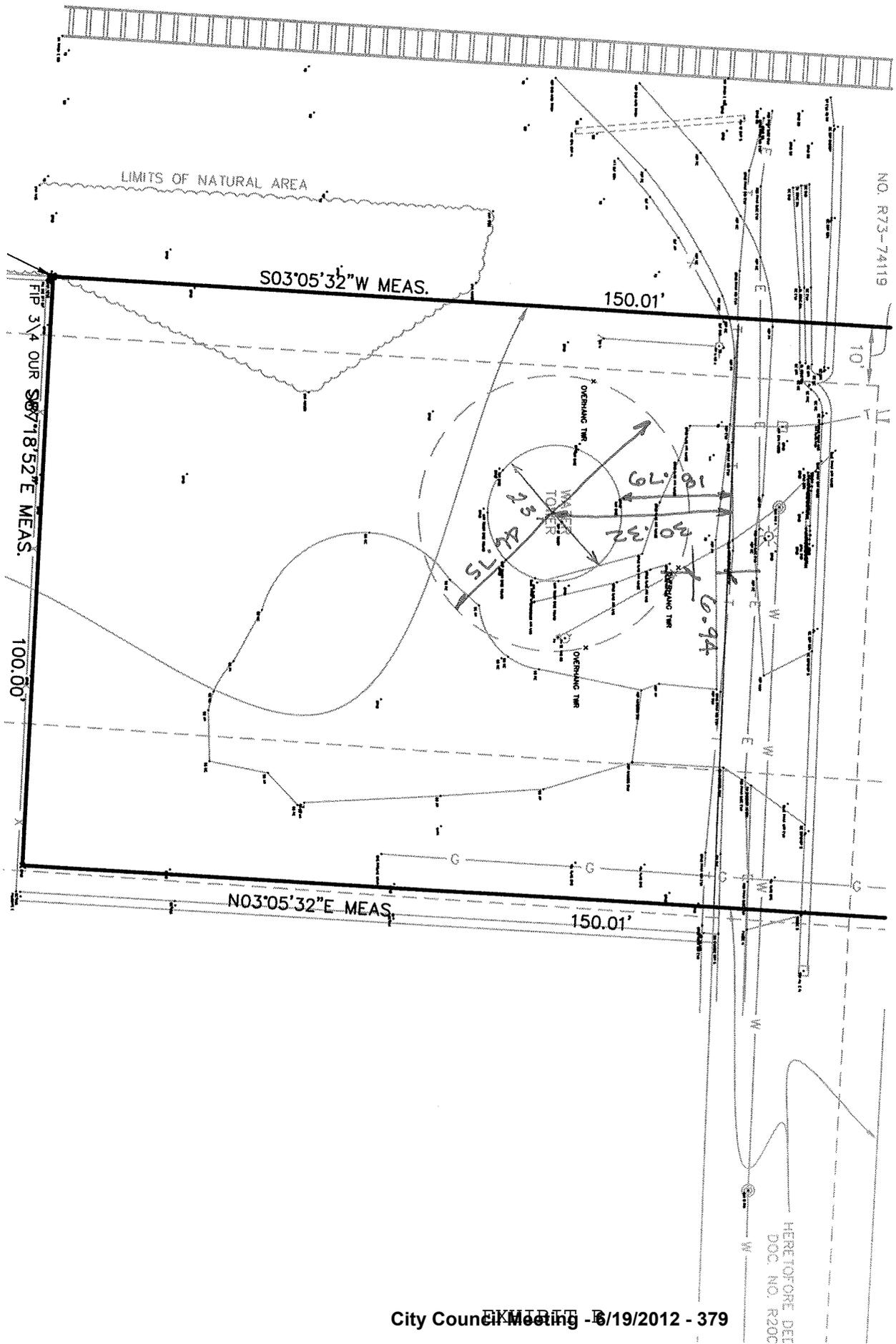
**LEGAL DESCRIPTION**

THE NORTH 150 FEET OF THE WEST 100 FEET OF LOT 56 IN COUNTRY LAKES INDUSTRIAL PARK UNIT ONE, A SUBDIVISION IN SECTIONS 4, 5, 8, 9 AND 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1973 AS DOCUMENT R73-74119 AND CERTIFICATE OF CORRECTION RECORDED FEBRUARY 25, 1974 AS DOCUMENT R74-08512, IN DUPAGE COUNTY, ILLINOIS.

PIN: 07-05-405-007

Address: 2820 W. Diehl Road  
Naperville, IL 60563

**EXHIBIT A**





**NAPERVILLE PLANNING AND ZONING COMMISSION  
DRAFT MINUTES OF MAY 16, 2012**

**Call to Order**

**7:00 p.m.**

**A. Roll Call**

Present: Coyne, Frost, Gustin, Bruno, Messer, Meyer, Williams  
Absent: Herzog, Trowbridge  
Student Members:  
Staff Present: Planning Team – Ying Liu, Allison Laff  
Engineering Team – Kimberly Schmidt

**B. Minutes** Approve the minutes of May 2, 2012.

Motion by: Williams Approved  
Second by: Meyer (7 to 0)

**D1. PZC Case #12-1-057  
NW Water Tower**

The petitioner requests rezoning to I (Industrial) upon annexation; a preliminary/final plat of subdivision; a conditional use for a Public Assembly Use in accordance with the provisions of Section 6-2-29 of the Municipal Code; a variance to Section 6-8C-7 (Yard Requirements) to reduce the required setback along Diehl Road; and a variance to Section 6-8C-5 (Area Requirements) to reduce the minimum area in the I district to allow for the annexation of an existing water tower located at 2820 W. Diehl Road into the City of Naperville’s corporate limits.

Laff, Planning Services Team, gave an overview of the request.

James Holzapfel, Director of Public Utilities, spoke on behalf of the petitioner:

- Planning and Zoning Commission inquired about
  - The accuracy of the address of the subject property.
  - The location of the site being adjacent to the train track.
  - Whether the Planning and Zoning Commission would consider the annexation? Laff responded that the commission would consider the rezoning, conditional use and all associated variance. The City Council will consider the annexation.

Planning and Zoning Commission closed the public hearing.

**Planning and Zoning Commission Discussion:**

- Williams – In favor of the petition.

Naperville Planning and Zoning Commission  
May 16, 2012  
Page 2 of 2

Planning and Zoning Commission moved to recommend approval of rezoning to I (Industrial) upon annexation; a preliminary/final plat of subdivision; a conditional use for a Public Assembly Use in accordance with the provisions of Section 6-2-29 of the Municipal Code; a variance to Section 6-8C-7 (Yard Requirements) to reduce the required setback along Diehl Road; and a variance to Section 6-8C-5 (Area Requirements) to reduce the minimum area in the I district to allow for the annexation of an existing water tower located at 2820 W. Diehl Road into the City of Naperville's corporate limits.

Motion by: Williams  
Seconded by: Messer

Approved  
(7 to 0)



# Naperville

## CITY COUNCIL AGENDA ITEM

**SUBJECT:** The Oaks at Naperville Crossings – PZC 12-1-016

**TYPE OF VOTE:** See below.

**ACTION REQUESTED:**

1. Pass the ordinance approving a preliminary plat of subdivision, a rezoning from B2 (Community Shopping Center District) to R3 (Medium Density Multi-family District), a preliminary Planned Unit Development (PUD) plat, a deviation to waive the loading requirements and a stormwater variance to allow for the development of 298 multi-family dwelling units on Lots 14 and 15 in Naperville Crossings (*simple majority*).
2. Conduct the public hearing to consider the Fourth Amendment to the Naperville Crossings Annexation Agreement.
3. Pass the ordinance authorizing execution of the Fourth Amendment to the Naperville Crossings Annexation Agreement (*6 positive votes required*).

**BOARD/COMMISSION REVIEW:**

The Planning and Zoning Commission considered this matter on May 16, 2012 and voted to recommend approval of the request (Approved 7-0). Staff concurs.

**COUNCIL ACTION PREVIOUSLY TAKEN:**

Date of Action	Item No.	Action
2/17/2004	N2A,B, C and D	Passed Ordinances 04-017 through 04-020 pertaining to Naperville Crossings.
4/6/2004	K2B, C	Passed Ordinance 04-054 and 04-055 pertaining to the 1st amendment to the Annexation Agreement.
4/6/2005	M2B	Passed Ordinance 05-052 authorizing execution of the 2nd amendment to the Annexation Agreement.
9/6/2005	I22A, B	Passed Ordinances 05-164 and 05-165 authorizing execution of the 3rd amendment to the Annexation Agreement.

**DEPARTMENT:** TED – Planning Services Team

**SUBMITTED BY:** Ying Liu, AICP, Community Planner

*The Oaks at Naperville Crossings (PZC 12-1-016)*

*June 19, 2012*

*Page 2 of 6*

**FISCAL IMPACT:**

N/A

---

**BACKGROUND:**

The subject property, known as Lots 14 and 15 in Naperville Crossings, is generally located west of Route 59 and north of 95th Street. Adjacent to the east side of the subject property is Showplace Drive, a private drive in the Naperville Crossings development. The property consists of 24.91 acres and is part of the Naperville Crossings Planned Unit Development (PUD) that is zoned B2 (Community Shopping Center District). The controlling site plan for the Naperville Crossings PUD originally designated the site for an age-restricted community, consisting of a senior living multi-family building and 65 townhome units.

**DISCUSSION:**

The petitioner, Lennar Multifamily Investors, LLC, proposes to construct a multi-family rental community, known as The Oaks at Naperville Crossings, on Lots 14 and 15 in Naperville Crossings, which includes 13 apartment buildings, 298 dwelling units, 600 garage and surface parking spaces, as well as site amenities (e.g. a club house, parks, walking trails).

*Plat of Subdivision*

The petitioner requests approval of a preliminary plat of subdivision in order to consolidate Lots 14 and 15 into one lot. The lot consolidation would facilitate master planning of the development and allow the flexibility to locate buildings and parking lots throughout the site.

*Rezoning*

The subject property was originally planned for multi-family and attached single-family residential uses as part of the overall Naperville Crossings PUD, although the underlying zoning is B2 (consistent with the remainder of the site). In order to align the proposed multi-family residential use of the property with the underlying zoning district, the petitioner requests to rezone Lots 14 and 15 to R3 (Medium Density Multi-family District). The proposed R3 zoning is consistent with the zoning designation of Lot 12 in Naperville Crossing (currently improved with Fire Station #10) as well as the adjacent Heatherstone townhome development.

*Proposed PUD*

The proposed multi-family development represents a major change to the previously approved preliminary plat for the subject property. Instead of an age-restricted community (i.e., senior apartments and townhomes), the petitioner is proposing non age-restricted apartment units in order to meet the rising market demand for rental housing.

The Statement of Intent and Concept for the Naperville Crossings PUD indicates that the development will be “a commercial and residential community which meets the needs of the larger community that surrounds it as contemplated by the Master Plan of Naperville.” Site design and landscaping plans associated with the PUD further express the intent of a pedestrian friendly, cohesive, mixed use site. Staff finds the proposed multi-family development is consistent with the concept and intent of the Naperville Crossings PUD as well as the criteria for PUD approval. The proposed residential use would complement the adjacent existing and

*The Oaks at Naperville Crossings (PZC 12-1-016)*

*June 19, 2012*

*Page 3 of 6*

planned commercial uses and transform Naperville Crossings into a true mixed-use development as originally envisioned.

The proposed PUD plat and landscape plan meets the design standards and criteria for PUD's.

- In addition to 298 apartment units in 13 buildings, the development includes a club house/pool, parks, pedestrian linkage throughout the development and to adjacent land uses, and retention ponds improved with walking trails, a bridge, overlooks, decorative retaining walls and railings, and landscaping.
- The development provides 43.2% (10.77 acres) of the overall site as common open area and site amenities, exceeding the 35% minimum requirement for multi-family PUD's.
- Substantial landscaping treatments are incorporated along the White Eagle Club property lines, Showplace Drive and the movie theatre parking lot, in compliance with Section 5-10-3 (Landscaping and Screening) of the Municipal Code.
- A single centrally located trash compactor is provided inside a masonry building instead of locating multiple trash enclosures throughout the development. Curb-side trash pickups will be provided by the management company to serve the residents.
- The development completes the Streetscape along Showplace Drive to include on-street parking, parkway trees and a 5' wide sidewalk.

#### *Amendment to the Annexation Agreement*

Provision S25.0 (Age Restricted Developments) of the First Amendment to the Annexation Agreement for Naperville Crossings stipulates that all residential portions of the development shall be operated as age-restricted communities and an age-restricted covenant shall be recorded simultaneously with recordation of the final PUD plat (note: a final PUD plat was never submitted or recorded). In conjunction with the PUD request, the petitioner seeks an amendment to the Naperville Crossings Annexation Agreement to remove the age restriction for Lots 14 and 15. The petitioner has reached an agreement with School District 204 to pay a cash contribution of \$370,500, which exceeds the fees-in-lieu of land contribution in accordance with Section 7-3-5 of the Municipal Code by 50%.

Although the Annexation Agreement stipulates age-restricted development on the subject property, the 2002 Southwest Community Area Plan places no age restriction for the residential portion of Naperville Crossings and the Southwest Community Area Scorecard anticipated Naperville Crossings to generate 87 students based on the future land use designation of the property as "Medium Density Residential". The proposed 298 multifamily units would generate 33 students which is less than what was anticipated by the Southwest Community Area Scorecard. Assuming the property is developed as proposed, the actual school population generated by all parcels included in the Southwest Community Area Scorecard would still be 79 less than what the Scorecard estimated. Staff believes that the proposed multi-family development is consistent with the Naperville Comprehensive Master Plan.

#### *Building Design*

The proposed buildings and structures are highly appointed residential style structures that incorporate exterior materials including stone, fiber cement shake siding and fiber cement clapboard siding, all in compliance with the 50% masonry requirement for multi-family

*The Oaks at Naperville Crossings (PZC 12-1-016)*

*June 19, 2012*

*Page 4 of 6*

buildings. The three-story apartment buildings are 39.75' - 42.2' in height, in compliance with the 43' maximum height requirement in the R3 District. To soften the overall massing of the community, the buildings utilize vertical masonry elements and strong horizontal banding and material separations to break up the building façades. In addition, balconies with detailed columns, large windows and patio doors, and garage doors with design features are provided to add architectural interests to the buildings. Three variations (Types A1, A2 and A3) of the design theme are applied to accommodate buildings of different scales as well as to avoid monotony. Staff finds that the proposed buildings and accessory structures comply with the Naperville Building Design Guidelines.

#### *Loading Deviation*

A deviation is requested to waive the off-street loading requirements for the development. Per Section 6-9-5:1 (Schedule of Off-Street Loading Requirement), one loading space is required for each of the multi-family buildings exceeding 30,000 square feet of gross floor area. The petitioner indicated that truck traffic would be prohibited within the development and therefore the use of loading berths is both undesirable and unnecessary. As is the practice in most multi-family developments, residents would use the parking lot for loading and unloading.

#### *Stormwater Variance*

The proposed development requires a variance from Section 2.5.4.5 of the City's Design Manual for Public Improvements. The Manual limits the height of retaining walls adjacent to stormwater facilities to a maximum of 3'. If a wall greater than 3' in height is required, the Manual allows terraced walls, but requires that they are separated by a minimum of eight (8') horizontal feet. There are two locations in the development that require a variance.

The proposed development includes a bridge that crosses over the stormwater detention pond. At the deepest point, the wall along the sides of the bridge will be 11' above the bottom of the pond, while the normal water level at this location will be 3' deep. Decorative masonry columns and a 3.5' steel railing will be provided along the entire length of the bridge. The bridge provides improved pedestrian and vehicular access as well as an aesthetic feature for the development. Staff finds that the proposed bridge is similar to many other bridges throughout the City and recommends approval of the variance.

The other location is at the northwest corner of the pond, where a small park area will be located. To satisfy the PUD requirement for site amenities, the park will be improved with an overlook supported by a 7' high retaining wall and enclosed by a 3.5' tall steel railing. Staff has no concerns with the height of the overlook as it is similar to many areas along the Naperville Riverwalk which are heavily used by pedestrians.

#### *Conclusion*

The Oaks at Naperville Crossings are consistent with intent and concept of the Naperville Crossings PUD as well as the design standards and criteria for PUD's. The petitioner has provided responses to the criteria for approving the requests in the attached Development Petition. Staff concurs with the petitioner's findings.

*The Oaks at Naperville Crossings (PZC 12-1-016)*

*June 19, 2012*

*Page 5 of 6*

*Planning and Zoning Commission Action*

The Planning and Zoning Commission considered this matter at their meeting on May 16, 2012. Following staff's presentation, Vince Rosanova, Attorney with Rosanova & Whitaker, gave an overview of the request. The Planning and Zoning Commission inquired about the distance between the development and the adjacent homes, the density and traffic generation of the development as compared to the previous planned senior community, the student generation from the development as compared to the Southwest Community Area Scorecard, and lighting design of the site. Five (5) members of the public spoke against the case noting concerns about traffic, influx of students to schools, loss of senior housing, quality of the development, negative impact of the development on property value, and security and safety concerns associated with apartments. Three (3) members of the public spoke in favor of the case and stated that the development would bring positive growth to the area. After further discussion, the Planning and Zoning Commission closed the public hearing and voted unanimously to recommend approval for the case based on quality design, housing needs and consistency with the Southwest Community Area Plan (approved 7-0).

**RECOMMENDATION:**

1. Pass the ordinance approving a preliminary plat of subdivision, a rezoning from B2 (Community Shopping Center District) to R3 (Medium Density Multi-family District), a preliminary Planned Unit Development (PUD) plat, a deviation to waive the loading requirements and a stormwater variance to allow for the development of 298 multi-family dwelling units on Lots 14 and 15 in Naperville Crossings (*simple majority*).
2. Conduct the public hearing to consider the Fourth Amendment to the Naperville Crossings Annexation Agreement.
3. Pass the ordinance authorizing execution of the Fourth Amendment to the Naperville Crossings Annexation Agreement (*6 positive votes required*).

**ATTACHMENTS:**

1. The Oaks at Naperville Crossings – Ordinance Approving Rezoning and A Major Change to PUD – PZC 12-1-016
2. The Oaks at Naperville Crossings – Exhibit A Legal Description – PZC 12-1-016
3. The Oaks at Naperville Crossings – Exhibit B Preliminary Subdivision Plat – PZC 12-1-016
4. The Oaks at Naperville Crossings – Exhibit C Preliminary PUD Plat – PZC 12-1-016
5. The Oaks at Naperville Crossings – Exhibit D Preliminary Landscape Plan – PZC 12-1-016
6. The Oaks at Naperville Crossings – Exhibit E Building Elevations – PZC 12-1-016
7. The Oaks at Naperville Crossings – Ordinance Amending the Annexation Agreement – PZC 12-1-016
8. The Oaks at Naperville Crossings – Exhibit A Legal Description – PZC 12-1-016
9. The Oaks at Naperville Crossings – Exhibit B 4th Amendment to the Annexation Agreement – PZC 12-1-016
10. The Oaks at Naperville Crossings – Open Space Exhibit – PZC 12-1-016
11. The Oaks at Naperville Crossings – Petition – PZC 12-1-016
12. The Oaks at Naperville Crossings – Letter from Prudential Real Estate Investors – PZC 12-1-016
13. The Oaks at Naperville Crossings – Petitioner's Letter Re Outreach to Neighboring Communities – PZC 12-1-016

*The Oaks at Naperville Crossings (PZC 12-1-016)*

*June 19, 2012*

*Page 6 of 6*

14. The Oaks at Naperville Crossings – Letter from the School District – PZC 12-1-016
15. The Oaks at Naperville Crossings – Letter from the Park District – PZC 12-1-016
16. The Oaks at Naperville Crossings – Letters from Residents – PZC 12-1-016
17. The Oaks at Naperville Crossings – Original Site Plan for the Naperville Crossings PUD – PZC 12-1-016
18. The Oaks at Naperville Crossings – May 16, 2012 PZC Minutes – PZC 12-1-016

PIN: 01-04-410-056  
01-04-410-057

ADDRESS:  
N/A (Vacant/Undeveloped)

PREPARED BY:  
CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170

RETURN TO:  
CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60540

P.Z.C. Case #12-1-016

**ORDINANCE NO. 12- \_\_**

**AN ORDINANCE APPROVING REZONING, A PRELIMINARY PLAT OF  
SUBDIVISION, A PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT  
AND ASSOCIATED DEVIATION AND VARIANCE FOR  
LOTS 14 AND 15 OF NAPERVILLE CROSSINGS (THE OAKS AT NAPERVILLE  
CROSSINGS), NAPERVILLE, ILLINOIS**

**WHEREAS**, Lennar Multifamily Investors, LLC. ("Petitioner"), has petitioned the City of Naperville for approval of a preliminary plat of subdivision, a rezoning, a preliminary Planned Unit Development (PUD) plat and associated deviation and variance to allow for the development of an apartment community, known as The Oaks at Naperville Crossings, on Lots 14 and 15 in Naperville Crossings, legally described in **Exhibit A** and depicted on **Exhibit B** ("Subject Property"); and

**WHEREAS**, the Subject Property is currently zoned B2 (Community Shopping Center District) with a Conditional Use for a Planned Unit Development; and

**WHEREAS**, the Petitioner intends to develop two hundred and ninety eight (298) multi-family dwelling units in thirteen (13) three-story buildings on the Subject Property; and

**WHEREAS**, the Petitioner is requesting rezoning of the Subject Property from B2 to R3 (Medium Density Multi-family District) in order to align the proposed use with the underlying zoning district; and

**WHEREAS**, the Petitioner is requesting approval of a preliminary plat of subdivision in order to consolidate Lots 14 and 15 into a single lot; and

**WHEREAS**, the Petitioner is requesting approval of a preliminary PUD plat to allow for the development of the proposed multifamily community on the Subject Property; and

**WHEREAS**, the Petitioner is requesting a deviation to Section 6-9-5:1 (Schedule of Off-Street Loading Requirement) of the Municipal Code to waive the off-street loading requirement for the Subject Property; and

**WHEREAS**, the Petitioner is requesting a variance from Section 2.5.4.5 of the Design Manual for Public Improvements in order to allow the retaining walls adjacent to the stormwater detention pond to exceed the 3' height limitation at two locations on the Subject Property; and

**WHEREAS**, on May 16, 2012, the Planning and Zoning Commission conducted a public hearing to consider the requested rezoning, preliminary subdivision plat, preliminary PUD plat and associated deviation and variance for the Subject Property and recommended approval for the Petitioner's requests; and

**WHEREAS**, the City Council of the City of Naperville has determined that the Petitioner's requests should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The foregoing recitals are incorporated herein as though fully set forth.

**SECTION 2:** The Subject Property legally described in **Exhibit A** and depicted on **Exhibit B** is hereby rezoned to R3 (Medium Density Multi-family District) in the City of Naperville.

**SECTION 3:** The Zoning Map of the City of Naperville is hereby amended in accordance with this Ordinance.

**SECTION 4:** The Preliminary Plat of Subdivision for The Oaks at Naperville Crossings, attached to this Ordinance as **Exhibit B** is hereby approved.

**SECTION 5:** The Preliminary Planned Unit Development Plat for The Oaks at Naperville Crossings, attached to this Ordinance as **Exhibit C**, to allow for the development of two hundred and ninety eight (298) multi-family dwelling units in thirteen (13) three-story buildings on the Subject Property is hereby approved.

**SECTION 6:** The Landscape Plan for The Oaks at Naperville Crossings, attached to this Ordinance as **Exhibit D**, is hereby approved.

**SECTION 7:** The Building Elevations for the Oaks at Naperville Crossings, attached to this Ordinance as **Exhibit E**, are hereby approved.

**SECTION 8:** A deviation to Section 6-9-5:1 (Schedule of Off-Street Loading Requirement) of the Municipal Code to waive the off-street loading requirement for the Subject Property is hereby approved.

**SECTION 9:** Pursuant to Section 5-7-1 of the Naperville Municipal Code, a variance from Section 2.5.4.5 of the Design Manual for Public Improvements to allow eleven-foot (11') retaining walls on both sides of the bridge over the stormwater detention basin on the Subject Property, exceeding the 3' height limitation, is hereby approved.

**SECTION 10:** Pursuant to Section 5-7-1 of the Naperville Municipal Code, a variance from Section 2.5.4.5 of the Design Manual for Public Improvements to allow a seven-foot (7') retaining wall for the overlook at the northwest corner of the detention basin on the Subject Property, exceeding the 3' height limitation, is hereby approved.

**SECTION 11:** This Ordinance is subject to all conditions and requirements set forth in the Naperville Municipal Code, as amended, and to all supporting documents and exhibits contained as a part of the record of the public hearing before the Planning and Zoning Commission.

**SECTION 12:** The City Clerk is authorized and directed to record this Ordinance and its exhibits with the Will County Recorder.

**SECTION 13:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
A. George Pradel  
Mayor

ATTEST:

\_\_\_\_\_  
Pam LaFeber, Ph. D.  
City Clerk

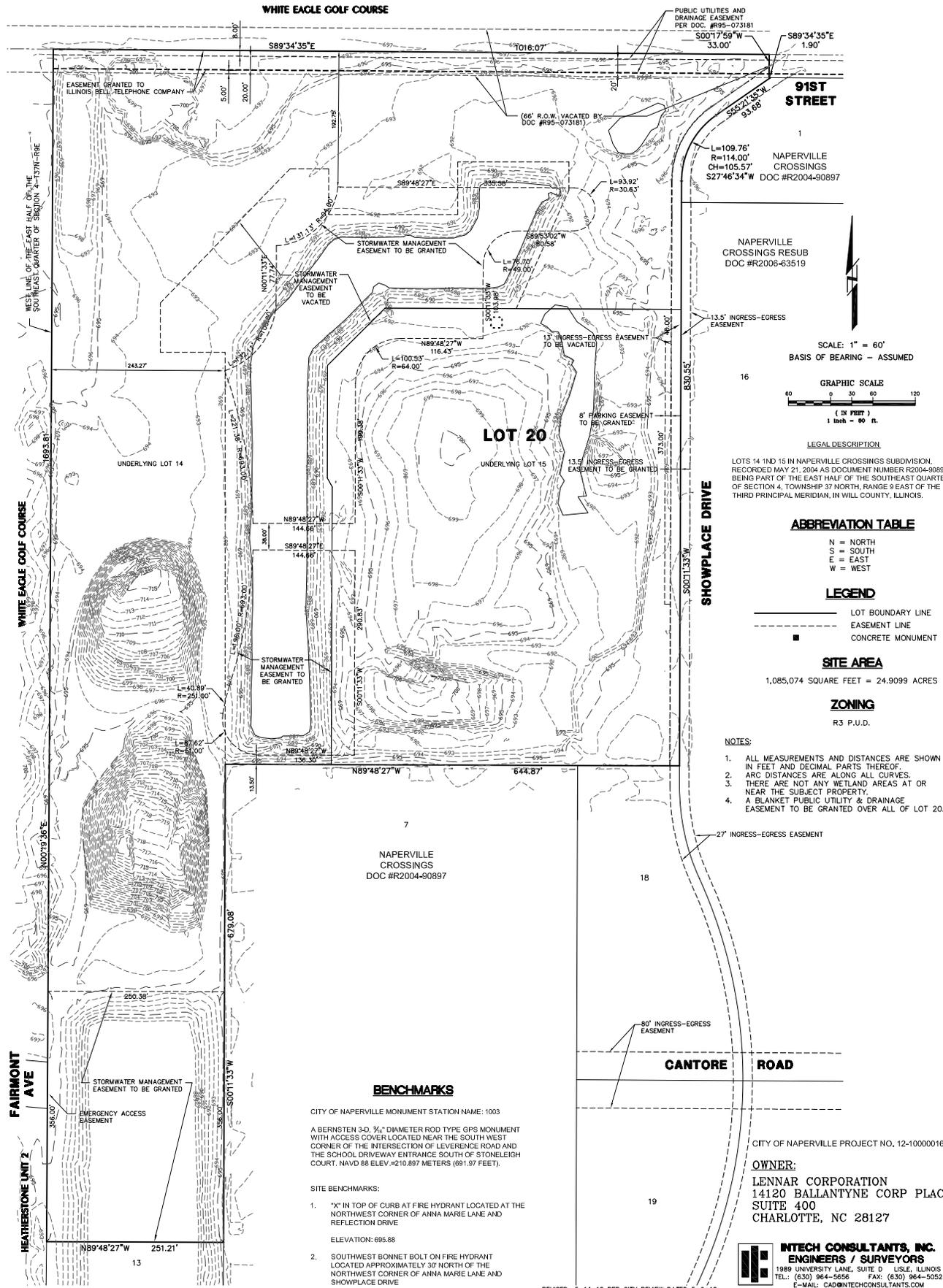
**Legal Description**  
**The Oaks at Naperville Crossings**

LOTS 14 AND 15 IN NAPERVILLE CROSSINGS, PART OF THE EAST ½ OF THE SOUTHEAST ¼ OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897, IN WILL COUNTY, ILLINOIS.

PIN's: 01-04-410-056 and 01-04-410-057.

# PRELIMINARY PLAT OF SUBDIVISION THE OAKS AT NAPERVILLE CROSSINGS

NAPERVILLE, ILLINOIS  
OF  
PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4,  
TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS



**91ST STREET**  
NAPERVILLE CROSSINGS  
DOC #R2004-80897

L=109.76'  
R=114.00'  
CH=105.57'  
S27°46'34"W DOC #R2004-80897

NAPERVILLE CROSSINGS RESUB  
DOC #R2006-63519

SCALE: 1" = 60'  
BASIS OF BEARING - ASSUMED

GRAPHIC SCALE  
0 30 60 120  
( IN FEET )  
1 inch = 60 ft.

**LEGAL DESCRIPTION**  
LOTS 14 15 16 IN NAPERVILLE CROSSINGS SUBDIVISION  
RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897,  
BEING PART OF THE EAST HALF OF THE SOUTHEAST QUARTER  
OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE  
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**ABBREVIATION TABLE**  
N = NORTH  
S = SOUTH  
E = EAST  
W = WEST

**LEGEND**  
— LOT BOUNDARY LINE  
- - - EASEMENT LINE  
■ CONCRETE MONUMENT

**SITE AREA**  
1,085,074 SQUARE FEET = 24.9099 ACRES

**ZONING**  
R3 P.U.D.

**NOTES:**  
1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN  
IN FEET AND DECIMAL PARTS THEREOF.  
2. ARC DISTANCES ARE ALONG ALL CURVES.  
3. THERE ARE NOT ANY WETLAND AREAS AT OR  
NEAR THE SUBJECT PROPERTY.  
4. A BLANKET PUBLIC UTILITY & DRAINAGE  
EASEMENT TO BE GRANTED OVER ALL OF LOT 20.

**BENCHMARKS**  
CITY OF NAPERVILLE MONUMENT STATION NAME: 1003  
A BERNSTEIN 3-D, 1/2" DIAMETER ROD TYPE GPS MONUMENT  
WITH ACCESS COVER LOCATED NEAR THE SOUTH WEST  
CORNER OF THE INTERSECTION OF LEVERIDGE ROAD AND  
THE SCHOOL DRIVEWAY ENTRANCE SOUTH OF STONELEIGH  
COURT. NAVD 88 ELEV.=210.897 METERS (691.97 FEET).

**SITE BENCHMARKS:**  
1. "X" IN TOP OF CURB AT FIRE HYDRANT LOCATED AT THE  
NORTHWEST CORNER OF ANNA MARIE LANE AND  
REFLECTION DRIVE  
ELEVATION: 695.68  
2. SOUTHWEST BONNET BOLT ON FIRE HYDRANT  
LOCATED APPROXIMATELY 30' NORTH OF THE  
NORTHWEST CORNER OF ANNA MARIE LANE AND  
SHOWPLACE DRIVE

CITY OF NAPERVILLE PROJECT NO. 12-10000016  
**OWNER:**  
LENNAR CORPORATION  
14120 BALLANTYNE CORP PLACE  
SUITE 400  
CHARLOTTE, NC 28127

**INTECH CONSULTANTS, INC.**  
ENGINEERS / SURVEYORS  
1989 UNIVERSITY LANE, SUITE 0 USE, ILLINOIS  
TEL: (630) 964-5656 FAX: (630) 964-5052  
E-MAIL: CAD@INTECHCONSULTANTS.COM  
ILLINOIS REGISTRATION No. 184-001040

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PRELIMINARY PLAT OF SUBDIVISION - THE OAKS AT NAPERVILLE CROSSINGS

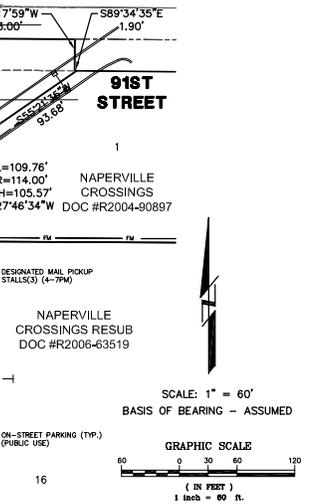
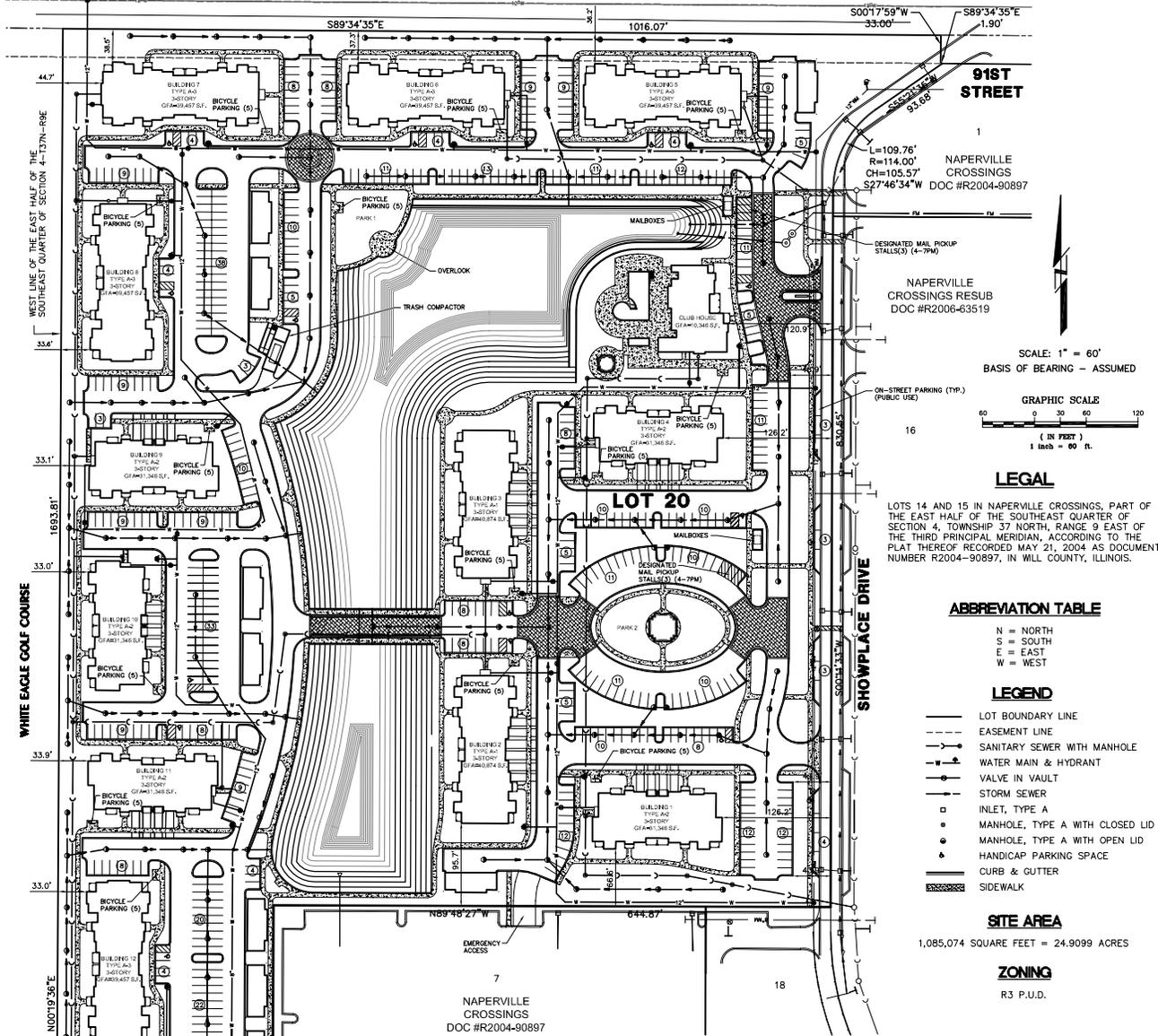


# PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT THE OAKS AT NAPERVILLE CROSSINGS

NAPERVILLE, ILLINOIS

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4,  
TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS

WHITE EAGLE GOLF COURSE



**LEGAL**

LOTS 14 AND 15 IN NAPERVILLE CROSSINGS, PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897, IN WILL COUNTY, ILLINOIS.

**ABBREVIATION TABLE**

N = NORTH  
S = SOUTH  
E = EAST  
W = WEST

**LEGEND**

- LOT BOUNDARY LINE
- EASEMENT LINE
- SANITARY SEWER WITH MANHOLE
- WATER MAIN & HYDRANT
- VALVE IN VAULT
- STORM SEWER
- INLET, TYPE A
- MANHOLE, TYPE A WITH CLOSED LID
- MANHOLE, TYPE A WITH OPEN LID
- HANDICAP PARKING SPACE
- CURB & GUTTER
- SIDEWALK

**SITE AREA**  
1,085,074 SQUARE FEET = 24.9099 ACRES

**ZONING**  
R3 P.U.D.

**BENCHMARKS**

CITY OF NAPERVILLE MONUMENT STATION NAME: 1003

A BERNSTEIN 30.31" DIAMETER ROD TYPE GPS MONUMENT WITH ACCESS COVER LOCATED NEAR THE SOUTH WEST CORNER OF THE INTERSECTION OF LEVENORCE ROAD AND THE SCHOOL DRIVEWAY ENTRANCE SOUTH OF STONELLEIGH COURT. NAVD 88 ELEV.=210.887 METERS (691.97 FEET).

**SITE BENCHMARKS:**

1. "X" IN TOP OF CURB AT FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF ANNA MARIE LANE AND REFLECTION DRIVE  
ELEVATION: 695.88
2. SOUTHWEST BONNET BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 30' NORTH OF THE NORTHWEST CORNER OF ANNA MARIE LANE AND SHOWPLACE DRIVE  
ELEVATION: 698.08

**STATEMENT OF INTENT AND CONCEPT**

The subject site is an approximately 25 acres within the Naperville Crossings development which will be developed as a residential apartment community offering a total of 298 units along with a separate clubhouse facility all of which are designed to be in harmony with the existing Naperville Crossings development.

The established streetscape character of Showplace Drive (permitted parking, pedestrian walk and street trees) will be continued along the project frontage of this community. Within the community, the urban theme will be further reinforced through the generous use of bicycle parking and sidewalks to encourage walkability.

The proposed design will evoke a residential character throughout. To soften the overall building massing of the community, two and three story elements will be judiciously used throughout the development. The use and proportion of architectural materials will be consistent on all four sides of each building. The building styling is an eclectic variety of materials including stone, cementitious, brick, siding and cementitious horizontal siding. Color styling of the buildings will typically feature a "mix color" palette including stone color, base siding color, and accent siding color combinations. The use of vertical and layered stone elements and strong horizontal banding and material separations will bring importance to the building design.

The entire community will be landscaped appropriately, with ample landscaped parking islands, buffer plantings and screen plantings in the appropriate locations.

**SITE DATA**

LOT NUMBER	ZONING	LAND USE	PARCEL AREA (S.F.)
20	R3 P.U.D.	MULTIFAMILY RESIDENTIAL	1,085,074

STORIES									
BLDG AT BLDG A2	BLDG A3	DET GAR	CLUBHOUSE	BLDG A1	BLDG A2	BLDG A3	DET GAR	CLUBHOUSE	
3	3	3	3	42'-2"	42'-2"	39'-0"	42'-2"	18	30

MINIMUM PERIMETER SETBACK (FEET)									
BUILDING		DETACHED GARAGE		DETACHED GARAGE		DETACHED GARAGE		DETACHED GARAGE	
WEST	EAST	NORTH	SOUTH	WEST	EAST	NORTH	SOUTH	WEST	EAST
42'-2"	42'-2"	42'-2"	39'-0"	39'-0"	39'-0"	39'-0"	39'-0"	39'-0"	39'-0"
32.08	32.08	32.08	20.86	20.86	20.86	20.86	20.86	20.86	20.86

PARKING									
A-1 BLDG	A-2 BLDG	A-3 BLDG	DETACHED	TANDEM	ON-STREET	TOTAL	BKE		
13	20	0	45	523	32	632	75		

DENSITY									
# OF UNITS									
BLDG									
22	22	24	2	5	6	80	162	36	298

OUTDOOR COMMON AREA									
PERMETER BUFFER AREA	CLUB AREA	DETENTION AREA	DETENTION AREA	INTERIOR	POCKET	TOTAL	COMMON AREA		
2.74	AC	0.70							

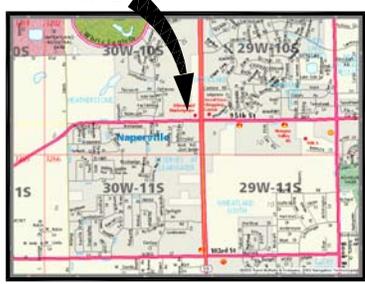
**NOTES:**

1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
2. ARC DISTANCES ARE ALONG ALL CURVES.
3. SANITARY SEWER MAINS AND WATER MAINS ARE PUBLIC UTILITIES.
4. BLANKET STYLE EASEMENTS TO BE PROVIDED OVER ALL LOTS 20 FOR CITY OF NAPERVILLE WATER, WASTEWATER & ELECTRIC UTILITIES.
5. TRANSFORMER AND AIR CONDITIONING UNITS TO BE ADDRESSED AT THE TIME OF FINAL ENGINEERING AND WILL COMPLY WITH ALL CITY REQUIREMENTS.

**LOCATION MAP**

NOT TO SCALE

CITY OF NAPERVILLE PROJECT NO. 12-1000016



**OWNER:**  
LENNAR CORPORATION  
14120 BALLANTYNE CORP PLACE  
SUITE 400  
CHARLOTTE, NC 28127

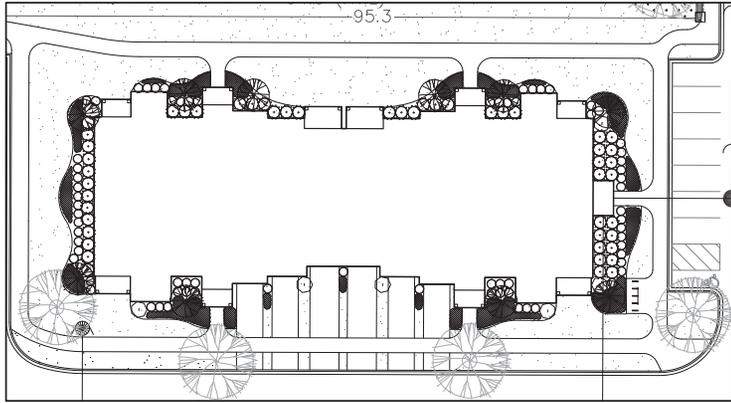
**INTECH CONSULTANTS, INC.**  
ENGINEERS / SURVEYORS  
1989 UNIVERSITY LANE, SUITE D LISLE, ILLINOIS  
TEL: (630) 964-5656 FAX: (630) 964-5052  
E-MAIL: CAD@INTECHCONSULTANTS.COM  
ILLINOIS REGISTRATION NO. 184-001040

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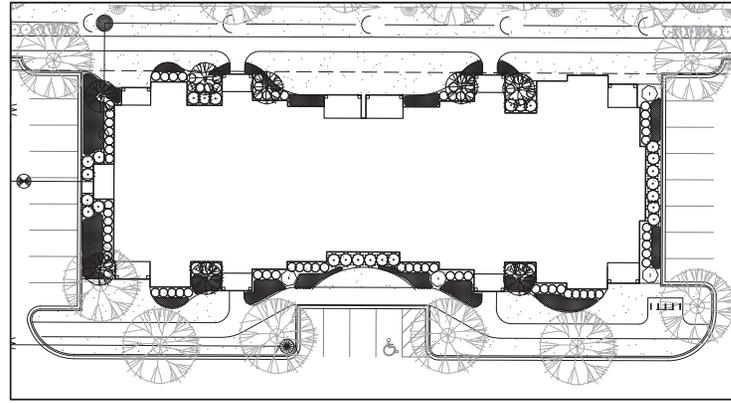
THE OAKS AT NAPERVILLE CROSSINGS - PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT



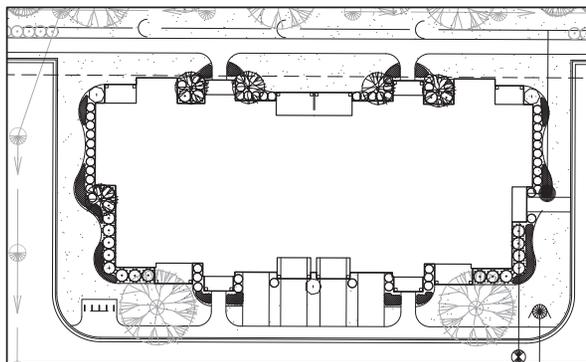




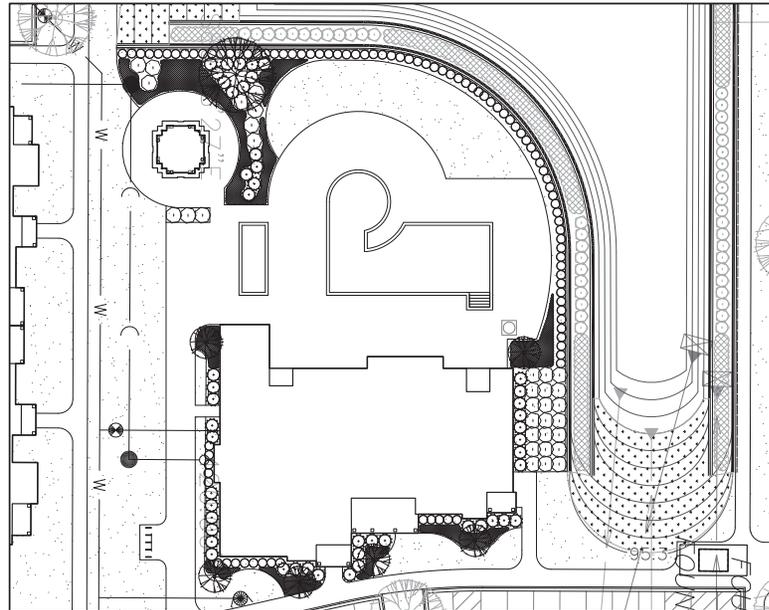
**1** Building Type A1 - Prototypical Foundation Planting  
Scale: 1" = 20'



**3** Building Type A-3 - Prototypical Foundation Planting  
Scale: 1" = 20'



**2** Building Type A-2 - Prototypical Foundation Planting  
Scale: 1" = 20'



**4** Club House Foundation Planting  
Scale: 1" = 20'

**PLANTING NOTES**

- Seed limit line is approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded areas.
- Trees must fringe in turf areas are 5 foot diameter. Typical Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
- Bedlines are to be spade out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
- Trees shall be installed a minimum of five (5) feet horizontally from underground electrical feeders, sanitary sewers, sanitary septic, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valve vaults, valve boxes and fire hydrants. No trees, shrubs, or obstacles will be allowed 10' in front of, 5' on the sides, and 7' to the rear of the electrical transformer.
- Plants and other materials are to be properly screened in accordance with applicable zoning ordinances.
- Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.

**Planting Legend**

-  Shade tree
-  Intermediate tree
-  Evergreen tree
-  Shrubs
-  Perennials / Groundcovers



PREPARED FOR  
**Lennar Corporation**  
14120 Ballantyne Corporate Place,  
Suite 400  
Charlotte, North Carolina 28277

PROJECT  
**The Oaks at Naperville Crossi**

CONTRACTOR  
Intech Constructions  
1989 University Ln  
T 633  
Larson  
3436 N. Kennelton  
Arlington Heights  
T 84

NAPERVILLE PROJECT: 12  
HDG PROJECT NUMBER: 01-0997-001-01-04

ISSUED  
February 1, 2012

No	Date	Issue
	2012.03.13	Per City comments
	2012.04.25	Per site plan revision
	2012.05.18	Per City comments

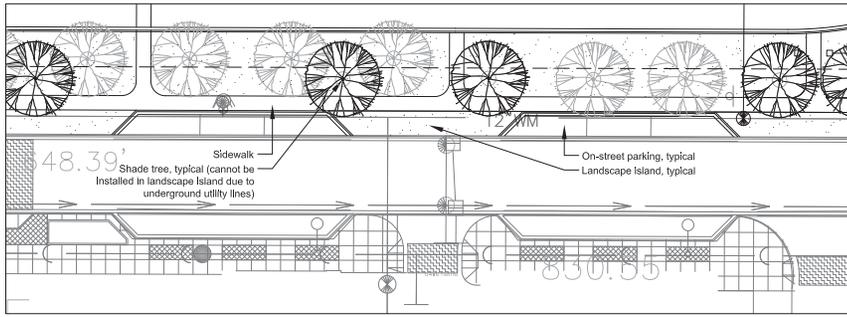
CHECKED BY: GBR  
DRAWN BY: TRR

SHEET TITLE  
**Plan Enlargements**

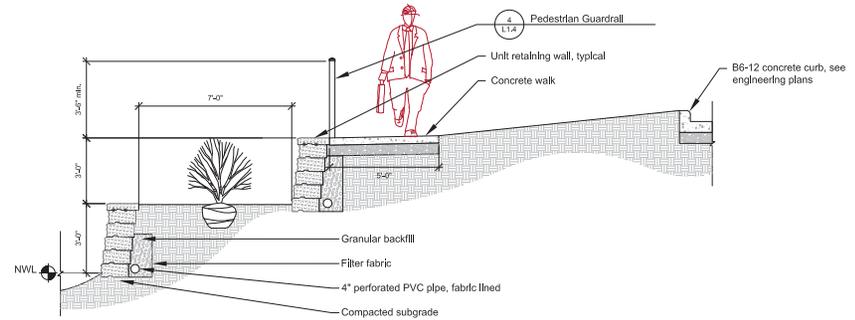
SCALE IN FEET

NORTH SHEET NUMBER

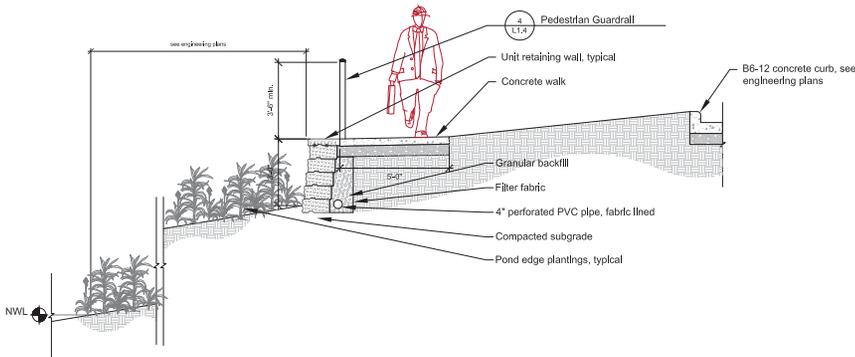
**L1.2**  
©2012 Hitchcock Design Group



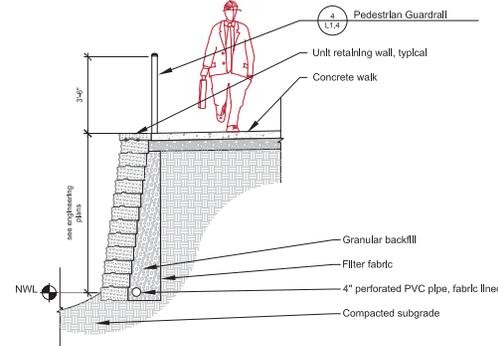
**1** Showplace Drive - Prototypical Streetscape Treatment  
Scale: 1" = 20'



**3** Detention Pond Retaining Wall - Section 2  
Scale: 3/8" = 1'-0"



**2** Detention Pond Retaining Wall - Section 1  
Scale: 3/8" = 1'-0"



**4** Detention Pond Overlook Retaining Wall - Section  
Scale: 3/8" = 1'-0"



221 W. Jefferson Avenue  
Naperville, IL 60540  
T 630.961.1767  
F 630.961.9225  
hitchcockdesigngroup.com

PREPARED FOR  
**Lennar Corporation**

14120 Ballantyne Corporate Place,  
Suite 400  
Charlotte, North Carolina 28227

PROJECT

**The Oaks at Naperville Crossi**

CON: 3  
Ch: 1  
Intech Cons: 1  
1989 University La: 2  
List: 3  
T 63: 3  
Lar: 1  
E: 1  
3436 N. Kennilcot: 1  
Arlington Height: 1  
T 84: 1

Page 399 - Agenda Item M.2.

NAPERVILLE PROJECT: 12  
HDG PROJECT NUMBER: 01-0997-001-01-04

ISSUED: February 1, 2012  
REVISIONS:

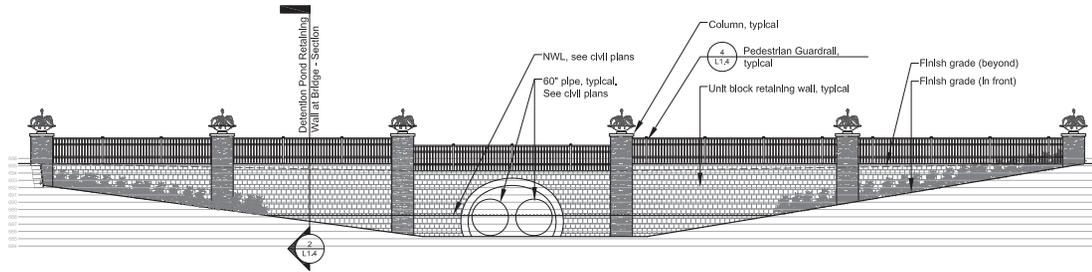
No	Date	Issue
	2012.03.13	Per City comments
	2012.04.25	Per site plan revision
	2012.05.18	Per City comments

CHECKED BY: GBR  
DRAWN BY: TRR

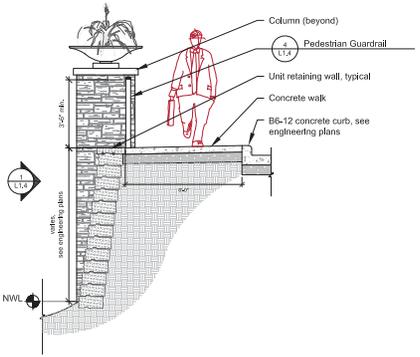
SHEET TITLE  
**Plan Enlargements and Details**

SCALE IN FEET

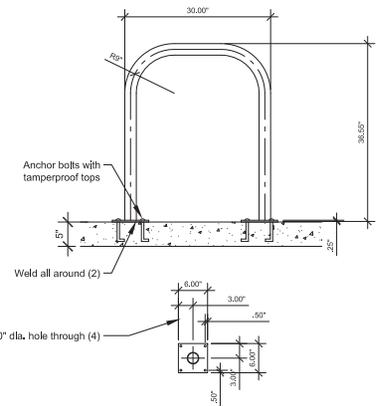
NORTH SHEET NUMBER  
**L1.3**  
©2012 Hitchcock Design Group



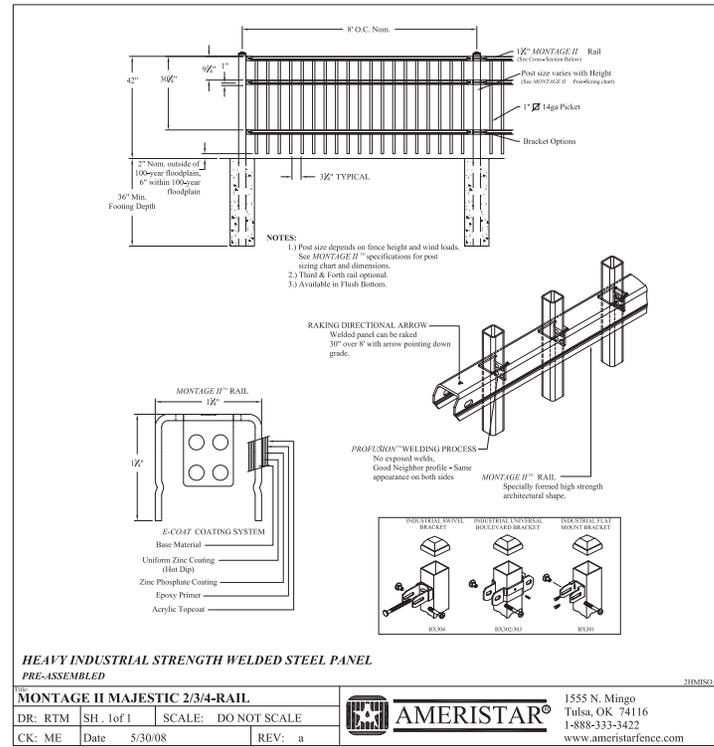
1 Bridge Elevation  
Scale: 1/8" = 1'-0"



2 Detention Pond Retaining Wall at Bridge - Section  
Scale: 3/8" = 1'-0"



3 Bike Rack  
Scale: 1" = 1'-0"



4 Pedestrian Guardrail  
Scale: NTS

NAPERVILLE PROJECT: 12  
HDG PROJECT NUMBER: 01-0997-001-01-04  
ISSUED: February 1, 2012  
REVISIONS:

No	Date	Issue
	2012.03.13	Per City comments
	2012.04.25	Per site plan revision
	2012.05.18	Per City comments

CHECKED BY: GBR  
DRAWN BY: TRR



**Front Elevation**

scale: 1/8" = 1'-0"

Minimum Building Masonry Percentage: 50%



**Rear Elevation**

scale: 1/8" = 1'-0"

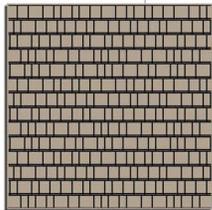


**Front Elevation**  
scale: 1/8" = 1'-0"

Minimum Building Masonry Percentage: 50%



Asphalt Shingles



Cementitious Shake Siding



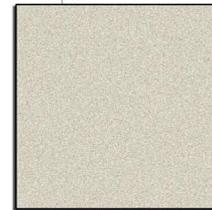
Cementitious Horizontal Siding



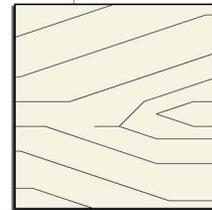
Masonry Veneer



Standing Seam Metal Roof



Cast Stone



Composite Trim



labbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Sheet A1 1.0a  
**The Oaks at Naperville Crossings**  
Naperville, Illinois

04-23-2012  
© 2012 BSB Design, Inc.





Left Elevation

scale: 1/8" = 1'-0"



Right Elevation

scale: 1/8" = 1'-0"

**Building A1**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A1 2.0

04-23-2012  
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**EXHIBIT E**

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The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



**Front Elevation**

scale: 1/8" = 1'-0"

Minimum Building Masonry Percentage: 50%



**Rear Elevation**

scale: 1/8" = 1'-0"



**Left Elevation**

scale: 1/8" = 1'-0"



**Right Elevation**

scale: 1/8" = 1'-0"

**Building A2**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A2 2.0

04-23-2012

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The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

**EXHIBIT E**



Minimum Building Masonry Percentage: 50%

**Front Elevation**

scale: 1/8" = 1'-0"



**Rear Elevation**

scale: 1/8" = 1'-0"



**Building A3**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A3 1.0

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The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

**EXHIBIT E**



**Left Elevation**

scale: 1/8" = 1'-0"



**Right Elevation**

scale: 1/8" = 1'-0"



**Building A3**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A3 2.0

04-23-2012  
© 2012 BSB Design, Inc.



bsbdesign.com  
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

**EXHIBIT E**



**Front Elevation**

scale: 3/16" = 1'-0"

Minimum Building Masonry Percentage: 50%



**Left Elevation**

scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

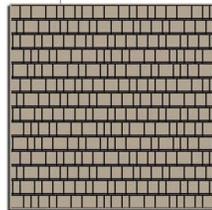
Minimum Building Masonry Percentage: 50%



Asphalt Shingles



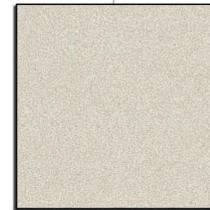
Cementitious Horizontal Siding



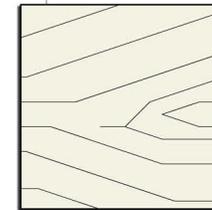
Cementitious Shake Siding



Stone Veneer



Cast Stone



Composite Trim



Sheet C 1.0a  
**The Oaks at Naperville Crossings**  
 Naperville, Illinois

labbdesign.com  
 The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

04-23-2012  
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**EXHIBIT E**



**Rear Elevation**  
 scale: 3/16" = 1'-0"



**Right Elevation**  
 scale: 3/16" = 1'-0"



**Community Clubhouse**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet C 1.1

04-23-2012  
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The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

**EXHIBIT E**

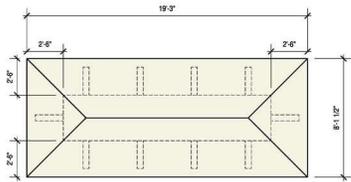


**Front Elevation**

scale: 1/4" = 1'-0"

**Side Elevation**

scale: 1/4" = 1'-0"



**Plan View**

scale: 1/4" = 1'-0"



**Gazebo Elevation**

scale: 1/4" = 1'-0"

**Mail Box Kiosk/Gazebo**

**The Oaks at Naperville Crossings**

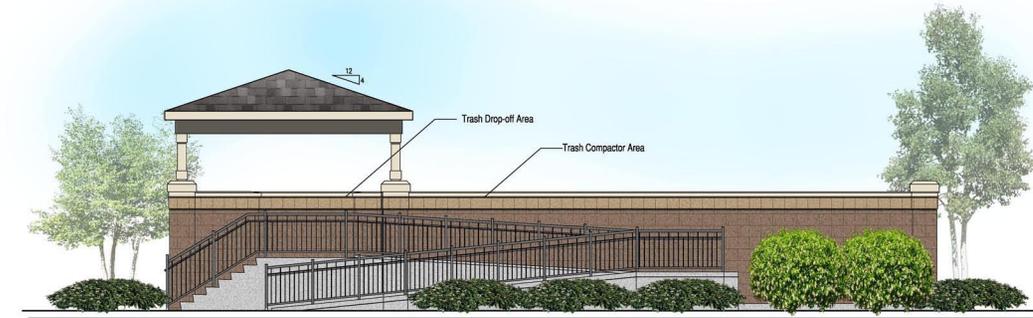
Naperville, Illinois

Sheet S 1.0

04-23-2012  
© 2012 BSB Design, Inc.



bsbdesign.com  
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



**Front Elevation**  
scale: 1/4" = 1'-0"



**Left Elevation**  
scale: 1/4" = 1'-0"



**Rear Elevation**  
scale: 1/4" = 1'-0"



**Right Elevation**  
scale: 1/4" = 1'-0"



bdbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Front Elevation



Side Elevation



Rear Elevation

5 Bay Garage Elevations

Sheet S 3.0  
The Oaks at Naperville Crossings  
Naperville, Illinois

04-23-2012  
© 2012 BSB Design, Inc.



PIN's: 01-04-410-058  
01-04-410-070  
01-04-410-060  
01-04-410-065  
01-04-410-066  
01-04-410-068  
01-04-410-069  
01-04-410-064  
01-04-410-056  
01-04-410-057  
01-04-410-067  
01-04-410-073  
01-04-410-072  
01-04-410-074  
01-04-410-071

PREPARED BY:  
CITY OF NAPERVILLE  
LEGAL DEPARTMENT  
630/420-4170

RETURN TO:  
CITY OF NAPERVILLE  
CITY CLERK'S OFFICE  
400 SOUTH EAGLE STREET  
NAPERVILLE, IL 60540

P.Z.C. Case #12-1-016

**ORDINANCE NO. 12- \_\_**

**AN ORDINANCE AUTHORIZING THE FOURTH AMENDMENT TO THE  
ANNEXATION AGREEMENT FOR NAPERVILLE CROSSINGS**

**WHEREAS**, on February 17, 2004, City Council passed Ordinance No. 04-017, authorizing the execution of the Annexation Agreement for Naperville Crossings, legally described in **Exhibit A** ("Subject Property"); and

**WHEREAS**, on April 6, 2004, City Council passed Ordinance No. 04-054, authorizing the execution of the First Amendment to the Annexation Agreement for Naperville Crossings; and

**WHEREAS**, on April 6, 2005, City Council passed Ordinance No. 05-052, authorizing the execution of the Second Amendment to the Annexation Agreement for Naperville Crossings; and

**WHEREAS**, on September 6, 2005, City Council passed Ordinance No. 05-164, authorizing the execution of the Third Amendment to the Annexation Agreement for Naperville Crossings; and

**WHEREAS**, Lennar Multifamily Investors, LLC. (“Petitioner”), has petitioned the City of Naperville for approval of the Fourth Amendment to the Annexation Agreement for Naperville Crossings in order to remove the age restriction provision contained in S25.0 (Age Restricted Developments) and reflect the new controlling plans for the Lots 14 and 15 of the Subject Property; and

**WHEREAS**, the City Council of the City of Naperville has determined that the Petitioner’s request should be granted to the extent set forth in this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NAPERVILLE, DUPAGE AND WILL COUNTIES, ILLINOIS, in exercise of its home rule powers, as follows:**

**SECTION 1:** The foregoing recitals are incorporated herein as though fully set forth.

**SECTION 2:** The Mayor and the City Clerk are authorized and directed to execute, on behalf of the City, the Fourth Amendment to the Annexation Agreement for Naperville Crossings, attached to this Ordinance as **Exhibit B**.

**SECTION 3:** The City Clerk is authorized and directed to record this Ordinance and a certified copy of the Fourth Amendment to the Annexation Agreement for Naperville Crossings with the Will County Recorder after its execution and attachment of all appropriate exhibits.

**SECTION 4:** This Ordinance shall be in full force and effect upon its passage and approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

---

A. George Pradel  
Mayor

ATTEST:

---

Pam LaFeber, Ph. D.  
City Clerk

LEGAL DESCRIPTION:

LOTS 1, 4 AND 7 THRU 15 INCLUSIVE, OF NAPERVILLE CROSSINGS, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 2004 AS DOCUMENT R2004-90897, IN WILL COUNTY, ILLINOIS.

TOGETHER WITH:

THAT PART OF SAID NAPERVILLE CROSSINGS, DEDICATED FOR RIGHT-OF-WAY OF 95<sup>TH</sup> STREET, AS SHOWN ON SAID PLAT OF NAPERVILLE CROSSINGS AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 12 IN SAID NAPERVILLE CROSSINGS; THENCE SOUTH 89° 27' 41" EAST, ALONG THE SOUTH LINE OF LOTS 12, 11, 10 AND 4 OF SAID NAPERVILLE CROSSINGS, 1203.18 FEET TO THE MOST WESTERLY, SOUTHEAST CORNER OF SAID LOT 4; THENCE SOUTH 45° 21' 57" WEST, 5.64 FEET; THENCE NORTH 89° 27' 41" WEST, 311.73 FEET; THENCE SOUTH 87° 30' 41" WEST, 435.54 FEET; THENCE SOUTH 00° 32' 19" WEST, 33.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 4; THENCE NORTH 89° 27' 41" WEST ALONG SAID SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 452.33 FEET; THENCE NORTH 00° 19' 36" EAST, 60.00 FEET TO THE POINT OF BEGINNING, ALL IN WILL COUNTY, ILLINOIS.

ALSO TOGETHER WITH:

THAT PART OF 91<sup>ST</sup> STREET AS SHOWN ON SAID NAPERVILLE CROSSINGS AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, SAID POINT BEING 300.00 FEET WEST OF THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER, AS MEASURED ALONG SAID NORTH LINE; THENCE SOUTH 89° 34' 35" EAST, ALONG SAID NORTH LINE 162.53 FEET; THENCE SOUTH 00° 24' 56" WEST 27.00 FEET; THENCE SOUTH 64° 55' 25" EAST 14.38 FEET TO A POINT ON THE NORTH LINE OF LOT 1 IN NAPERVILLE CROSSINGS; THENCE NORTH 89° 34' 35" WEST, ALONG SAID NORTH LINE OF LOT 1, A DISTANCE OF 173.28 FEET; THENCE NORTH 00° 17' 59" EAST 33.00 FEET TO THE POINT OF BEGINNING.

ALSO TOGETHER WITH:

LOTS 16 THRU 19 INCLUSIVE, IN THE PLAT OF RESUBDIVISION FOR LOT 2, 3, 5 AND 6 OF NAPERVILLE CROSSINGS, BEING A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 18, 2006 AS DOCUMENT R2006-063519, IN WILL COUNTY, ILLINOIS.

PIN's

07-01-04-410-058

07-01-04-410-070

**EXHIBIT A**

07-01-04-410-060  
07-01-04-410-065  
07-01-04-410-066  
07-01-04-410-068  
07-01-04-410-069  
07-01-04-410-064  
07-01-04-410-056  
07-01-04-410-057  
07-01-04-410-067  
07-01-04-410-073  
07-01-04-410-072  
07-01-04-410-074  
07-01-04-410-071

**EXHIBIT A**

Created: 5/19/05, revised 5/20/05, 8/29/05,  
9/6/05, Last revised 6/19/12

**PROPERTY ADDRESS:**

**P.I.N. [s]**

- 01-04-410-056
- 01-04-410-057
- 01-04-410-058
- 01-04-410-060
- 01-04-410-064
- 01-04-410-065
- 01-04-410-066
- 01-04-410-067
- 01-04-410-068
- 01-04-410-069
- 01-04-410-070
- 01-04-410-071
- 01-04-410-072
- 01-04-410-073
- 01-04-410-074

**RETURN TO:**

**CITY Clerk  
Post Office Box 3020  
Naperville, IL 60566-7020**

**FOURTH AMENDMENT TO THE NAPERVILLE CROSSINGS  
ANNEXATION AGREEMENT**

THIS AMENDMENT is made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2012, by and between the City of Naperville, DuPage and Will Counties, an Illinois Municipal Corporation and home rule unit of local government under the laws and Constitution of the State of Illinois, with offices at 400 South Eagle Street, Naperville, Illinois 60540, (hereinafter referred to as the “City”) and the owners and developers (hereinafter referred to as the “Owners”) listed on Attachment 1 attached hereto and made part hereof.

**WITNESSETH**

**WHEREAS**, an annexation agreement (hereinafter referred to as the “Annexation Agreement”) regarding Naperville Crossings, legally described on Exhibit A<sup>1</sup> attached hereto and made a part hereof, (hereinafter referred to as the “Subject Property”) was entered into on February 17, 2004 pursuant to City of Naperville Ordinance 04-017; and

**WHEREAS**, the First Amendment to the Annexation Agreement, regarding the specific development requirements for the Subject Property, was approved on April 6, 2004 pursuant to City of Naperville Ordinance 04-054; and

**WHEREAS**, the Second Amendment to the Annexation Agreement, regarding Lot 12 Naperville Crossings (CITY Fire Station), was approved on December 21, 2004, pursuant to City of Naperville Ordinance 04-221; and

**WHEREAS**, the Third Amendment to the Annexation Agreement, modifying the approved plans listed in Section 22.0 of the First Amendment of the Annexation Agreement regarding the specific development requirements for the Subject Property, was approved on September 6, 2005 pursuant to City of Naperville Ordinance 05-164; and

**WHEREAS**, the Owners and the City mutually desire to modify the terms of the Annexation Agreement, as amended, as provided herein; and

**WHEREAS**, all statutory and ordinance notice and public hearing requirements have been satisfied; and

**NOW, THEREFORE**, in consideration of the mutual promises and agreements set forth herein, the parties agree as follows:

**SECTION 1:** The above-stated Recitals are a material part of this Fourth Amendment to the Naperville Crossings Annexation Agreement and are hereby incorporated in this Section 1 by reference.

**SECTION 2:** The Annexation Agreement, as amended, shall remain in full force and effect except as modified by this Fourth Amendment.

---

<sup>1</sup> The attached Exhibit A is an amendment of the original Exhibit A and reflects multiple property identification numbers and the corresponding legal descriptions for each PIN that comprises the SUBJECT PROPERTY.

**SECTION 3:** The Naperville Crossings Annexation Agreement, as amended, is hereby amended to by adding the following underlined language and deleting the language that is stricken as follows:

**S20.0 SCHOOL DONATION.**

S.20.1 Except as otherwise provided herein, and sSubject to compliance with Section 25.0 of this Agreement, the required school donation for the SUBJECT PROPERTY is hereby waived.

S20.2 The OWNER and DEVELOPER acknowledge that except as otherwise provided in Section S20.3 as to Lots 14 and 15 of the SUBJECT PROPERTY (which Lots are commonly referred to as The Oaks at Naperville Crossings), if the requirements of Section S25.0 are not adhered to at any point in the utilization of the SUBJECT PROPERTY, the OWNER and DEVELOPER shall meet the required school donation by payment of the cash in-lieu-of-land contribution, which shall be calculated in accordance with Section 7-3-5 (Dedication of Park Lands and School Sites or for Payment of Fees in Lieu Of) of the Naperville Municipal Code in effect at the time that the SUBJECT PROPERTY is determined to be non-compliant with Section S25.0 of this agreement and shall be based upon the total number of bedrooms included within the SUBJECT PROPERTY. Said cash-in-lieu-of-land contribution shall be paid within 30 days of determination of non-compliance with Section S25.0 of this agreement.

S20.3 Notwithstanding the provisions contained in Section S25.1 of the First Amendment of the Naperville Crossings Annexation Agreement, Lots 14 and 15 of the SUBJECT PROPERTY (commonly referred to as The Oaks at Naperville Crossings) shall not be developed as age-restricted residential units. Accordingly, the OWNER and DEVELOPER of Lots 14 and 15 has agreed to pay a cash in-lieu-of-land contribution in the amount of \$370,500.00, which represents one and a half times the amount required under Section 7-3-5 of the Naperville Municipal Code, (Dedication of

Park Lands and School Sites or for Payment of Fees in Lieu Of),(hereinafter “Agreed Upon School Contribution”), and which amount has been agreed to by Naperville Community School District #204 (hereinafter “School District”). The Agreed Upon School Contribution is based upon bedroom and unit counts as shown on EXHIBIT “F” attached hereto and made part hereof. The Agreed Upon School Contribution shall be paid prior to the recording of the Final Plat of Subdivision. Any adjustment to the unit or bedroom counts which impact the Agreed Upon School Contribution (by either an underpayment or an overage) shall be agreed upon by the School District and the OWNER and DEVELOPER of Lots 14 and 15 (as reflected on Attachment 1) by a written agreement that shall be provided to the City prior to the submission of the Final Plat to the City Council.

The OWNER and DEVELOPER agree that payment of the Agreed Upon School Contribution amount shall not be paid under protest and that said payment shall be made prior to the recording of the Final Plat of Subdivision for Lots 14 and 15 of the SUBJECT PROPERTY.

S20.4 The provisions in this Section S20, amended as to Lots 14 and 15, shall survive the expiration or termination of this Agreement.

**S22.0 CONSISTENCY WITH APPROVED PLANS.**

S22.1 Except as to Lots 14 and 15, the OWNER and DEVELOPER intend to develop the SUBJECT PROPERTY substantially in accordance with the following plans. Any reference to Lots 14 and 15 as provided in this Section 22.1 shall no longer be applicable.

\*\*\*\*

S22.2 The OWNER and DEVELOPER intend to develop Lots 14 and 15 of the SUBJECT PROPERTY (commonly referenced as The Oaks at Naperville Crossings) substantially in accordance with the following plans:

S22.2.1 Preliminary Subdivision Plat for The Oaks prepared by Intech Consultants, INC. dated January 26, 2012 with a revised date of May 14, 2012, attached hereto and incorporated herein by reference as EXHIBIT “G”.

S22.2.2 Preliminary PUD Plat The Oaks prepared by Intech Consultants, INC. dated January 26, 2012 with a revised date of May 14, 2012, attached hereto and incorporated herein by reference as EXHIBIT “H”.

S22.2.3 Preliminary Landscape Plan for The Oaks prepared by Hitchcock Design Group dated February 1, 2012 with a revised date of May 18, 2012 attached hereto and incorporated herein by reference as EXHIBIT “I”.

S22.2.4 Open Space Exhibit for The Oaks prepared by BSB Design dated April 13, 2012 attached hereto and incorporated herein by reference as EXHIBIT “J”.

S22.2.5 Building Elevations for The Oaks prepared by BSB Design dated April 23, 2012 attached hereto and incorporated herein by reference as EXHIBIT “K”.

**S25.0 AGE RESTRICTED DEVELOPMENTS.**

S25.1 The OWNER and DEVELOPER agree that all residential portions of the SUBJECT PROPERTY, except for Lots 14 and 15 of the SUBJECT PROPERTY (commonly referenced as The Oaks at Naperville Crossings), shall be operated as age restricted communities in compliance with all applicable State and Federal laws (Illinois Human Rights Act 775 ILCS 5/3 – 106, Federal Housing for Older Persons Act 42 USCA 3607).

25.2 \* \* \*

IN WITNESS WHEREOF, the parties set their hands and seals as of the date first written above.

**CITY OF NAPERVILLE**

\_\_\_\_\_  
A. George Pradel  
Mayor

Attest by: \_\_\_\_\_  
Pam LaFeber, Ph.D.  
City Clerk

State of Illinois        )  
                                  )  
County of DuPage     )

The foregoing instrument was acknowledged before me by A. George Pradel, Mayor, and Pam Lafeber, Ph.D., City Clerk, this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Notary Public

-seal-

**FIRST NATIONAL BANK OF BROOKFIELD**

By: \_\_\_\_\_

Name: Jan Schultz

Its: Chairman

STATE OF ILLINOIS    )  
                                  ) ss  
COUNTY OF DUPAGE )

I, \_\_\_\_\_, a Notary Public, do hereby certify that on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_ personally appeared before me, known to me to be the person whose name is subscribed to the foregoing instrument, and swore and acknowledged to me that (s)he executed the same for the purpose and in the capacity therein expressed and that the statements contained therein are true and correct.

\_\_\_\_\_  
Notary Public

~ seal ~

My commission expires: \_\_\_\_\_



**NEW DARA PROPERTIES, LLC**

By: \_\_\_\_\_  
Name: John F. Harris  
Its: Manager

STATE OF ILLINOIS            )  
  ) ss  
COUNTY OF \_\_\_\_\_)

I, \_\_\_\_\_, a Notary Public, do hereby certify that on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_ personally appeared before me, known to me to be the person whose name is subscribed to the foregoing instrument, and swore and acknowledged to me that (s)he executed the same for the purpose and in the capacity therein expressed and that the statements contained therein are true and correct.

\_\_\_\_\_  
Notary Public

~ seal ~

My commission expires: \_\_\_\_\_

**FIFTH THIRD BANK**

By: \_\_\_\_\_  
Name: Randall L. Morrissey  
Its: Vice President

STATE OF ILLINOIS    )  
                                  ) ss  
COUNTY OF DUPAGE )

I, \_\_\_\_\_, a Notary Public, do hereby certify that on this \_\_\_\_\_ day of \_\_\_\_\_, 2012, \_\_\_\_\_ personally appeared before me, known to me to be the person whose name is subscribed to the foregoing instrument, and swore and acknowledged to me that (s)he executed the same for the purpose and in the capacity therein expressed and that the statements contained therein are true and correct.

\_\_\_\_\_  
Notary Public

~ seal ~

My commission expires: \_\_\_\_\_

**NATIONAL RETAIL PROPERTIES, LP**

a Delaware limited liability partnership

By: NNN GP Corp., a Delaware Corporation,  
as General Partner

By: \_\_\_\_\_

Name: Paul E. Bayer

Title: Executive Vice President

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of February, 2012, by Paul E. Bayer , as Executive Vice President of NNN GP Corp., as General Partner of the National Retail Properties, LP, a Delaware limited partnership, on behalf of the Partnership. He is personally known by me.

\_\_\_\_\_  
Notary Public  
Name: \_\_\_\_\_  
Notary Public, State of \_\_\_\_\_  
Commission No.: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**CITY OF NAPERVILLE**

By: \_\_\_\_\_

Name: Douglas A. Krieger

Its: City Manager

STATE OF ILLINOIS    )  
                                  ) SS  
COUNTY OF DUPAGE )

I, \_\_\_\_\_, a Notary Public, do hereby certify that on this \_\_\_\_\_ day of \_\_\_\_\_, 2012, \_\_\_\_\_ personally appeared before me, known to me to be the person whose name is subscribed to the foregoing instrument, and swore and acknowledged to me that (s)he executed the same for the purpose and in the capacity therein expressed and that the statements contained therein are true and correct.

\_\_\_\_\_  
Notary Public

~ seal ~

My commission expires: \_\_\_\_\_



**List of Owners and Developers  
For all Parcels in Naperville Crossings**

Lot 1

PIN: 07-01-04-410-058

Owner: 5/3<sup>rd</sup> Bank

Lot 4

PIN: 07-01-04-410-070

Owner: New Dara Properties, LLC

Lot 7

PIN: 07-01-04-410-060

Owner: National Retail Properties, LP

Lots 9, 10, 11, 13, 14, 15 & 21

PIN's: 07-01-04-410-065; 07-01-04-410-066; 07-01-04-410-068; 07-01-04-410-069; 07-01-04-410-064; 07-01-04-410-056; 07-01-04-410-057

Owner: First National Bank of Brookfield

Lot 12

PIN: 07-01-04-410-067

Owner: City of Naperville

Lots 16, 17, 18 & 19 (Formerly Lots 2,3,5 & 6)

PIN's: 07-01-04-410-073; 07-01-04-410-072; 07-01-04-410-074; 07-01-04-410-071

Owner: PRIII MA NAPERVILLE JV, LLC, a Delaware Limited Liability Company

Lot 20

PIN: 07-01-04-410-065 (Underlying)

Owner: Buckeye Real Properties, LLC ("Primrose")

LEGAL DESCRIPTION:

LOTS 1, 4 AND 7 THRU 15 INCLUSIVE, OF NAPERVILLE CROSSINGS, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 2004 AS DOCUMENT R2004-90897, IN WILL COUNTY, ILLINOIS.

TOGETHER WITH:

THAT PART OF SAID NAPERVILLE CROSSINGS, DEDICATED FOR RIGHT-OF-WAY OF 95<sup>TH</sup> STREET, AS SHOWN ON SAID PLAT OF NAPERVILLE CROSSINGS AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 12 IN SAID NAPERVILLE CROSSINGS; THENCE SOUTH 89° 27' 41" EAST, ALONG THE SOUTH LINE OF LOTS 12, 11, 10 AND 4 OF SAID NAPERVILLE CROSSINGS, 1203.18 FEET TO THE MOST WESTERLY, SOUTHEAST CORNER OF SAID LOT 4; THENCE SOUTH 45° 21' 57" WEST, 5.64 FEET; THENCE NORTH 89° 27' 41" WEST, 311.73 FEET; THENCE SOUTH 87° 30' 41" WEST, 435.54 FEET; THENCE SOUTH 00° 32' 19" WEST, 33.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 4; THENCE NORTH 89° 27' 41" WEST ALONG SAID SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 452.33 FEET; THENCE NORTH 00° 19' 36" EAST, 60.00 FEET TO THE POINT OF BEGINNING, ALL IN WILL COUNTY, ILLINOIS.

ALSO TOGETHER WITH:

THAT PART OF 91<sup>ST</sup> STREET AS SHOWN ON SAID NAPERVILLE CROSSINGS AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, SAID POINT BEING 300.00 FEET WEST OF THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER, AS MEASURED ALONG SAID NORTH LINE; THENCE SOUTH 89° 34' 35" EAST, ALONG SAID NORTH LINE 162.53 FEET; THENCE SOUTH 00° 24' 56" WEST 27.00 FEET; THENCE SOUTH 64° 55' 25" EAST 14.38 FEET TO A POINT ON THE NORTH LINE OF LOT 1 IN NAPERVILLE CROSSINGS; THENCE NORTH 89° 34' 35" WEST, ALONG SAID NORTH LINE OF LOT 1, A DISTANCE OF 173.28 FEET; THENCE NORTH 00° 17' 59" EAST 33.00 FEET TO THE POINT OF BEGINNING.

ALSO TOGETHER WITH:

LOTS 16 THRU 19 INCLUSIVE, IN THE PLAT OF RESUBDIVISION FOR LOT 2, 3, 5 AND 6 OF NAPERVILLE CROSSINGS, BEING A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEROF RECORDED APRIL 18, 2006 AS DOCUMENT R2006-063519, IN WILL COUNTY, ILLINOIS.

PIN's

07-01-04-410-058

07-01-04-410-070

EXHIBIT A

07-01-04-410-060  
07-01-04-410-065  
07-01-04-410-066  
07-01-04-410-068  
07-01-04-410-069  
07-01-04-410-064  
07-01-04-410-056  
07-01-04-410-057  
07-01-04-410-067  
07-01-04-410-073  
07-01-04-410-072  
07-01-04-410-074  
07-01-04-410-071

EXHIBIT A

Name of Subdivision The Oaks at Naperville Crossings

School Donation = **Land 0.7752** **Cash \$370,119.24** \* = Total Land x \$318,300.00 x 1.5 (Per Agreement with SD 204)  
 =Round (((Total Elementary Pop. x 0.0231) + (Total Jr. High Pop. x 0.0208) + (Total High School Pop x 0.0267)),4)

Type of Unit	Pre-School 0 - 4 Yrs	Elementary Grades K-5	Junior High Grades 6-8	High School Grades 9-12	Adults 18-up	Total per Unit						
<b>Detached Single-family</b>												
2-bedroom	0.120	0.000	0.411	0.000	0.138	0.000	0.222	0.000	1.856	0.000	2.746	0.000
3-bedroom	0.268	0.000	0.486	0.000	0.153	0.000	0.135	0.000	1.913	0.000	2.955	0.000
0 4-bedroom	0.385	0.000	0.583	0.000	0.214	0.000	0.217	0.000	2.095	0.000	3.494	0.000
5-bedroom	0.403	0.000	0.629	0.000	0.253	0.000	0.249	0.000	2.409	0.000	3.943	0.000
<b>Attached Single-Family</b>												
1-Bedroom										0.000		0.000
2-Bedroom	0.097	0.000	0.085	0.000	0.025	0.000	0.029	0.000	1.380	0.000	1.616	0.000
0 3-Bedroom	0.146	0.000	0.138	0.000	0.038	0.000	0.068	0.000	1.585	0.000	1.974	0.000
4-Bedroom	0.183	0.000	0.271	0.000	0.106	0.000	0.105	0.000	2.102	0.000	2.767	0.000
<b>Apartments</b>												
Efficiency									1.400	0.000	1.400	0.000
80 1-Bedroom	0.018	1.440	0.053	4.240	0.019	1.520	0.019	1.520	1.678	134.240	1.769	141.520
182 2-Bedroom	0.029	5.278	0.053	9.646	0.022	4.004	0.024	4.368	1.699	309.218	1.828	332.696
36 3-Bedroom	0.025	0.900	0.084	3.024	0.068	2.448	0.064	2.304	2.050	73.800	2.291	82.476
<b>People Produced</b>		7.618		16.910		7.972		8.192		517.258		556.692

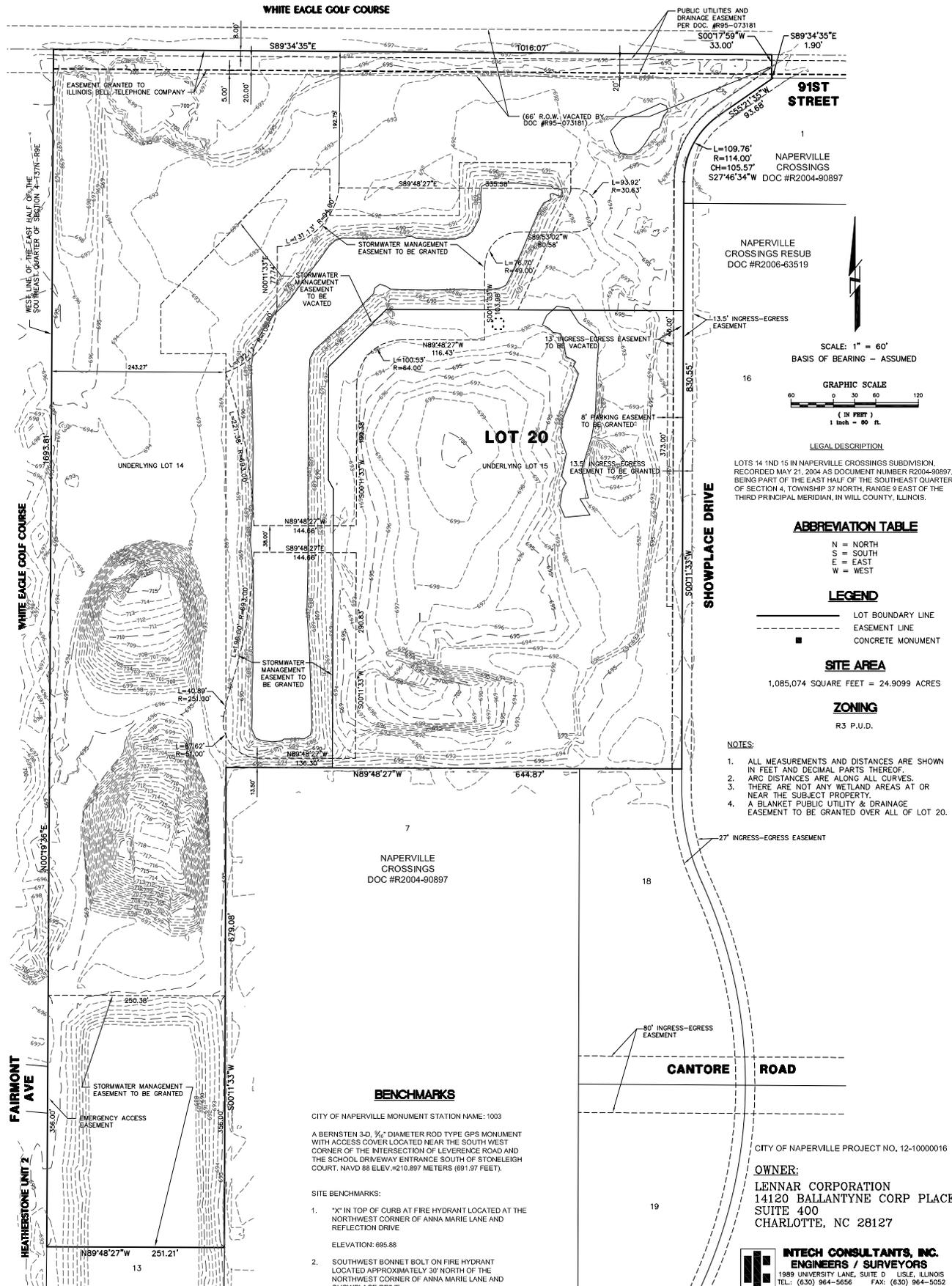
33.074

\*Required School Donation rounded to \$370,500 per agreement between School District 204 and Developer

EXHIBIT F

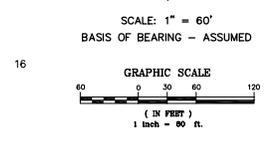
# PRELIMINARY PLAT OF SUBDIVISION THE OAKS AT NAPERVILLE CROSSINGS

NAPERVILLE, ILLINOIS  
OF  
PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4,  
TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS



**91ST STREET**  
NAPERVILLE CROSSINGS  
DOC #R2004-80897

NAPERVILLE CROSSINGS RESUB  
DOC #R2006-63519



**LEGAL DESCRIPTION**  
LOTS 14 15 16 IN NAPERVILLE CROSSINGS SUBDIVISION  
RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897,  
BEING PART OF THE EAST HALF OF THE SOUTHEAST QUARTER  
OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE  
THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**ABBREVIATION TABLE**

N = NORTH  
S = SOUTH  
E = EAST  
W = WEST

**LEGEND**

— LOT BOUNDARY LINE  
- - - EASEMENT LINE  
■ CONCRETE MONUMENT

**SITE AREA**

1,085,074 SQUARE FEET = 24.9099 ACRES

**ZONING**

R3 P.U.D.

- NOTES:**
1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  2. ARC DISTANCES ARE ALONG ALL CURVES.
  3. THERE ARE NOT ANY WETLAND AREAS AT OR NEAR THE SUBJECT PROPERTY.
  4. A BLANKET PUBLIC UTILITY & DRAINAGE EASEMENT TO BE GRANTED OVER ALL OF LOT 20.

**BENCHMARKS**

CITY OF NAPERVILLE MONUMENT STATION NAME: 1003

A BERNSTEIN 3-D, 1/2" DIAMETER ROD TYPE GPS MONUMENT WITH ACCESS COVER LOCATED NEAR THE SOUTH WEST CORNER OF THE INTERSECTION OF LEVERIDGE ROAD AND THE SCHOOL DRIVEWAY ENTRANCE SOUTH OF STONELEIGH COURT. NAVD 88 ELEV. +210.897 METERS (691.97 FEET).

**SITE BENCHMARKS:**

1. "X" IN TOP OF CURB AT FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF ANNA MARIE LANE AND REFLECTION DRIVE  
ELEVATION: 695.68
2. SOUTHWEST BONNET BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 30' NORTH OF THE NORTHWEST CORNER OF ANNA MARIE LANE AND SHOWPLACE DRIVE

CITY OF NAPERVILLE PROJECT NO. 12-10000016

**OWNER:**  
LENNAR CORPORATION  
14120 BALLANTYNE CORP PLACE  
SUITE 400  
CHARLOTTE, NC 28127

**INTECH CONSULTANTS, INC.**  
ENGINEERS / SURVEYORS  
1989 UNIVERSITY LANE, SUITE 0 USE, ILLINOIS  
TEL: (630) 964-5656 FAX: (630) 964-5052  
E-MAIL: CAD@INTECHCONSULTANTS.COM  
ILLINOIS REGISTRATION No. 184-001040

M:\CAD Projects\9000\97013A-LM\dwg\97013A-LM PSUB-REV.dwg, PLAT, 5/15/2012 1:48:56 PM, SJP

PRELIMINARY PLAT OF SUBDIVISION - THE OAKS AT NAPERVILLE CROSSINGS

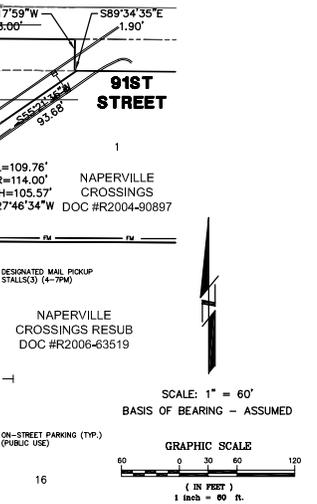
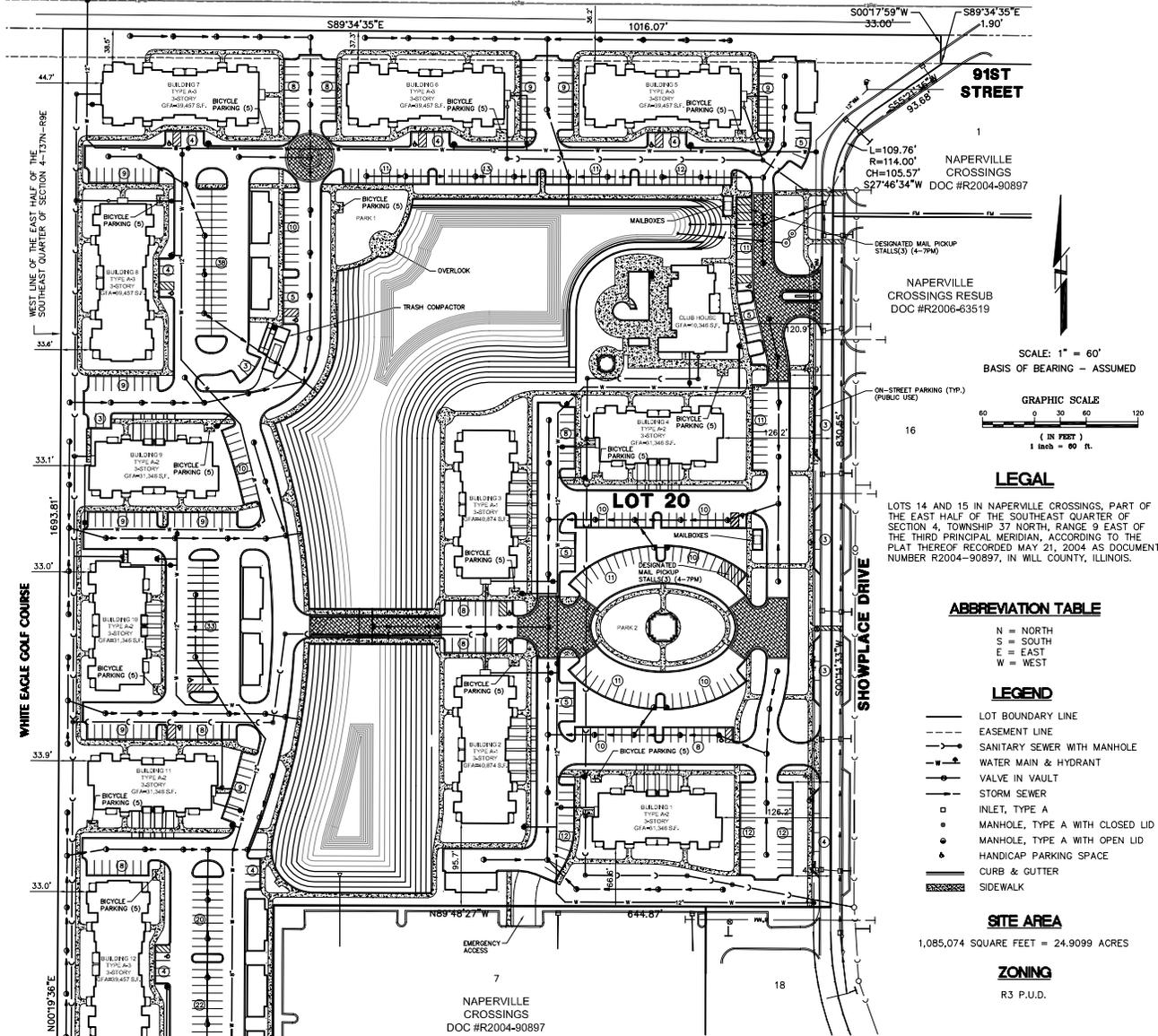


# PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT THE OAKS AT NAPERVILLE CROSSINGS

NAPERVILLE, ILLINOIS

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4,  
TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS

WHITE EAGLE GOLF COURSE



**LEGAL**  
LOTS 14 AND 15 IN NAPERVILLE CROSSINGS, PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897, IN WILL COUNTY, ILLINOIS.

**ABBREVIATION TABLE**  
N = NORTH  
S = SOUTH  
E = EAST  
W = WEST

**LEGEND**  
--- LOT BOUNDARY LINE  
--- EASEMENT LINE  
--- SANITARY SEWER WITH MANHOLE  
--- WATER MAIN & HYDRANT  
--- VALVE IN VAULT  
--- STORM SEWER  
--- INLET, TYPE A  
--- MANHOLE, TYPE A WITH CLOSED LID  
--- MANHOLE, TYPE A WITH OPEN LID  
--- HANDICAP PARKING SPACE  
--- CURB & GUTTER  
--- SIDEWALK

**SITE AREA**  
1,085,074 SQUARE FEET = 24.9099 ACRES

**ZONING**  
R3 P.U.D.

**BENCHMARKS**

CITY OF NAPERVILLE MONUMENT STATION NAME: 1003  
A BERNSTEIN 30.3" DIAMETER ROD TYPE GPS MONUMENT WITH ACCESS COVER LOCATED NEAR THE SOUTH WEST CORNER OF THE INTERSECTION OF LEVENE ROAD AND THE SCHOOL DRIVEWAY ENTRANCE SOUTH OF STONELLEIGH COURT. NAVD 88 ELEV.=210.887 METERS (691.97 FEET).

**SITE BENCHMARKS:**

- "X" IN TOP OF CURB AT FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF ANNA MARE LANE AND REFLECTION DRIVE  
ELEVATION: 695.88
- SOUTHWEST BURNET BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 30' NORTH OF THE NORTHWEST CORNER OF ANNA MARE LANE AND SHOWPLACE DRIVE  
ELEVATION: 698.08

**STATEMENT OF INTENT AND CONCEPT**

The subject site is an approximately .25 acres within the Naperville Crossings development which will be developed as a residential apartment community offering a total of 298 units along with a separate clubhouse facility all of which are designed to be in harmony with the existing Naperville Crossings development.

The established streetscape character of Showplace Drive (permitted parking, pedestrian walk and street trees) will be continued along the project frontage of this community. Within the community, the urbanist theme will be further reinforced through the generous use of bicycle parking and sidewalks to encourage walkability.

The proposed design will evoke a residential character throughout. To soften the overall building massing of the community, two and three story elements will be judiciously used throughout the development. The use and proportion of architectural materials will be consistent on all four sides of each building. The building styling is an eclectic variety of materials including stone, cementitious, white siding and cementitious horizontal siding. Color styling of the buildings will typically feature a "mix color" palette including stone color, base siding color, and accent siding color combinations. The use of vertical and layered stone elements and strong horizontal banding and material separations will bring importance to the building design.

The entire community will be landscaped appropriately, with ample landscaped parking islands, buffer plantings and screen plantings in the appropriate locations.

**SITE DATA**

LOT NUMBER	ZONING	LAND USE	PARCEL AREA (S.F.)
20	R3 P.U.D.	MULTIFAMILY RESIDENTIAL	1,085,074

STORIES											
BLDG #1	BLDG #2	BLDG #3	DET GAR	CLUBHOUSE	BLDG #1	BLDG #2	BLDG #3	DET GAR	CLUBHOUSE		
3	3	3	3	3	42'-2"	42'-2"	39'-0"	42'-2"	18	30	

MINIMUM PERIMETER SETBACK (FEET)											
BUILDING			DETACHED GARAGE								
WEST	EAST	NORTH	SOUTH	WEST	EAST	NORTH	SOUTH				
42'-2"	30'-0"	42'-2"	39'-0"	30'-0"	30'-0"	30'-0"	30'-0"				

PARKING											
BLDG #1	BLDG #2	BLDG #3	DETACHED	TANDEM	ON-STREET	TOTAL ON-SITE	BIKE				
13	20	0	45	523	32	632	75				

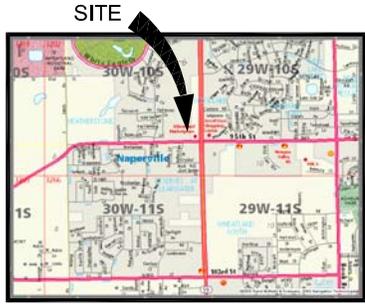
  

DENSITY											
# OF UNITS											
BLDG											
22	22	24	2	5	6	80	162	36	298	298	

PERMETER BUFFER AREA	BLDG AREA	DETENTION AREA	DETENTION AREA	INTERIOR AREA	POCKET	TOTAL	COMMON AREA
2.74 AC	0.70						

- NOTES:**
- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  - ARC DISTANCES ARE ALONG ALL CURVES.
  - SANITARY SEWER MAINS AND WATER MAINS ARE PUBLIC UTILITIES.
  - BLANKET STYLE EASEMENTS TO BE PROVIDED OVER ALL LOTS 20 FOR CITY OF NAPERVILLE WATER, WASTEWATER & ELECTRIC UTILITIES.
  - TRANSFORMER AND AIR CONDITIONING UNITS TO BE ADDRESSED AT THE TIME OF FINAL ENGINEERING AND WILL COMPLY WITH ALL CITY REQUIREMENTS.



**LOCATION MAP**  
NOT TO SCALE

CITY OF NAPERVILLE PROJECT NO. 12-1000016

**OWNER:**  
LENNAR CORPORATION  
14120 BALLANTYNE CORP PLACE  
SUITE 400  
CHARLOTTE, NC 28127

**INTECH CONSULTANTS, INC.**  
ENGINEERS / SURVEYORS  
1989 UNIVERSITY LANE, SUITE D LISLE, ILLINOIS  
TEL: (630) 964-5656 FAX: (630) 964-5052  
E-MAIL: CAD@INTECHCONSULTANTS.COM  
ILLINOIS REGISTRATION No. 184-001040

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THE OAKS AT NAPERVILLE CROSSINGS - PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT



180 N. Wacker Drive  
Suite 003  
Chicago, IL 60606  
T 312.634.2100  
F 312.634.2101  
hitchcockdesigngroup.com

# The Oaks at Naperville Crossings

Naperville, Illinois

**Lennar Corporation**  
14120 Ballantyne Corporate Place, Suite 400  
Charlotte, North Carolina, 28277

## Preliminary PUD Landscape Plans

### Revised Per City Comments

May 18, 2012

Naperville Project # 12-10000016

#### Project Team

*Landscape Architect*  
**Hitchcock Design Group**  
221 West Jefferson Avenue  
Naperville, Illinois 60540  
T 630.961.1787  
F 630.961.9925

*Civil Engineer*  
**Intech Consultants, Inc.**  
1989 University Lane, Suite D  
Lisle, Illinois 60532  
T 630.964.5656

*Land Planner*  
**BSB Design**  
3436 N. Kennicott, Suite 100  
Aurington Heights, IL 60004  
T 847.705.2200

#### General Notes

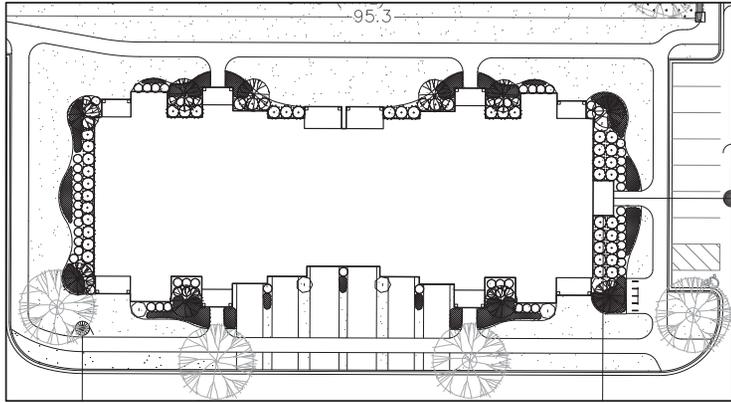
1. Basemap information obtained from plans prepared by Intech Consultants received May 18, 2012.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.

#### Sheet Index

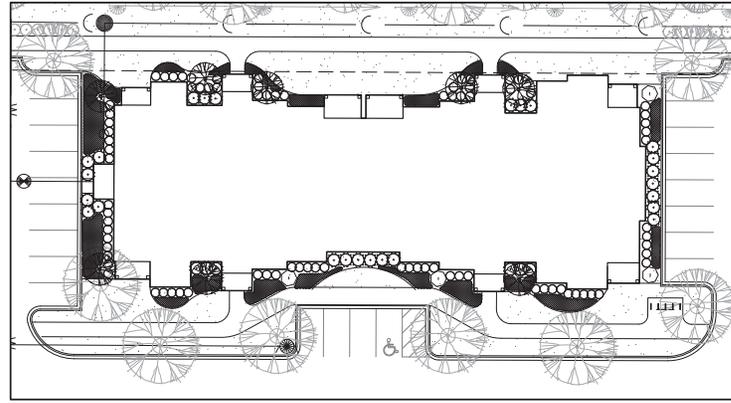
L1.1	PUD Landscape Plan
L1.2	Plan Enlargements
L1.3	Plan Enlargements and Details
L1.4	Details



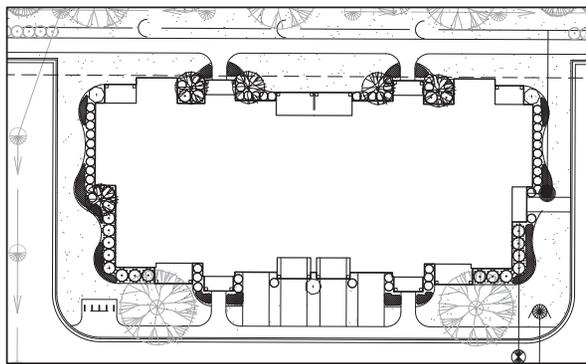




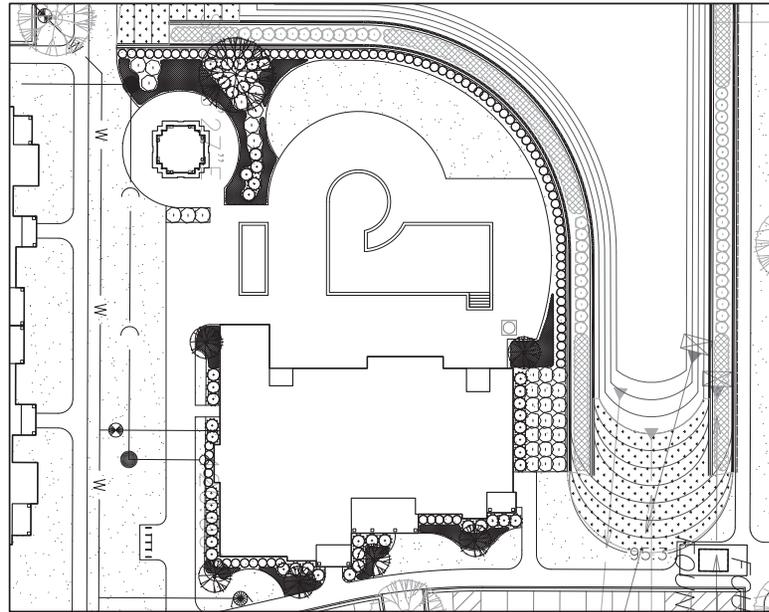
**1** Building Type A1 - Prototypical Foundation Planting  
Scale: 1" = 20'



**3** Building Type A-3 - Prototypical Foundation Planting  
Scale: 1" = 20'



**2** Building Type A-2 - Prototypical Foundation Planting  
Scale: 1" = 20'



**4** Club House Foundation Planting  
Scale: 1" = 20'

**PLANTING NOTES**

1. Seed limit line is approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all seeded areas.
3. Trees much fringe in turf areas are 5 foot diameter. Typical Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
4. Bedlines are to be spade out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Trees shall be installed a minimum of five (5) feet horizontally from underground electrical feeders, sanitary sewers, sanitary sewers, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valve vaults, valve boxes and fire hydrants. No trees, shrubs, or obstacles will be allowed 10' in front of, 5' on the sides, and 7' to the rear of the electrical transformer.
6. Trash receptacles, transformers, and air conditioning units will be properly screened in accordance with applicable zoning ordinances.
7. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.

**Planting Legend**

-  Shade tree
-  Intermediate tree
-  Evergreen tree
-  Shrubs
-  Perennials / Groundcovers

No	Date	Issue
	2012.03.13	Per City comments
	2012.04.25	Per site plan revision
	2012.05.18	Per City comments

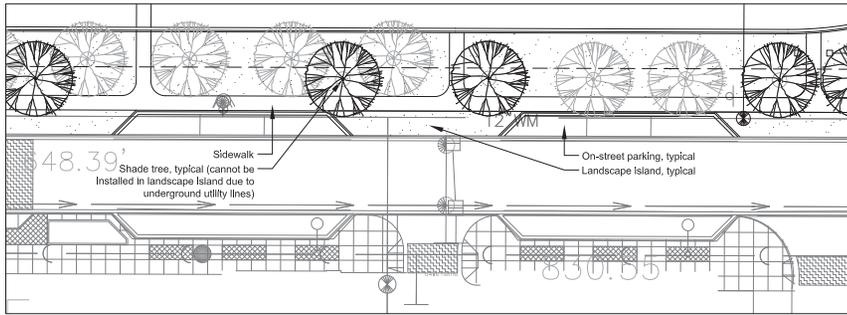
CHECKED BY: GBR  
 DRAWN BY: TRR

**Plan Enlargements**

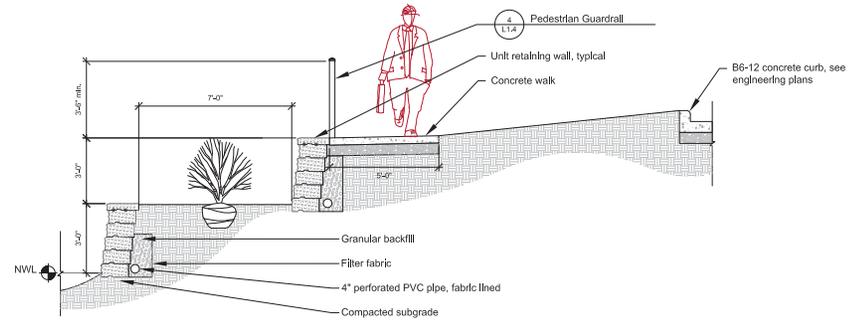
SCALE IN FEET

NORTH SHEET NUMBER

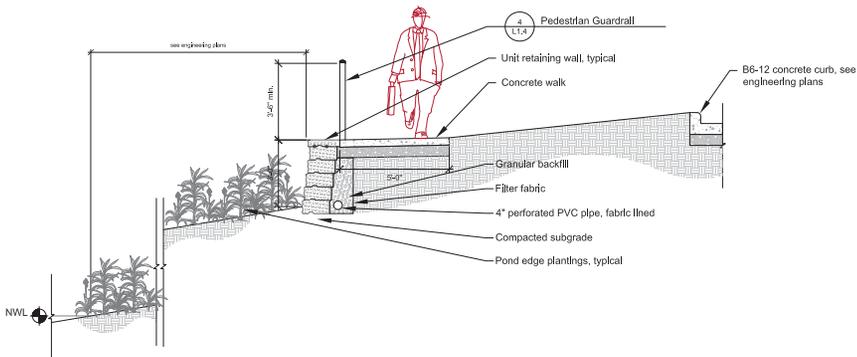
**L1.2**  
 ©2012 Hitchcock Design Group



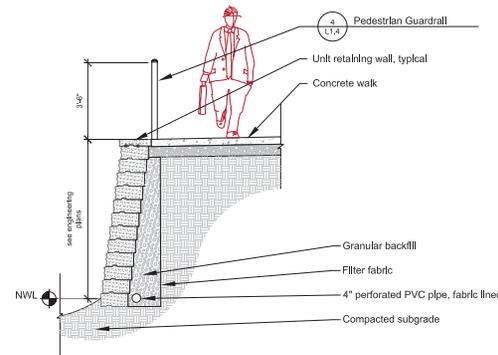
1 Showplace Drive - Prototypical Streetscape Treatment  
Scale: 1" = 20'



3 Detention Pond Retaining Wall - Section 2  
Scale: 3/8" = 1'-0"



2 Detention Pond Retaining Wall - Section 1  
Scale: 3/8" = 1'-0"



4 Detention Pond Overlook Retaining Wall - Section  
Scale: 3/8" = 1'-0"



221 W. Jefferson Avenue  
Naperville, IL 60540  
T 630.961.1767  
F 630.961.9225  
hitchcockdesigngroup.com

PREPARED FOR  
**Lennar Corporation**

14120 Ballantyne Corporate Place,  
Suite 400  
Charlotte, North Carolina 28227

PROJECT

**The Oaks at Naperville Crossi**

CON: Intech Cons  
1989 University La  
List T 63  
Ear E  
3436 N. Kennilcot  
Arlington Height  
T 84

Page 442 - Agenda Item M.2.

NAPERVILLE PROJECT: 12  
HDG PROJECT NUMBER: 01-0997-001-01-04

ISSUED February 1, 2012  
REVISIONS

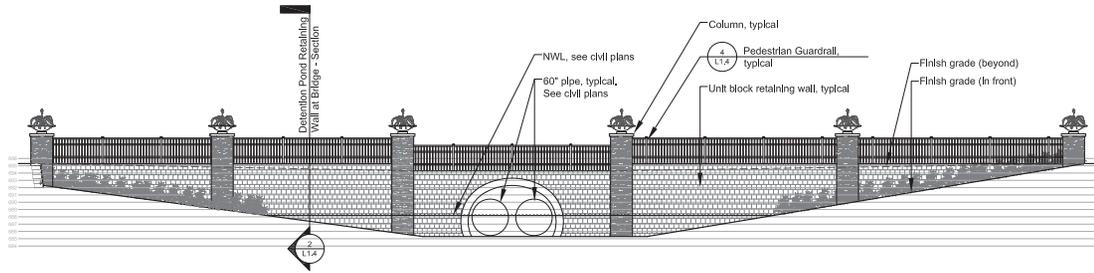
No	Date	Issue
	2012,03,13	Per City comments
	2012,04,25	Per site plan revision
	2012,05,18	Per City comments

CHECKED BY: GBR  
DRAWN BY: TRR

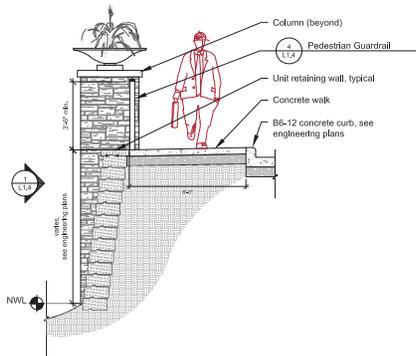
SHEET TITLE  
**Plan Enlargements and Details**

SCALE IN FEET

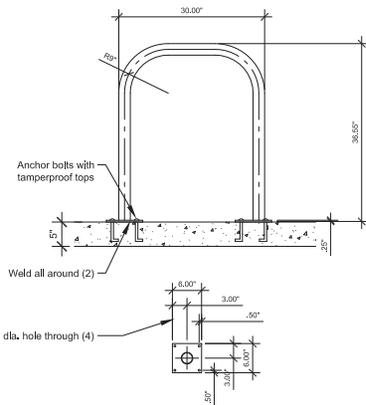
NORTH SHEET NUMBER  
**L1.3**  
©2012 Hitchcock Design Group



1 Bridge Elevation  
Scale: 1/8" = 1'-0"

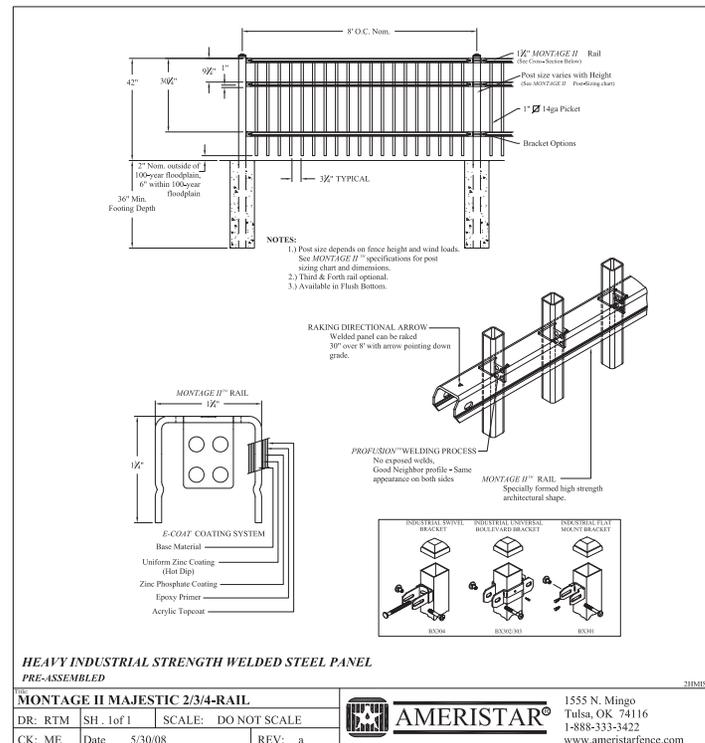


2 Detention Pond Retaining Wall at Bridge - Section  
Scale: 3/8" = 1'-0"



3 Bike Rack

d-bike rack  
1" = 1'-0"



4 Pedestrian Guardrail

d-fence  
NTS



221 W. Jefferson Avenue  
Naperville, IL 60540  
T 630.961.1767  
F 630.961.9925  
hitchcockdesigngroup.com

PREPARED FOR  
**Lennar Corporation**

14120 Ballantyne Corporate Place,  
Suite 400  
Charlotte, North Carolina 28277

PROJECT

**The Oaks at Naperville Crossi**

CON: Intech Cons  
1989 University La  
List T 63  
Ear E  
3436 N. Kennelcot  
Arlington Height  
T 84

Page 443 - Agenda Item M.2.

NAPERVILLE PROJECT: 12  
HDG PROJECT NUMBER: 01-0997-001-01-04

ISSUED February 1, 2012  
REVISIONS

No	Date	Issue
	2012,03,13	Per City comments
	2012,04,25	Per site plan revision
	2012,05,18	Per City comments

CHECKED BY: GBR  
DRAWN BY: TRR

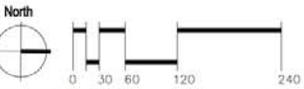
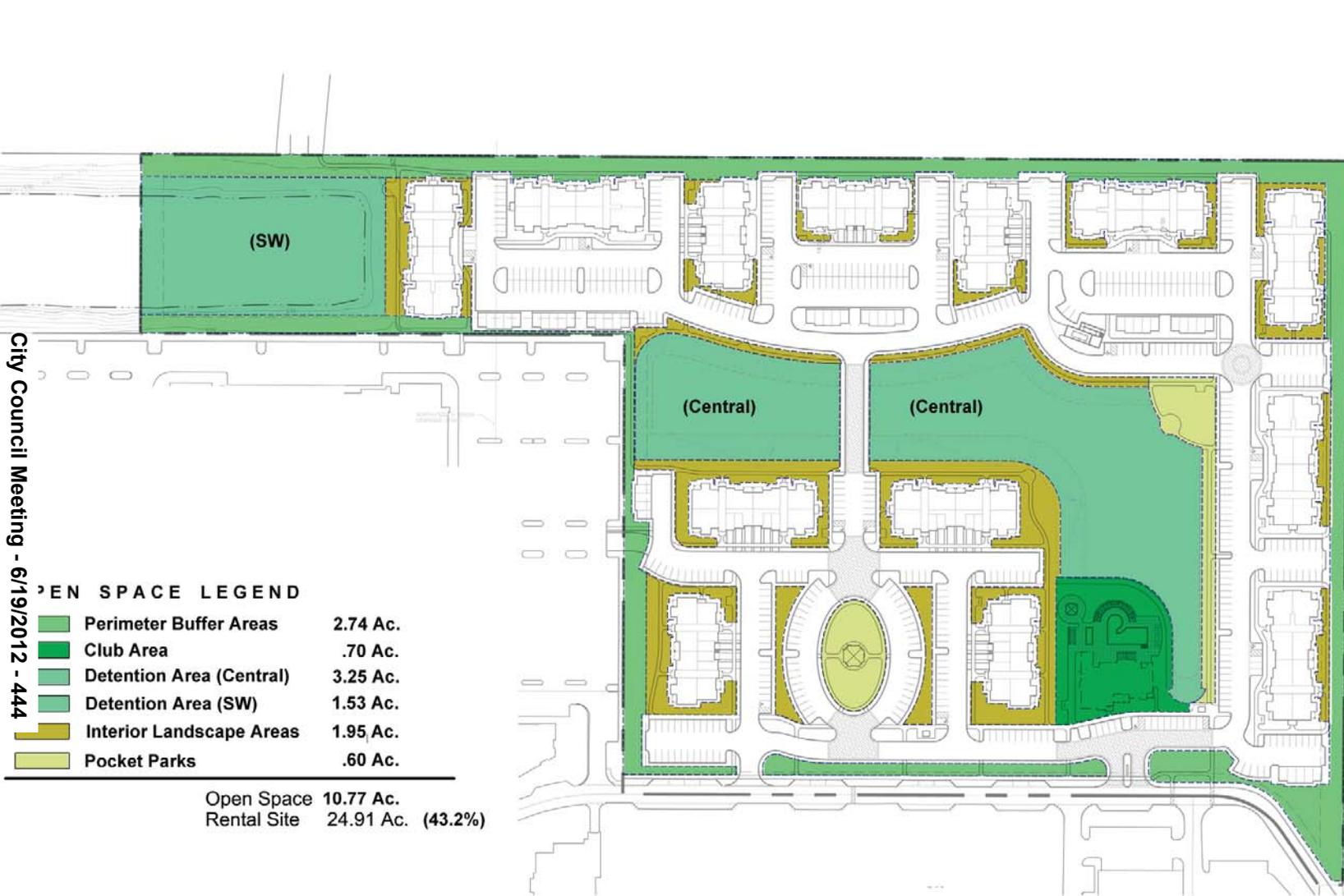
SHEET TITLE  
**Details**

SCALE IN FEET

NORTH SHEET NUMBER

**L1.4**  
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City Council Meeting - 6/19/2012 - 444



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Sheet LP 1.1

**Open Space Area**  
**The Oaks at Naperville Crossings**  
 Naperville, Illinois

April 13, 2012  
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Minimum Building Masonry Percentage: 50%

**Front Elevation**

scale: 1/8" = 1'-0"



**Rear Elevation**

scale: 1/8" = 1'-0"



**Building A1**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A1 1.0

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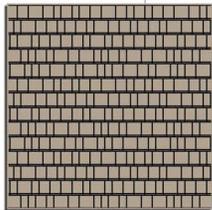


**Front Elevation**  
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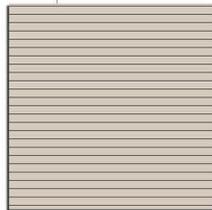
Minimum Building Masonry Percentage: 50%



Asphalt Shingles



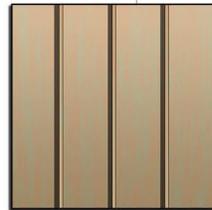
Cementitious Shake Siding



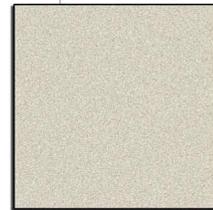
Cementitious Horizontal Siding



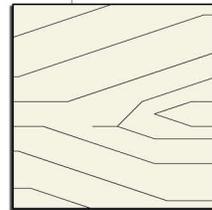
Masonry Veneer



Standing Seam Metal Roof



Cast Stone



Composite Trim



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Sheet A1 1.0a  
**The Oaks at Naperville Crossings**  
Naperville, Illinois

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Left Elevation

scale: 1/8" = 1'-0"



Right Elevation

scale: 1/8" = 1'-0"

**Building A1**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A1 2.0

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**Front Elevation**

scale: 1/8" = 1'-0"

Minimum Building Masonry Percentage: 50%



**Rear Elevation**

scale: 1/8" = 1'-0"



**Left Elevation**

scale: 1/8" = 1'-0"



**Right Elevation**

scale: 1/8" = 1'-0"

**Building A2**

**The Oaks at Naperville Crossings**

Sheet A2 2.0  
Naperville, Illinois

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Minimum Building Masonry Percentage: 50%

**Front Elevation**

scale: 1/8" = 1'-0"



**Rear Elevation**

scale: 1/8" = 1'-0"



**Building A3**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A3 1.0

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**EXHIBIT K**



**Left Elevation**

scale: 1/8" = 1'-0"



**Right Elevation**

scale: 1/8" = 1'-0"



**Building A3**

**The Oaks at Naperville Crossings**

Naperville, Illinois

Sheet A3 2.0

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**EXHIBIT K**



**Front Elevation**  
 scale: 3/16" = 1'-0"

Minimum Building Masonry Percentage: 50%



**Left Elevation**  
 scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

Minimum Building Masonry Percentage: 50%



Asphalt Shingles



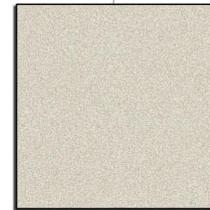
Cementitious Horizontal Siding



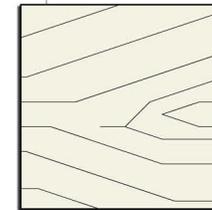
Cementitious Shake Siding



Stone Veneer



Cast Stone



Composite Trim



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**The Oaks at Naperville Crossings**

Naperville, Illinois

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**Rear Elevation**  
 scale: 3/16" = 1'-0"



**Right Elevation**  
 scale: 3/16" = 1'-0"

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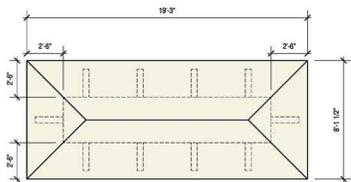


**Front Elevation**

scale: 1/4" = 1'-0"

**Side Elevation**

scale: 1/4" = 1'-0"



**Plan View**

scale: 1/4" = 1'-0"



**Gazebo Elevation**

scale: 1/4" = 1'-0"

**Mail Box Kiosk/Gazebo**

**The Oaks at Naperville Crossings**

Naperville, Illinois

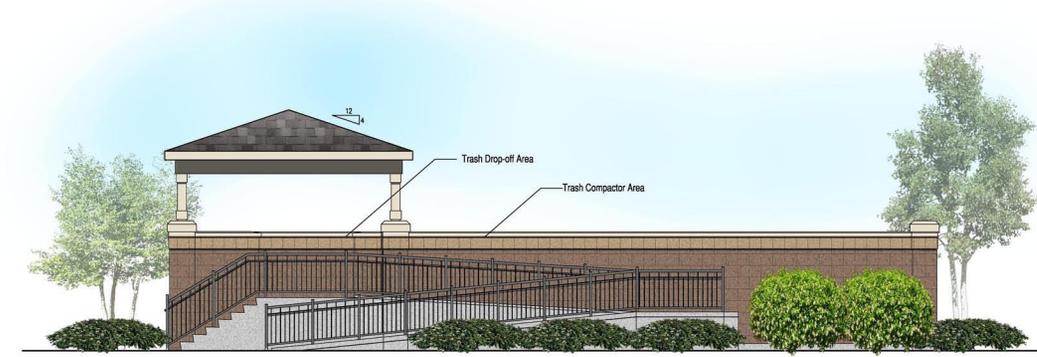
Sheet S 1.0

04-23-2012

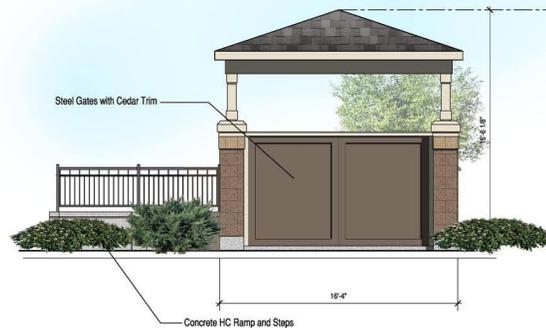
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**Front Elevation**  
scale: 1/4" = 1'-0"



**Left Elevation**  
scale: 1/4" = 1'-0"



**Rear Elevation**  
scale: 1/4" = 1'-0"



**Right Elevation**  
scale: 1/4" = 1'-0"



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Front Elevation



Side Elevation



Rear Elevation

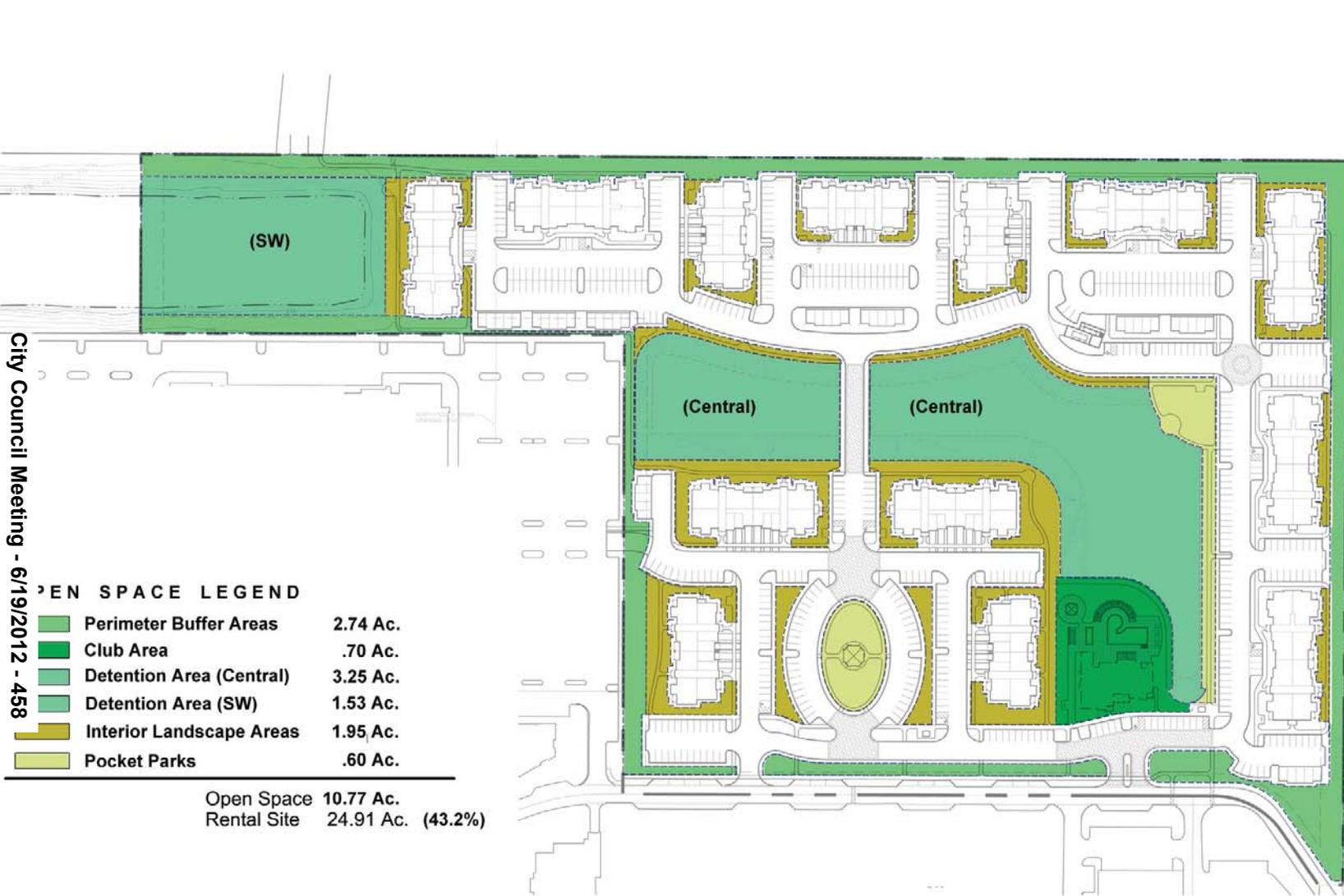
### 5 Bay Garage Elevations

Sheet S 3.0  
**The Oaks at Naperville Crossings**  
Naperville, Illinois

04-23-2012  
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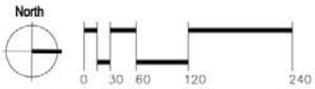
City Council Meeting - 6/19/2012 - 458



Sheet LP 1.1

**Open Space Area**  
**The Oaks at Naperville Crossings**  
 Naperville, Illinois

April 13, 2012  
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STATE OF ILLINOIS )  
 )  
COUNTY OF DUPAGE )  
 )  
CITY OF NAPERVILLE )

**REVISED - PETITION TO THE NAPERVILLE CITY COUNCIL AND PLAN  
COMMISSION FOR ENTITLEMENTS REGARDING LOTS 14 AND 15 IN THE  
NAPERVILLE CROSSINGS SUBDIVISION**

THE UNDERSIGNED Petitioner, Lennar Multifamily Investors, LLC, a Delaware limited liability company (hereinafter “the Petitioner”) respectfully petitions the City of Naperville to re-subdivide Lots 14 & 15 in the Naperville Crossings Subdivision into one buildable lot (Lot 20), approve a major change to the Naperville Crossings Planned Unit Development allowing for a highly appointed 298-unit apartment community on the northwestern 24.91-acre portion of the subdivision, approve a preliminary planned unit development plat for Lot 20, approve a rezoning of the Subject Property from B-2 PUD to R-3 PUD, approve an annexation agreement amendment eliminating the existing age restriction, grant an off-street loading variance, grant a detention basin design variance to permit the use of retaining walls in the centrally located detention facility, and such other variances, departures or deviations as may be necessary to develop the property legally described on **Exhibit A** (“Subject Property”), and as depicted on the plans submitted herewith pursuant to the appropriate provisions of the Naperville Municipal Code, as amended (hereinafter the “Code”).

In support of this Petition, the Petitioner represents to the City of Naperville as follows:

1. The Petitioner, Lennar Multifamily Investors, LLC, 201 S. Tryon, Suite 1050, Charlotte, NC 28202 is the Petitioner and contract purchaser of the Subject Property. First National Bank of Naperville, a branch of First National Bank of Brookfield, 9136 Washington Avenue, Brookfield, Illinois 60513, is the owner of the Subject Property (hereinafter the

“Owner”).

2. The Subject Property consists of Lots 14 and 15 in the Naperville Crossings Subdivision and consists of approximately 24.91 acres generally located west of Illinois Route 59 and north of 95<sup>th</sup> Street in Naperville, Illinois.

3. The existing land uses surrounding the Subject Property are as follows:

- a. North: R-1A – White Eagle Golf Course & Subdivision
- b. East: B-2 PUD – Retail & Vacant
- c. South: B-2 PUD – Movie Theatre
- d. West: R-1A – White Eagle Golf Course & Subdivision

4. The Subject Property is located in Will County, Illinois, and is unimproved.

5. The Petitioner seeks approval of a Plat of Resubdivision to consolidate Lots 14 and 15 into one developable lot to be known as Lot #20.

6. The Petitioner seeks approval of a Major Change to the existing Naperville Crossings Planned Unit Development and approval of a Preliminary PUD Plat to permit the development of a 298-unit apartment community.

7. The Petitioner seeks approval of a rezoning of the Subject Property from B-2 PUD to R-3 PUD to allow for residential development of the Subject Property.

8. The Petitioner seeks approval of an Annexation Agreement Amendment allowing the Subject Property to be utilized as a non-age restricted community.

9. The Petitioner seeks approval of a deviation from the City’s off-street loading requirements to reduce the number of off-street loading spaces from 3 to 0.

10. The Petitioner seeks approval of a deviation to permit decorative retaining walls up to seven feet (7') in height along the perimeter of the centrally located detention basin in the limited locations as shown on the Landscape Plan.

11. The proposed entitlement requests meet all City and State requirements for the development of property and will facilitate the beneficial use of the Subject Property as stated below.

12. The requested Major Change to the existing Naperville Crossings Planned Unit Development meets the requirements for a Major Change under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. *The design of the planned unit development presents an innovative and creative approach to the development of land and living environments.*

The proposed development will consist of a 298-unit "Class A" apartment community which will provide an additional housing opportunity to an underserved segment of Naperville's population known as "Renters by Choice" who are predominantly young professionals or empty nesters looking to avoid the struggles of home ownership, but requiring an upscale living environment and associated amenities in close proximity to a variety of retail and convenience uses. To this end, extensive care was taken in the development of the site plan to fit the proposed development within the existing Naperville Crossings Subdivision.

As the Subject Property is bounded to the west and north sides by the White Eagle Golf Course, the AMC movie theatre and retail to the south and east, and is occupied by an existing detention basin located in the center of the Subject Property, the site presents many design obstacles. As a result the site plan includes a complimentary use of multiple building types and innovation in site design. To properly address the proximity to the White Eagle Golf Course, the Petitioner is proposing only three-story buildings (Type A-1, A-2, and A-3), consisting of

twenty-two (22) (A-1 & A-2) to twenty-four units (A-3) each which will be restricted to a maximum height of forty-two and a half feet (42.5'). In addition to the existing landscape buffers adjacent to the golf course, the Petitioner will be adding landscape treatments along the golf course property lines to enhance the view to the site.

The buildings will evoke a residential character and will be constructed utilizing 360 degree architecture. The building style is an eclectic variety of materials including brick, cement board, accents and trims. The use and proportion of architectural materials will be consistent on all four sides of each building. To soften the overall massing of the community, two- and three-story elements will be subtly used throughout the development. The color styling will feature a three-color palette including masonry color, base siding color, and accent siding color combinations. The use of vertical and layered masonry elements and strong horizontal banding and material separations will bring importance to the design of the buildings and community. The buildings will also feature strong integrated balcony designs with detailed columns, attached garages, large windows and patio doors.

A clubhouse facility will be located off the Showplace Drive entrance greeting visitors and residents upon entry into the community. The clubhouse will serve as a recreational, social and information/leasing center which will feature an outdoor pool looking over the green space and the detention feature, a community room, and an exercise room. The clubhouse will be of the same character in quality and design as the adjacent buildings.

The site will be heavily landscaped in accordance with City requirements, including substantial landscape treatments along the White Eagle Property line, Showplace Drive, and the movie theatre. Each building will be complimented with foundation plantings to further enhance the look of the development. Extensive landscape treatments, architectural retaining walls, a

pocket park and pedestrian paths will enhance the centrally located detention basin, which will create an additional community amenity. The addition of a bridge across the detention basin will increase connectivity within the site and will add to the upscale feel of the development.

To further enhance the Naperville Crossings “Lifestyle” or “New Urbanism” theme it was important to provide ample pedestrian and bicycle access to the Subject Property and maximize connection points to the existing commercial component of Naperville Crossings. Therefore, multiple pedestrian access points to the commercial areas have been established along with extensive interior walkways and an abundance of bicycle parking areas.

To avoid a proliferation of unsightly dumpsters throughout the development, a trash compactor will be located at the interior of the property, hidden from sight by a masonry building.

- b. The planned unit development meets the requirements and standards of the planned unit development regulations.*

The proposed Major Change to the Planned Unit Development will allow the Petitioner to utilize the Subject Property to an extent that is compatible with the surrounding environment and to its highest and best use. The proposed planned unit development meets the requirements and standards of the planned unit development regulations as follows:

- (i) Ownership and Control: The proposed development meets the ownership and control requirements.
- (ii) Area, Lot Width, Yard, and Height/Bulk Requirements: The proposed development meets the applicable standards of the underlying zoning district as depicted on the PUD Plat.
- (iii) Common Open Space: Common open space was master planned as part of the development improvements for Naperville Crossings. In addition to

the overall Naperville Crossings open space, the Petitioner will be providing 10.77 acres (approximately 43%) open space amenities on the site.

- (iv) Landscaping, Screening, and Tree Preservation: A landscape plan has been submitted in compliance with the City's requirements for landscaping and screening on the Subject Property.
- (v) Lighting: The proposed development will comply with the City's exterior lighting regulations.
- (vi) Pedestrian and Bicycle Circulation: The provisions pertaining to Pedestrian and Bicycle Circulation will be met and exceeded.
- (vii) Relationship to Adjoining Land: The proposed use is consistent with the mixed-use concept of the Naperville Crossings Planned Unit Development and will enhance the viability of the commercial uses within the development.
- (viii) Density Bonuses: No Density bonuses are requested. The requested 298-unit community is less than the formerly approved 384-unit active adult and assisted living community.
- (ix) Park and School Sites: Park and School donations will be required as part of this development.
- (x) Public Improvements. All public improvements have been provided for as part of the Naperville Crossings PUD, including signalized access points at Route 59 and 95<sup>th</sup> Street and a dedication of land which is now home to Fire Station No. 10.

- c. The physical design of the planned unit development efficiently utilizes the land and adequately provides for transportation and public facilities while preserving the natural features of the site.*

There are no existing natural features on the site. The existing site consists of roughly graded and unsightly vacant land, large dirt stockpiles and an existing detention basin. The proposed plan incorporates the existing detention basin by turning it into a community amenity, and maximizes connectivity to the existing retail component of Naperville Crossings, supporting the viability of the overall development. Overall, the proposed development greatly enhances the Subject Property and efficiently utilizes residential property which has been vacant and underperforming for many years. By providing adequate pedestrian access, the need for vehicular travel will be minimized.

- d. Open Space, outdoor common area, and recreational facilities are provided.*

Open space, outdoor common areas, and recreational facilities will comprise a significant component of the proposed setting for the Naperville Crossings Planned Unit Development. The Petitioner is proposing 10.77 acres (43%) of open space. A clubhouse area, featuring a recreational room, community room and outdoor pool, will be included as part of the development. Many additional recreational areas and amenities such as water features, park areas, walkways, sitting areas and a gazebo will be complimented by extensive landscaping and contribute to the active urban lifestyles of the target residents.

- e. The modifications in design standards from the subdivision control regulations and the waivers in bulk regulations from the zoning regulations fulfill the intent of those regulations.*

The petitioner is not seeking any modifications in design standards from the subdivision control regulations or waivers in bulk regulations from the zoning regulations.

- f. The planned unit development is compatible with the adjacent properties and nearby land uses.*

The proposed use of the Subject Property is consistent with the proposed mixed-use development of Naperville Crossings. Naperville Crossings was conceptualized as a mixed-use development with a combination of retail, service commercial uses, professional and medical office uses and residential uses. The retail commercial component of the development is partially developed along Illinois Route 59. The secondary commercial and residential components of the development have stalled over the past seven years. The proposed development would create a beneficial use of the Subject Property that will provide an underserved segment of the housing market and also provide a boost to the existing commercial uses, which will be consistent with the character and intent of the planned unit development. The proposed community will bring approximately 585 additional patrons to the development and thereby support the viability of the commercial portions of Naperville Crossings.

*g. The planned unit development fulfills the objectives of the comprehensive plan and planning policies of the City.*

The proposed development is consistent with the overall Naperville Crossings Planned Unit Development, which anticipated a mixed-use development. In addition, the proposed development is consistent with the formerly approved residential component on the Subject Property, the only difference being that this development will not be age restricted. Since the original entitlement of the Subject Property not one senior developer has had any interest in this site. Since then, several other age restricted communities have been constructed in Naperville, including Monarch Landing and the nearby Carillon Club. Existing age restricted developments have adequate capacity to serve existing and future demands.

13. The requested Rezoning from B-2 PUD to R-3 PUD meets the requirements for a Rezoning under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. *The amendment promotes the public health, safety, comfort, convenience, and general welfare and complies with the policies and official land use plan and other official plans of the City.*

The amendment will promote the public health, safety, comfort, convenience, and general welfare in many ways. First, the amendment will provide for the development of additional housing opportunities to those who currently reside in Naperville or wish to reside in Naperville. It will also provide an opportunity for those seeking an upscale rental opportunity, within walking distance of necessities such as pharmacies, grocery stores, retail and dining and entertainment venues, to be able to enjoy such a lifestyle. The amendment will also provide for a community inclusive of recreational activities, including a clubhouse, pool, walkways and parks. In addition, the amendment will provide for the development of unsightly and underperforming land to be utilized for its highest and best use which will in turn support the adjacent commercial development and enhance the City's retail and property tax bases. The proposed amendment is also in conformance with the City's official plans in that the Naperville Crossings Planned Unit Development has always been intended to be a mixed-use development.

- b. *The trend of development in the area of the Subject Property is consistent with the requested amendment.*

The adjacent White Eagle Golf Course has existed for over twenty years, and a residential use is certainly in harmony neighboring a golf course. Over the past seven years the adjacent retail has filled in sporadically. As the Naperville Crossings Planned Unit Development has always been intended as a mixed-use development, the trend of development in the area is consistent with the requested residential component.

- c. *The requested zoning classification permits uses which are more suitable than the uses permitted under the existing zoning classification.*

The existing zoning classification, B-2 PUD, is appropriate for commercial uses. There

are an abundance of vacant commercial lots in Naperville Crossings with superior frontage and access currently available. The Subject Property is somewhat secluded in the far northwestern corner of the planned unit development and is not desirable for commercial development. In addition, the intent of the Subject Property, as evidenced by the Naperville Crossings Planned Unit Development, is for residential purposes. Therefore, a rezoning to R-3 PUD is necessary to achieve the highest and best use of the Subject Property.

- d. The property cannot yield a reasonable return if permitted to be used only under the conditions allowed under the existing zoning classification.*

The Subject Property is not viable as a commercial property. It is intended and highest and best use is as a residential community, in conformance with the Naperville Crossings Planned Unit Development. Under its current zoning designation, the Subject Property has remained vacant and unimproved.

- e. The Subject Property has not been utilized under the existing zoning classification for a substantial period of time.*

At all times the Subject Property has remained vacant under its current zoning classification.

- f. The amendment, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property.*

The amendment will actually have a very positive effect on the essential character of the neighborhood and will benefit the adjacent property. The proposed development plans will actually bring the Naperville Crossings mixed-use intent to fruition, which will not only provide additional housing opportunities, but will also have a positive effect on the sustainability of the adjacent commercial uses. The net result will be increased viability to Naperville Crossings in its entirety and an enhanced retail and property tax base for the City. In addition, the Petitioner has designed the site in a manner which takes the concerns of the adjacent golf course into

consideration by limiting the building heights, incorporating 32.25' setbacks along the golf course, not locating any detached garages adjacent to the golf course, and providing additional landscape screening along the golf course. The proposed residential use will also serve as a buffer for the golf course from the commercial uses and Route 59.

14. The requested deviation to reduce the required loading spaces from 3 to 0 meets the requirements for a deviation under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. The requested deviation will not undermine the intent and purpose of the underlying zoning district; will not be a detriment to the provision of municipal services and infrastructure and will contribute to a planned unit development which offers a superior level of design, amenity enhancement, and environmental benefits.*

The intent of the off-street loading requirement is to avoid loading occurring on publicly owned right-of-ways. All internal roadways and parking areas on the Subject Property shall be private and under the exclusive control of the Petitioner. As a residential community, truck traffic within the development will be prohibited, and the use of a loading berth is both undesirable and unnecessary. As is the practice in most all multifamily developments, residents will use common hallways and the elevators to move in and out of their units. To that end, there is sufficient area adjacent to each building to accommodate all move in/out activities. The inclusion of three loading berths would have an impractical and unsightly effect on the residential character of the neighborhood. In addition, any deliveries to the clubhouse would be minor in nature and could be accommodated by car or van. Therefore, the Petitioner's request to eliminate loading berths would have a positive aesthetic effect on the development and overall community and contribute to a planned unit development which offering a superior level of design, amenity enhancement, and environmental benefits.

15. The requested deviation to permit decorative retaining walls up to seven (7) feet in height along the perimeter of the centrally located detention basin meets the requirements for a deviation under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. *The requested deviation will not undermine the intent and purpose of the underlying zoning district; will not be a detriment to the provision of municipal services and infrastructure and will contribute to a planned unit development which offers a superior level of design, amenity enhancement, and environmental benefits.*

The Petitioner seeks a deviation from the City's "Design Manual For Public Improvements" to permit non-terraced retaining walls in the residential development. As the centrally located detention pond has already been constructed and serves other properties within the Naperville Crossings Subdivision, the Petitioner was challenged to incorporate the existing basin into its development plans. In addition, to utilize the existing basin, the Petitioner desires to turn the basin into a community amenity, including adjacent parks, walking paths, a gazebo, a bridge, and extensive landscape treatments. As specified on the Preliminary Engineering Plan the Petitioner seeks to utilize non-terraced retaining walls ranging from 3' to 7' which will enhance both the function and aesthetics of the primary detention basin. In addition to the retaining walls, the detention basin will be heavily landscaped and include a safety ledge feature as required by the City of Naperville. As a result, the requested deviation will not be a detriment to the provision of municipal services and infrastructure and will contribute to a planned unit development which offers a superior level of design, amenity enhancement, and environmental benefits.

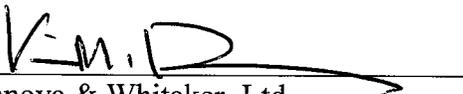
**WHEREFORE**, by reason of the foregoing, the undersigned Petitioner requests the City Council and Plan Commission take the necessary steps to: 1) approve a Plat of Resubdivision to

consolidate Lots 14 and 15; 2) grant a major change to the Naperville Crossings Planned Unit Development and approve a Preliminary Planned Unit Development Plat for the Subject Property; 4) grant a variance to eliminate the requirement for off-street loading; 6) grant a variance to permit retaining walls to be utilized in the detention basin; 8) grant a annexation agreement amendment eliminating the age restricted use of the Subject Property; and 9) grant such other variances, departures, deviations or other relief which is deemed necessary to approve the development of the Subject Property as depicted on the plans submitted herewith.

RESPECTFULLY SUBMITTED this 30th day of April, 2012.

PETITIONER:

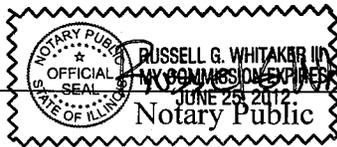
LENNAR MULTIFAMILY INVESTORS, LLC,  
a Delaware limited liability company

  
\_\_\_\_\_  
Rosanova & Whitaker, Ltd.  
Attorneys for the Petitioner

State of Illinois )  
 ) ss.  
County of DuPage )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, do hereby certify that Vincent M. ROSANOVA, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that he signed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth.

Given under my hand and official seal this 30<sup>th</sup> day of April, 2012.

 Russell G. Whitaker III  
Notary Public

**CITY OF NAPERVILLE  
TRANSPORTATION, ENGINEERING AND DEVELOPMENT  
BUSINESS GROUP  
APPLICATION FOR DEVELOPMENT APPROVAL**

**DEVELOPMENT NAME:** The Oaks at Naperville Crossing

Date of Submission: February 3, 2012 – Resubmitted April 30, 2012

**I. APPLICANT/PETITIONER:**

Name: Lennar Multifamily Investors, LLC

Address: 201 S. Tyron, Suite 1050, Charlotte, NC 28202

Contact Person: Todd Farrell

Telephone Number: 704-749-5265

Relationship of Applicant to Subject Property: Contract Purchaser

**II. OWNER OF THE PROPERTY:**

Name: First National Bank of Brookfield

Address: 9136 Washington Ave., Brookfield, Illinois 60513

Phone: 708-485-2770

Is this development within the City limits?

- Yes.  
 Under review by another governmental agency and requires review due to 1.5 mile jurisdictional requirements.  
 No, requesting annexation.

Are there electors living on the property: N/A

**III. ACTION REQUESTED:**

<input checked="" type="checkbox"/>	Annexation Agreement Amendment	<input checked="" type="checkbox"/>	Rezoning (Exhibit 1
<input type="checkbox"/>	Conditional Use (Exhibit 3)	<input type="checkbox"/>	Site Plan Review
<input checked="" type="checkbox"/>	Preliminary PUD Plat (Exhibit 2)	<input type="checkbox"/>	Final PUD Plat
<input type="checkbox"/>	Major Change to a Conditional Use	<input type="checkbox"/>	Minor Change to a Conditional Use
<input checked="" type="checkbox"/>	Major Change to a Planned Unit Development (Exhibit 2)	<input type="checkbox"/>	Minor Change to a Planned Unit Development
<input checked="" type="checkbox"/>	Preliminary Plat of Subdivision	<input type="checkbox"/>	Final Plat of Subdivision
<input type="checkbox"/>	Subdivision Waiver	<input checked="" type="checkbox"/>	Zoning Variance(s) (Exhibit 5)

**IV. APPLICANT’S/PETITIONER’S STAFF:**

Attorney:	Rosanova & Whitaker, Ltd. Vince Rosanova	Telephone Number: 630-355-4600 <a href="mailto:Vince@rw-attorneys.com">Vince@rw-attorneys.com</a>
Engineer:	Intech Consultants Ed Seifert	Telephone Number: 630-964-5656 <a href="mailto:seifert@intechconsultants.com">seifert@intechconsultants.com</a>
Landscape:	Hitchcock Design Group Geoff Roehll	Telephone Number: 630-961-1787 <a href="mailto:groehll@hitchcockdesigngroup.com">groehll@hitchcockdesigngroup.com</a>
Architect:	BSB Design, Inc. Joe Safin	Telephone Number: 847-705-2200 <a href="mailto:jsafin@bsbdesign.com">jsafin@bsbdesign.com</a>

**V. PROJECT DATA:**

1. Location: Lots 14 & 15 in Naperville Crossings, 95<sup>th</sup> St. & Route 59.  
County: Will  
Township: Wheatland  
PIN#: 07-01-04-410-056; -057
2. General Description of the Site: The Subject Property consists of 24.91 acres, is unimproved and vacant.
3. Existing Zoning on the Site: B-2 PUD
4. Existing Land Use: Vacant and unimproved.
5. Existing Utility Service: Water, electric, gas and sewer are available.
6. Acreage of Site: Approximately 24.91 acres
7. List Controlling Ordinance and Agreements (zoning, annexation ordinances, SIA, site plans, preliminary/final PUD plats, etc.): Naperville Crossings Annexation Agreement & Amendments, Subdivision Plat and PUD Plan, Naperville Crossings PUD Ordinances and associated design guidelines and private Covenants, Conditions and Restrictions governing the development and use of property in Naperville Crossings.
8. Character of Surrounding Area:

	ZONING	JURISDICTION	EXISTING LAND USE	ADOPTED CITY PLAN
North	R-1A	Naperville	White Eagle G.C.	Golf Course
South	B-2 PUD	Naperville	Movie Theatre	Commercial
East	B-2 PUD	Naperville	Retail & Vacant	Commercial
West	R-1A	Naperville	White Eagle G.C.	Golf Course

**VI. PROPOSED DEVELOPMENT:**

1. Type of Development:

Residential      \_\_\_ Commercial      \_\_\_ Office  
 \_\_\_ Industrial      \_\_\_ Other

2. Proposed Zoning: R-3 PUD

3. Description of Proposal: Petitioner seeks to consolidate Lots 13 & 14 to construct and manage a 298 unit apartment community on the subject property.

4. Description of Building (Including number of buildings, façade materials, square feet of each building/use, maximum height):

The proposed development will consist of: a) thirteen 3-story buildings. The building styling will be an eclectic variety of materials including brick, cement board, accents and trims, and in some cases stone. The buildings will feature a three-color palette including masonry color, base siding color, and accent siding color combinations.

A clubhouse will be located in the front of the development and will match the character and quality of the apartment buildings.

5. General Land Use Data:

	Resid.	Comm.	Office	Indust.	R.O.W.	Park	School	Private	Other	Total
No. of Acres	24.91									24.91
% of Total	100%									100%

\*Please explain:

7. Description of any Non-Residential, Commercial or Industrial portion of the Development: N/A

8. Variances from the Underlying zoning Regulations: (i.e. parking, setbacks, density, height/bulk, etc.):

- a. Parking (Title 6, Chapter 9.5): To reduce the required off-street loading requirement from 3 to 0. All internal streets are private with ample area for residents to move in or out.
- b. Detention Basin (Design Manual Section 2.5.4.5): To permit retaining walls to be located in the detention basins up to 7' in height.

- 9. Variances from the Subdivision Regulations: None
- 10. Variances from the Landscape Regulations: None
- 11. Conditional Use: None

**VII. SCHOOL AND PARK DONATION REQUIREMENTS:**

- 1. Required School Donation: Cash
- 2. Required Park Donation: Cash

**VIII. PRIVATE FACILITIES**

- 1. Private open space and recreational facilities include: Outdoor common areas and recreational facilities and a clubhouse facility with an outdoor pool.

Which will be maintained by:     \_\_\_ The City of Naperville  
    \_\_\_ Business  
    X Other (Private Association)

- 2. Outlots and/or detention/retention facilities include (size, number and location): Detention is existing in a centrally located wet bottom basin per prior approved engineering plans.

Which will be maintained by:     \_\_\_ The City of Naperville  
    \_\_\_ Homeowners Association  
    X Other (Private Association)

- 3. Detention, retention, open space/recreation and school uses within the development:

	Private – Homeowners Association (acres)*	Public – To be Dedicated (acres)	Other (acres)*	Total (acres)
Open Space*	10.77 Acres			
a. Park Site	(See Below)			
b. Common Areas*				
c. Private Facility				
Sub-total				

School Site				
Total	43%			

\*Please Explain:

Total Open Space Allocation:

Community Club Area (excluded Building)	0.70 Ac.
Pocket Parks	0.60 Ac.
Perimeter Landscape Areas	2.74 Ac.
Interior Landscape Areas	1.95 Ac.
Detention Feature/Amenity (Central)	3.25 Ac.
Detention Feature/Amenity (SW)	1.53 Ac.

Detention Areas will be enhanced with seating/viewing areas, landscape plantings and hardscape materials.

Respectfully Submitted,  
*Rosanova & Whitaker, Ltd., Authorized Agent*

By: *V.M.R.*  
*Vincent M. Rosanova*

STATE OF ILLINOIS     )  
 COUNTY OF DUPAGE     )  
 CITY OF NAPERVILLE     )

The forgoing petition was acknowledged before me by **Vincent M. Rosanova** on the \_\_\_\_ day of February, 2012.

By: *Rosanova & Whitaker*  






**Robert E. Jeans**  
Director

**Prudential Real Estate Investors**  
8 Campus Drive, 4th Floor, Parsippany NJ 07054  
Tel 973 683-1735 Fax 973 734-1550  
robert.jeans@prudential.com

February 9, 2012

The Honorable A. George Pradel, Mayor of Naperville and  
Members of the Naperville City Council  
City Council Office  
400 S. Eagle Street  
Naperville, Illinois 60540

***Re: Lennar Multifamily Investors, LLC's Petition for Entitlements  
Related to Lots 14 & 15 in the Naperville Crossings Subdivision***

Dear Mayor Pradel and Members of the City Council:

It has recently come to my attention that Lennar is pursuing entitlements to construct an upscale apartment community consisting of 366 market rate apartments on Lots 14 and 15 in the Naperville Crossings Subdivision. I have reviewed the proposed site plan, architecture, and landscape plans and commend Lennar for proposing a quality residential product which will be a welcome addition to Naperville Crossings. As the Director of Prudential Real Estate Investors, which is the owner of the adjacent commercial properties located on Lots 2, 3, 5, and 6, I am exceedingly supportive of Lennar's proposal.

As I am sure you are aware, Naperville Crossings has had an active development history over the past seven years. Originally slated for a complimentary mix of commercial and residential development, Naperville Crossings has remained partially undeveloped and underperforming. A primary factor leading to the commercial vacancies is the fact that no residential development has occurred to support the existing retail. The introduction of the proposed residential component will certainly have a beneficial impact on the existing retail and potentially drive additional development on the vacant portions of Prudential's holdings. It is our belief that Lennar's proposed development and quality in site design and architecture will result in increased commercial activity and produce new revenue to the City of Naperville by enhancing both the City's property and retail sales tax base.

Sincerely,

A handwritten signature in blue ink, appearing to read "Robert Jeans", written over a white background.

Robert Jeans, Director  
Prudential Real Estate Investors

Rosanova & Whitaker Ltd.  
Attorneys at Law

23 W. Jefferson, Suite 200  
Naperville, Illinois 60540

630-355-4600 office  
630-352-3610 fax

www.rw-attorneys.com

March 13, 2012

Rick Trujillo, Project Manager  
City of Naperville  
400 South Eagle Street  
Naperville, Illinois 60540

**Re: *The Oaks at Naperville Crossings Development.***

Dear Mr. Trujillo,

The purpose of this letter is to summarize our development team's efforts to reach out to the surrounding property owners and other interested parties with regard to our proposed development, "The Oaks at Naperville Crossings" ("Development").

Over the past several months, our development team has met with White Eagle board member, Mike Riley on a few occasions to discuss the Development and have worked with the White Eagle Homeowners' Association which included our presentation of the Development at the White Eagle Homeowners' Association Annual meeting which was held on February 18, 2012. At the meeting, our entire team was involved with presenting and answering questions. Our attendance at the annual meeting provided us with the community's feedback, resulting in plan revisions for enhancement of the Development. Revised plans were subsequently provided to the Homeowners' Association for further review.

On March 9, 2012, our development team met with representative of the White Eagle Golf Course which led to Lennar's acceptance of an agreement to hold harmless the Golf Course for errant shots; for the Lennar to provide additional landscape treatments and buffering on Golf Course property; and for Lennar to maintain a strip of land owned by the Golf Course south of its property line at no charge to the Golf Course. In addition, I have met with the original developer of White Eagle, Paul Lehman for his insight and to obtain additional feedback.

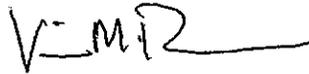
We have also discussed the project with other property owners within the Naperville Crossings development. Prudential Investors, the most impacted commercial property owner in Naperville Crossings, has reviewed the plans and has sent a letter to the Mayor and Council supporting the Development. The existing movie theatre owner and tenant AMC Theatres are also aware of, and are in support of the Development. The owner and manager of Biaggi's Restaurant, have expressed their support and expectation that the Development will have a positive effect on their business as well as Naperville Crossings overall.

We have reached out to Tall Grass representatives, Doug Haddad, Jim Shehee, and Jim Frost with an offer to discuss the proposed Development and provide the development plans, and are waiting for a response.

We have also attended meetings with the Naperville Park District, School District #204 and each member of the City Council, prior to our submission of our plans to obtain feedback in order to properly address present and future concerns.

Should you have any recommendations to further our attempts to enhance community involvement in our proposed Development, we are all ears.

Very truly yours,

A handwritten signature in black ink, appearing to read "V. M. R." followed by a long horizontal flourish.

Vincent M. Rosanova



# INDIAN PRAIRIE SCHOOL DISTRICT

---

June 1, 2012

Ms. Allison Laff  
City of Naperville  
Planning Team Operations Manager  
South Eagle Street  
Naperville, Illinois 60540

RE: Naperville Crossings by Lennar Corporation

Dear Ms. Laff,

We have reviewed Lennar Corporation's proposed plans for the above referenced development. As always, the primary concerns of the District are the estimated number of children to be generated by the project, the capacity of the schools which would serve this subdivision and the balance between estimated revenues generated vs. cost to educate the students generated from the development.

It is our understanding the developer is proposing to build 298 apartments (80 1 bedroom units; 182 2-bedroom units and 36 3-bedroom units). The developer has calculated 33.074 students would be generated from the development. It is based on this information that we analyzed the impact to District 204.

After a series of meetings between the District and Lennar Corporation representatives, we reached an understanding that the Land Cash contributions to the District for this development would be \$370,500 or \$123,500 more than determined by the city's ordinance. This increased fee amount was in an effort to compensate the District for the greater number of students anticipated from the project based on District actual experience with apartment developments.

With this understanding, the district is in support of the Naperville Crossings development.

If you have any further questions, please contact me at 630-375-3070.

Sincerely,

A handwritten signature in black ink that reads 'David A. Holm'.

David A. Holm  
Asst. superintendent for Business



DIAMOND BUSH  
DI CIANNI  
& KRAFTHEFER

A Professional Corporation  
27475 Ferry Road  
Warrenville, Ill 60555  
www.ancelglink.com

Derke J. Price  
dprice@ancelglink.com  
(P) 630.658.2612  
(F) 630.658.2611

March 30, 2012

Mr. Vincent M. Rosanova  
Rosanova & Whitaker, Ltd.  
23 W. Jefferson Street  
Suite 200  
Naperville, Illinois 60540

Re: The Oaks at Naperville Crossing

Dear Vince:

This letter will follow up on and confirm our conversation in which I informed you that the Naperville Park District has investigated the possibility private-amenity credit for the swimming pool club and facilities that your client is considering for the Oaks at Naperville Crossing development and determined that it cannot agree to any such credit. We have investigated several of the recent subdivision developments in the City of Naperville with similar swimming pool amenities and, after having reviewed the records and ordinances involved, we have determined that none of them received any credit for the swimming pool amenities.

We remain open to discussing with you and your client the dedication of land and the levels of care that your residents may receive as part of a larger discussion on the land-cash donation due under the City's Ordinance. However, at this time, we cannot concur in the request for a credit against those obligations for the swimming pool facilities.

We look forward to further dialogue about this exciting development but in the meantime, should you have any immediate comments or questions, please do not hesitate to contact me.

Sincerely,

Derke J. Price

cc: Eric Shutes

3307 Fairmont Ave.  
Naperville, IL 60564

April 4, 2012

Naperville Planning and Zoning Commission  
Council Chambers  
400 S. Eagle Street  
Naperville, IL

RE: Lennar's request rezoning of a section of Naperville Crossing

Naperville Planning and Zoning Commission:

Thank you for providing a forum to discuss our concerns.

We have lived in the Heatherstone subdivision at 3307 Fairmont Ave for 12 years. Therefore, we have been residents in our home before the construction of Naperville Crossing. We live behind the Showplace Theatre. We are here to request that you decline Lennar's rezoning request for Naperville Crossing for the following reasons.

1. Adding apartments with hundreds of residents would cause a significant safety issue for the community in the surrounding area. Since Naperville Crossing has been erected, we and our neighbors have contacted the Naperville police due to illegal and suspicious behavior countless times. Since the proposed apartments are being erected adjacent to the theatre and in area that is more remote, we believe that this will provide an ideal environment for greater illegal behavior.
2. The Naperville Crossing area is very congested now from traffic on Route 59 and 95th Street. The apartment residents will increase traffic, which includes school buses, resulting in yet more congestion. This negative travel experience can reduce the number of shoppers at the Naperville Crossing and be a cause of more traffic accidents.
3. Throughout the years, this area has not been maintained. We and our neighbors continue to contact the village regarding the lack maintenance including, excessive garbage, foul language and graffiti on the fence as well as the destruction of the fence. The fence referenced above delineates Naperville Crossing and the Heatherstone subdivision. With additional people living in apartments and additional traffic in this area, maintenance of the property and surrounding areas will be problematic.
4. We suggest rezoning this area as retail. Retail provides a more practical, cost effective use of the land. A big box retailer would attract significantly more shoppers to this area, enticing smaller retailers to the move into the unoccupied retail space in Naperville Crossing. The surrounding area could more easily be monitored by the police than a large apartment complex.

If, to our disappointment, the Naperville Planning and Zoning Commission approves Lennar's request rezoning of Naperville Crossing, we ask that you add provisions to ensure the area is attractively landscaped and maintained. We also ask that the path between the Heatherstone subdivision and Showplace be reconstructed as it dangerous to travel and extremely unsightly.

To illustrate these concerns, we have included photos of the area between Fairmont Avenue, behind the theatre as well the path between the theatre and Fairmont Ave. These photos were taken this past week on April 1, 2012. Some of the issues mentioned previously are illustrated by the photos as described below.

1. Graffiti painted on the red street signs on Fairmont Ave.
2. Graffiti and foul language painted on the fence.
3. An unsafe path between Fairmont Ave. and the theatre.
4. Garbage on the path.
5. Garbage in the retention pond, including a shopping cart.

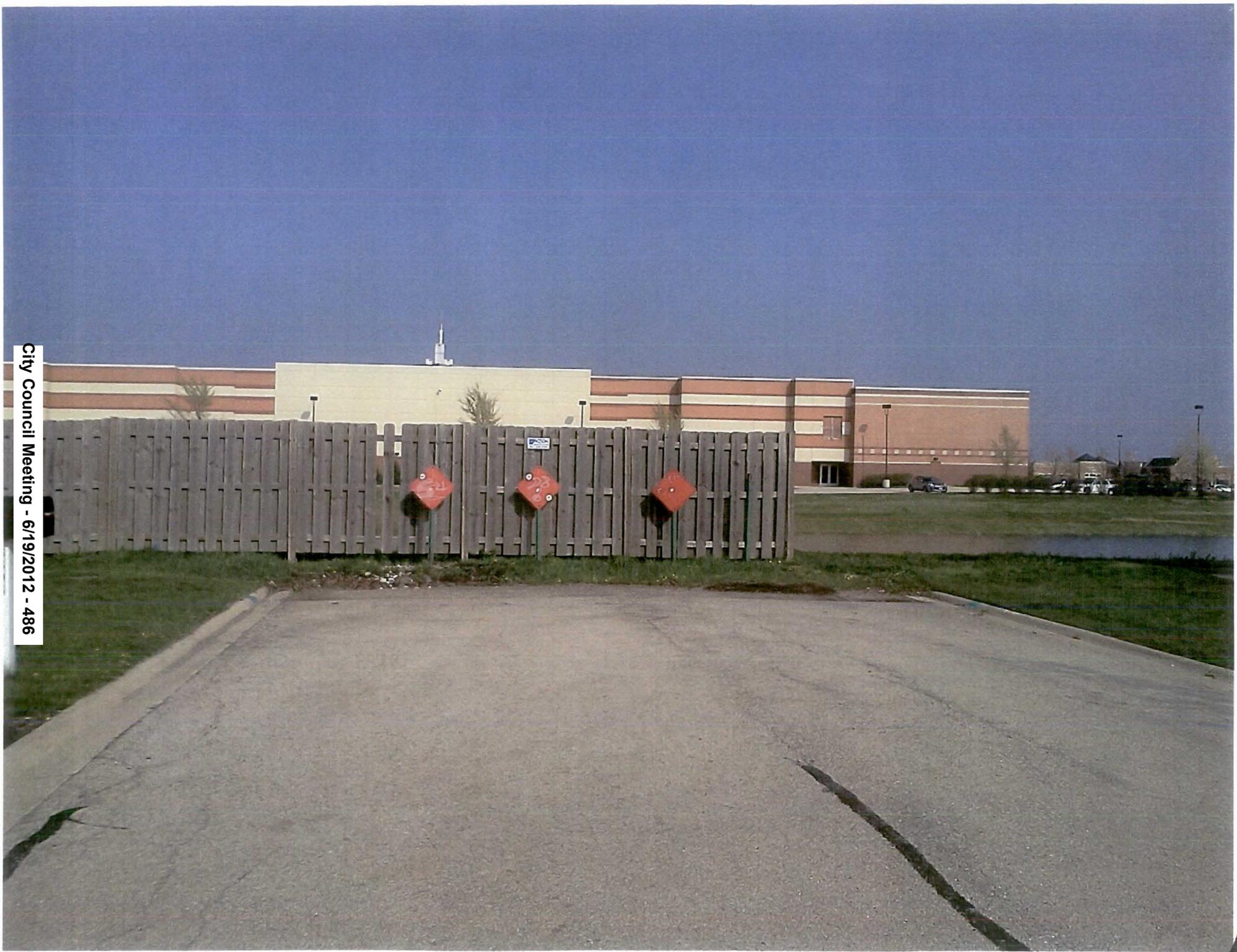
Naperville is wonderful community to be a part of and we would like you to consider our request to decline Lennar's request rezoning of a section of the Naperville Crossing. We believe you are determining the future of the quality of life for all the residences in this area and the proposed apartments will have a significant negative impact. Thank you.

Sincerely,



Don Gulotta  
Pat Gulotta  
3307 Fairmont Ave.  
Naperville, IL









City Council Meeting - 6/19/2012 - 488



City Council Meeting - 6/19/2012 - 489







City Council Meeting - 6/19/2012 - 492



**From:**

**Sent:** Thursday, April 19, 2012 11:02 AM

**To:** Urban, Anastasia; Laff, Allison

**Subject:** The Oaks pushback

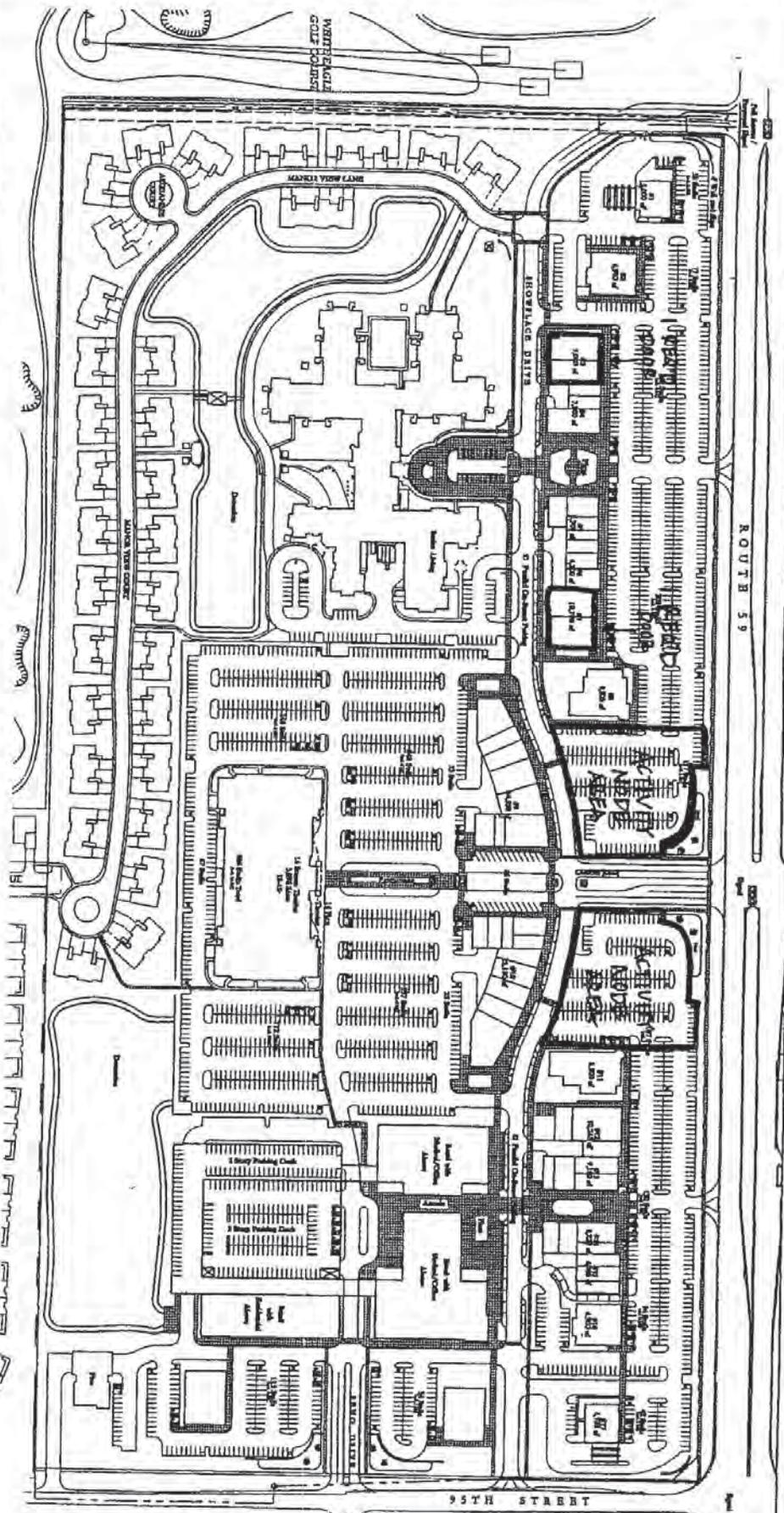
My name is Meg Phillips and I have been researching the zoning changes for The Oaks at Naperville Crossings. I was given your name in the hopes that you might be able to spread the word with your subdivision regarding the next zoning meeting to be held on Weds May 16th. We are all planning on speaking to our extreme concern regarding this zoning change from senior living and condo's to a 366 unit apartment building. In recent days we have had numerous break ins, strange people driving through our neighborhoods etc. The general consensus from the people that have spoken with me about this is; they do not want their tax dollars spent on allowing people from the city to move to Naperville so that their children can go to Naperville schools on our tax dollars. Furthermore, they are concerned this will turn in to more section 8 housing, more drug issues etc. I would appreciate it if you are in agreement, if you could pass the word for as many people as possible to attend the meeting on 5/16 at 7pm. I am hoping that as President of Tall Grass you will want to make a statement and oppose this zoning change. Please let me know.

Phillips -----Original Message----- From: Patty G  
[REDACTED] Sent: Monday, April 16, 2012 12:52 PM To: Meg F.  
Naperville Area Homeowner Confederation

R2005 211710

Area	Feet	Perch
Subdiv	3,700	77
Acres	84.2	1,920
Developer date	75	1.4
Contract area	24	0.5
Lot	187,294	4,277
Lot	144	3.2
Lot	227,294	5,160
Lot	93	2.1

Not including total road parking on adjacent lots  
Not including cross-feeding benefits



Site Plan  
Plan 35A



**Naperville Crossings** 631.616  
2007 No. 02077

**MIDAMERICA**  
DEVELOPMENT PARTNERS, LLC

**HOK ARCHITECTS + PLANNERS, INC.**  
15 SOUTH WALKER WASHINGTON HEIGHTS SUITE 6000 CHICAGO

EXHIBIT E-1a

19  
[Handwritten signature]



**NAPERVILLE PLANNING AND ZONING COMMISSION  
MINUTES OF MAY 16, 2012**

**Call to Order**

**7:00 p.m.**

**A. Roll Call**

Present: Coyne, Frost, Gustin, Bruno, Messer, Meyer, Williams  
Absent: Herzog, Trowbridge  
Student Members:  
Staff Present: Planning Team – Ying Liu, Allison Laff  
Engineering Team – Kimberly Schmidt

**C. Old Business**

**C1. PZC Case #12-1-016  
The Oaks**

The petitioner requests approval of the following for Lots 14 and 15 in Naperville Crossings:

1. A preliminary plat of subdivision to consolidate Lots 14 and 15 into one lot.
2. A rezoning from B2 (Community Shopping Center District) to R3 (Medium Density Multi-family District).
3. A major change to the Naperville Crossings Planned Unit Development and approval of a preliminary PUD plat to allow for the development of 298 multi-family dwelling units.
4. A deviation from Section 6-9-5:1 (Schedule of Off-Street Loading Requirement) to waive the off-street loading requirements.

Ying Liu, Planning Services Team, gave an overview of the request.

Vince Rosanova, Attorney with Rosanova & Whitaker, spoke on behalf of the petitioner, Lennar Multi-family Investors.

- Naperville Crossings was originally planned as a mixed-use development that has not been completed.
- The target market for the proposed development is young professionals and empty-nesters.
- The products are upscale apartments offering rents ranging from \$1,250 - \$2,000 per month.
- The apartment market of the area is underserved with only two apartment communities located south of 75<sup>th</sup> Street.
- 43% of the subject property is reserved for open space.
- The petitioner has made changes to the plans and eliminated previous requests for parking variance and height conditional use.
- Existing senior housing developments in the City are not fully occupied.
- Adjacent business owners support the proposed project.

- School buses will pick up students at the entrance of the development. The proposed streets will also provide sufficient turning radius to allow school buses to turn around if needed.
- The student generation estimated based on the City's formula is less than what the Southwest Community Area Scorecard anticipated.
- Lighting will be internal to the parking areas and will be shielded to direct lights downward. No lighting will be proposed along the west and north property lines.

Terry Smith, BSB Design, spoke on behalf of the petitioner:

- Provided an overview of the site layout, design and amenities.
- All vehicle circulations are internal to the site and would have minimal impacts on the adjacent residences.
- There is a substantial distance (about 300') between the proposed development and the closest single-family homes.
- Pedestrian connections are being provided throughout the site and to the adjacent developments. The existing path to the Heatherstone development will be maintained.

Joe Safin, BSB Design, Inc. spoke on behalf of the petitioner:

- Provided an overview of the architecture of the proposed buildings.
- The project utilizes quality materials and design.
- Architectural treatments are provided to add interests and reduce the massing of the buildings.
- The three variations of the building design are unified through the use of similar materials and design.

Geoff Roehll, Hitchcock Design Group, spoke on behalf of the petitioner:

- Provided an overview of the landscape improvements proposed for the development.
- Enhanced landscaping is being provided to the areas adjacent the White Eagle Club along the north and west property lines.
- The developer will remove the vacated gravel drive along the north lot line and provide landscaping in the area. The petitioner agrees to maintain the area which is owned by the White Eagle Club.
- There would be no lighting proposed for the pedestrian ways.

Planning and Zoning Commission inquired about

- Zoning of adjacent townhome community.
- The distance between the development and the adjacent townhomes. The petitioner indicated it is about 60'.
- The petitioner's plan for the existing path to the Heatherstone development.
- Whether maintenance of the gravel drive are formalized. The petitioner noted that the maintenance of the gravel drive has not been formalized, but the White Eagle Club has agreed to what the petitioner proposes.

- Whether the detention basin would be dry or wet.
- Whether there is any lighting for the pathways.
- Whether the development can accommodate turning movements of school buses.
- The student generation from the development as compared to the Southwest Community Area Scorecard.
- The bedroom mix of the proposed development.
- The proposed density as compared to the previously planned senior community. Rosanova indicated that the density of the proposed development is comparable to what was proposed for the senior community.
- Traffic generation of the development compared to the previous planned senior community.
- Whether the club house would be leased to other parties. The petitioner indicated no.
- The lighting design of the site.

**Public Testimony:**

Meg Phillips, a resident in the White Eagle Subdivision, spoke in opposition:

- What is the definition for “Class A Apartments”? Joe Safin, BSB Design, responded that the proposed development is considered Class A based on the amenities, design, and quality materials provided for the development.
- What determines that the community is upscale?
- What materials are used for the interior of the units?
- Whether the developer has funding to construct this project. Todd Farrell, Lennar Multifamily Investors, LLC. confirmed that the company has funding for this development.
- Senior housing is still needed in the City. Is concerned for seniors with limited resources.
- Whether the apartment units would be affordable.
- What types of security would be provided for the apartments. Rosa Rosanova indicated that the security of the area will be improved when the vacant site is developed. Lennar will provide on-site maintenance staff to monitor the property. Lennar will also offer reduced rate for law enforcement officers who in turn would patrol the property during the night.

Craig Smith, a resident in the White Eagle Subdivision, spoke in opposition:

- There wasn't sufficient notification for this development.
- The population density of the development would be greater than the previously planned age-restricted community.
- Development is good for the surrounding businesses.
- What is the trip generation rate of the development? The petitioner indicated that on average the trip generation from apartments range from

1.25-1.8 trips per unit.

- How often the trash compactor will be emptied. The petitioner responded that it will be twice a week.
- How odor of the trash compactor will be controlled.
- Whether a traffic signal is warranted at Leverenz and Route 59. Staff responded that the traffic study determines that there won't be enough traffic volume to warrant a signal at the location.
- Whether the development would cause traffic congestion. Staff indicated that the traffic study determines that the existing roadway system would be sufficient to handle the traffic generated.
- Is concerned with the influx of students to the School District.
- The estimated occupancy rate for the development. The petitioner responded that the occupancy rate for the development is estimated to be 94%.
- The proposed development would draw buyers away from White Eagle Club.
- Believes the estimates for student generation and traffic are low.

Kevin Reed, Manager of the Biaggi's restaurant, spoke in support:

- There has been very little growth in the Naperville Crossings development. The proposed development would bring positive growth to the area.
- The current vacant site is a safety concern.

Ted Brockman, Owner of Massage Envy, spoke in support:

- Many storefronts in the Naperville Crossings development are still vacant.
- The development would fulfill the needs for rental properties and promote growth in the area.
- Traffic is not a concern. The apartment peak hour in the morning doesn't coincide with the business and in the afternoon, there are multiple ways to access the businesses.
- The current proposal is more appropriate compared to the previous senior development.

Audrey Clair, a resident in Naperville, spoke in opposition:

- Requests that a more in-depth look at the proposal to be done.
- What is the maximum density allowed in R3.
- Suggests that the developer work with Pace to provide a bus stop for the development.
- Whether the development would adhere to the Scorecard.
- Whether the developer is interested in Section 8 housing. The petitioner indicated no.
- The reasons why the developer removed the 4 story buildings.
- Requests that the developer remove the 3-bedroom apartments from the development.

Nikolas Zanalagos, a resident in the White Eagle Subdivision, spoke in opposition:

- Is concerned about the quality of the project and that it would not stand the test of time.
- Apartments create security and safety concerns and bring criminal activities and drugs.
- Is concerned that the residents in the apartments would be able to see his backyard.
- Is concerned that the development will devalue his property.
- He was not notified of the development proposal.

Phil Asuna, a resident in the White Eagle Subdivision, spoke in opposition:

- Is concerned about the impact of the development on adjacent home value.
- What is the closest distance between the development and the White Eagle homes?
- What would be the anticipated median income for the renters? The petitioner indicated that a pre-qualification of the renters is that their income shall be at least three times of the rent.

Adam Fercel, ECF Properties, spoke representing Prudential:

- The existing vacancy of the development is a direct result of the rest of the development being incomplete.

Petitioner responded to testimony:

- Outlined the outreach efforts that the petitioner made to the surrounding property owners.
- A fence exists between this development and White Eagle. In addition, landscaping will be provided to create additional buffer between White Eagle and the businesses and Route 59.

Planning and Zoning Commission inquired about

- Noted that Naperville has a crime-free multi-housing program.
- Whether there is a fence between the development and White Eagle.

Planning and Zoning Commission closed the public hearing.

**Planning and Zoning Commission Discussion:**

- Coyne – The project adds variety to the housing stock and would help the surrounding business owners.
- Frost – The project is well-designed and fits the surrounding area. While Frost is sensitive to the concerns voiced, he feels that the fence and the landscaping would provide a buffer.
- Bruno – Agrees with the reduced height and density. Believes that apartments are needed in the community and a significant number of jobs

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will be created by this development. Is concerned with traffic generation. But all things considered, will support the project.

- Gustin – Initially not in favor of the project. But likes the changes that have been made. Hopes in the future that more outreach efforts can be done between the petitioner, subdivisions and their residents. Concerned with the circulation of school buses.
- Messer – In support of it. Concurs with the reduced height and density. Is slightly disappointed with the loss of senior housing. Hope that the petitioner considers the Pace stop suggestion.
- Meyer – Likes the changes that have been made. Is concerned with whether school buses can go in the development and believes the development will generate more students than what is estimated. Will support the development.
- Williams – Will support the project. Commends the petitioner and audience for the level of cooperation exhibited. Agrees with the reduced density and height. Believes the testimony of the petitioner that the project would stand the test of time.

Planning and Zoning Commission moved to recommend approval of the following for Lots 14 and 15 in Naperville Crossings:

1. A preliminary plat of subdivision to consolidate Lots 14 and 15 into one lot.
2. A rezoning from B2 (Community Shopping Center District) to R3 (Medium Density Multi-family District).
3. A major change to the Naperville Crossings Planned Unit Development and approval of a preliminary PUD plat to allow for the development of 298 multi-family dwelling units.
4. A deviation from Section 6-9-5:1 (Schedule of Off-Street Loading Requirement) to waive the off-street loading requirements.

Motion by: Meyer  
Seconded by: Messer

Approved  
(7 to 0)