



**NAPERVILLE PLAN COMMISSION  
COUNCIL CHAMBERS – MUNICIPAL CENTER  
FINAL AGENDA  
08/18/2010 - 7:00 PM**

**CALL TO ORDER:**

**A. Roll Call**

**B. Approve Minutes**

1. Approve the minutes of the July 7, 2010 Plan Commission meeting.

**C. Old Business**

**D. Public Hearings**

1. PC Case # PC 10-1-094 Residential, Office and Limited Commercial (ROLC) Zoning District  
Location: N/A

Request: Conduct the public hearing and recommend that City Council direct staff to prepare the ordinance amending the Naperville Municipal Code to create the Residential, Office and Limited Commercial (ROLC) Zoning District.

Official Notice: Published in the Naperville Sun on July 28, July 30 and August 5, 2010

2. PC Case # PC 10-1-078 Water Street Development  
Petitioner: MP Water Street District, LLC  
Location: Water Street District is bounded by Aurora Avenue on the south, the DuPage River on the north, Main Street on the east, and Webster Street on the west

Request: Conduct the public hearing and recommend the City Council approve the Water Street Development including approval of the final plat of subdivision, final plat of PUD, conditional use for a hotel, a street graphics deviation, and a setback deviation to Section 6-7E-7 (Yard Requirements for the B5 Zoning District).

**AGENDA**  
**NAPERVILLE PLAN COMMISSION**  
**08/18/2010 - 7:00 PM - COUNCIL CHAMBERS**  
**Page 2**

Official Notice: Published in the Naperville Sun on August 3, 2010

- E. Reports and Recommendations**
- F. Correspondence**
- G. New Business**
- H. Adjournment**

**Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the Accessibility Coordinator at least 48 hours in advance of the scheduled meeting. The Accessibility Coordinator can be reached in person at 400 S. Eagle Street, Naperville, IL., via telephone at 630-420-6725 or 630-305-5205 (TDD) or via e-mail at [manningm@naperville.il.us](mailto:manningm@naperville.il.us). Every effort will be made to allow for meeting participation.**



**NAPERVILLE PLAN COMMISSION  
DRAFT MINUTES OF JULY 7, 2010\***

**Call to Order**

**7:00 p.m.**

**A. Roll Call**

Present: Trowbridge, Messer, Herzog, Meyer, Meschino, Sterlin, Gustin, Acting Chair  
Edmonds

Absent:

Staff Present: Planning Team – Thorsen, Liu

**B. Minutes**

Approve the minutes of June 16, 2010

Motion by: Herzog  
Second by: Trowbridge

Approved  
(8 to 0)

**C. Old Business**

None

**D. Public Hearings**

**D1. TST  
Distributors  
PC Case # 10-1-065**

Conduct the public hearing to approve a conditional use for a motor vehicle service garage in the I (Industrial) District at 1661 Quincy Avenue, Suite 171.

Ying Liu, Planning Services Team, gave an overview of the request.

Len Monson, attorney on behalf of the petitioner, gave an overview of the use.

- TST Distributors requests a conditional use for a motor vehicle garage in the I (Industrial) District.
- The property is located in an industrial area and the proposed use is consistent with the two auto service uses within the existing building.
- The use will support local car dealerships and will not accommodate walk-in/retail customer traffic.
- Existing parking is ample to support the proposed use.

Plan Commission discussed:

- Excess parking spaces available on the subject property and the low employee and customer parking demand of the proposed use.

Plan Commission closed the public hearing.

\*Note: Audio/Video recording of this meeting is not available.

**Page: 2 - Agenda Item: B.1.**

Naperville Plan Commission  
July 7, 2010  
Page 2 of 2

Plan Commission moved to recommend approval of PC 10-1-065, TST Distributors, to approve a conditional use for a motor vehicle service garage in the I (Industrial) District at 1661 Quincy Avenue, Suite 171 all in accordance with the staff memorandum of July 7 and the petitioner's presentation.

Motion by: Trowbridge  
Seconded by: Gustin

Approved  
(8 to 0)

Ayes: Trowbridge, Messer, Herzog, Meyer, Meschino,  
Sterlin, Gustin, Acting Chair Edmonds  
None

**E. Reports and  
Recommendations**

**F. Correspondence**      None

**G. New Business**      The Plan Commission meeting scheduled for July 21, 2010 is cancelled.

**H. Adjournment**      7:11 p.m.



# Naperville

## PLAN COMMISSION AGENDA ITEM

**PC CASE:** 10-1-094 **AGENDA DATE:** 8/18/2010  
**SUBJECT:** Residential, Office and Limited Commercial (ROLC) Zoning District  
Petitioner: City of Naperville

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**LOCATION:** The proposed ROLC Zoning District would be considered for properties as rezoning is requested pursuant to Plan Commission review, public hearing, and City Council approval.

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Correspondence      New Business      Old Business      Public Hearing

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**SYNOPSIS:**  
The proposed ROLC Zoning District is designed primarily for residential and office uses with accommodations for limited neighborhood commercial and service businesses. Areas zoned ROLC would serve as a transition between residential neighborhoods and intensive commercial areas and/or arterial roadways.

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**PLAN COMMISSION ACTION PREVIOUSLY TAKEN:**

| Date | Item | Action |
|------|------|--------|
| NA   |      |        |

**ACTION REQUESTED/RECOMMENDED THIS MEETING:**  
Conduct the public hearing.

**PREPARED BY:** Amy Emery, AICP, Community Planner

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**RELATIONSHIP TO OFFICIAL PLAN OF THE CITY OF NAPERVILLE:**

The concept of a mixed-use area to accommodate residential, office and limited commercial uses was first introduced with the *75<sup>th</sup> Street Corridor Study* (adopted November 2008). The *75<sup>th</sup> Street Corridor Future Land Use Map* delineates 13 properties on the south side of 75<sup>th</sup> Street near the intersection with Wehrli Road for ROLC uses. The *75<sup>th</sup> Street Corridor Study* did not require the development of a new Zoning District to accommodate the ROLC area noted in that plan. Rather, the *75<sup>th</sup> Street Corridor Study* indicates that ROLC land uses could be accommodated by individual parcel zoning to R2 (Single-Family and Low Density Multiple-Family), B1 (Neighborhood Commercial), and OCI (Office, Commercial, Institutional) Districts depending on the nature of the development request.

Earlier this year, the Plan Commission provided City Council with recommendations for the *Plank Road Study*. Those recommendations included an area to accommodate ROLC uses

situated north of Plank Road, immediately west of Naper Boulevard, and directly south of Ogden Avenue (Sub-Area 4). The ROLC land use area would serve as a transition zone between major arterial roadways (Ogden Avenue and Naper Boulevard), non-residential uses (e.g. intensive commercial along Ogden Avenue) and outlying single family neighborhoods. City Council delayed action on this particular recommendation until a ROLC Zoning District was prepared for their consideration.

**PLANNING SERVICES TEAM REVIEW:**

The proposed ROLC Zoning District has been drafted pursuant to City Council direction. The application of the ROLC Zoning District to various areas within the City is *not* being considered under the current case. This discussion previously occurred with the *75<sup>th</sup> Street Corridor Study* and the *Plank Road Study*. The Plan Commission's current review will focus on the proposed ROLC district, which includes sections describing intent, permitted and conditional uses, and bulk requirements (setback, height, etc.).

The proposed ROLC Zoning District is unique. It combines the lowest-intensity uses permitted in the Neighborhood Commercial (B1) and Office, Commercial, Institutional (OCI) Zoning Districts with residential uses in order to successfully implement recommendations associated with ROLC areas described initially in the *75<sup>th</sup> Street Corridor Study*. Neither the B1 nor OCI Zoning Districts allow residential uses as of right. Moreover, neither the B1 nor OCI Zoning Districts require use of a Planned Unit Development (PUD).

What follows is an analysis of the proposed requirements for Plan Commission's consideration; a copy of the proposed ROLC District regulations is included as Attachment 1.

*Permitted Uses*

The proposed ROLC Zoning District permits only residential uses by right. This is consistent with the purpose of the district to permit uses by right which are known to be in harmony with adjacent single-family residential neighborhoods. The Naperville Municipal Code and Comprehensive Master Plans repeatedly recognize the synergy between and compatibility of adjacent residential uses of varying forms (e.g. single-family detached, duplexes and townhomes) and density. Residential development can offer a successful transition in intensity of land use. For example, a townhome or duplex development between commercial and single-family residential areas acts as a transition between those uses.

*Conditional Uses*

The ROLC Zoning District would also allow home-to-office conversions or residentially-styled office buildings of limited size as a conditional use. Additional requirements are provided within the "Required Conditions" sub-section of the regulations to ensure visual and functional compatibility with nearby residential areas. Offices are a common transition between commercial uses and outlying single-family neighborhoods. Iroquois Commons (office park on Iroquois Avenue, south of Ogden Avenue) is an example of this type of transition.

Any other non-residential use proposed for an area zoned ROLC must be part of a planned unit development. The different types of non-residential uses that may be permitted were selected in accordance with the district's overall intent to be neighborhood-serving (vs. a regional or

*ROLC Zoning District  
August 18, 2010  
Page 3 of 4*

destination use). It is important to note that general retail uses (e.g. stores selling merchandise as their primary purpose) are not permitted.

The proposed ROLC Zoning District accommodates the following commercial and service uses if part of a planned unit development, approved by a conditional use, in compliance with the conditions noted in the ordinance:

- Banks and financial institutions
- Commercial service establishments (e.g., beauty shops/salons; dry cleaning; health spas; florists; studios/galleries, etc.)
- Dine-in eating establishments, including outdoor cafes
- Nursery schools, preschools, daycare centers and student learning centers
- Public assembly uses (e.g. churches)
- Specialty food establishments (e.g. bakery, butcher and produce market, coffee shop, ice cream shop, carry-out establishments and the like).
- Training studio

#### *Required Conditions*

The proposed ROLC Zoning District includes several conditions to ensure compatibility among the different uses allowed within the district. Furthermore, the conditions support the stated intent of the proposed ROLC Zoning District to serve as a transition between intensive uses (e.g. intensive commercial areas / arterial roadways) and outlying residential neighborhoods. Conditions include:

- Restrictions on building square footage to accomplish an open, campus design;
- Architectural designs that favor residential characteristics, regardless of use proposed
- Extensive landscape screening;
- Restrictions on parking areas, service loading locations, and placement of any drive thru lanes areas; and
- Restrictions on any amplification to mirror residential standards for noise.

It should also be noted that any ROLC use proposed would be required to comply with current parking requirements contained in the Naperville Municipal Code. In addition, a comprehensive amendment to the sign code is anticipated in 2011 to include refinements to signage requirements for home-to-office conversions, transitional use, and if approved by City Council, the ROLC Zoning District.

#### *Bulk Restrictions*

The setback, height and area requirements proposed for the ROLC Zoning District are based upon:

- An assessment of setbacks and height requirements for districts within the Naperville Municipal Code. The setbacks proposed complement existing standards for residential and non-residential uses.
- Case studies to ensure that proposed requirements can accommodate development with all required landscaping, parking, stormwater and open space improvements.

*ROLC Zoning District*

*August 18, 2010*

*Page 4 of 4*

*Future Applicability of ROLC*

If approved by the City Council, the ROLC Zoning District will become part of the Naperville Municipal Code. As such, property owners may apply for the ROLC zoning, typically in conjunction with an annexation or development proposal. No City initiated rezoning is proposed in conjunction with the ROLC district adoption.

*August 4, 2010 Open House*

An open house was held on August 4, 2010 to provide the public an opportunity to review the proposed ROLC Zoning District and share their comments and ideas. Approximately 25 people attended the open house. Copies of written comments received at the workshop and a summary of frequently asked questions are included as Attachments 2 and 3 of this memo. Based on the feedback received, the ROLC Zoning District presented to the Plan Commission now includes:

- An expanded statement of intent;
- Size limitations for individual non-residential uses; and
- Elimination of general retail as an allowable non-residential use (either permitted or conditional).

*Summary*

The proposed ROLC Zoning District provides for a mix of land uses, with special approvals required for any non-residential use proposed. Setbacks, height, and area requirements for the ROLC Zoning District are based on residential standards to limit intensity and impact on residential areas. Staff supports development of a ROLC Zoning District to implement the recommendations contained within recent updates to the Comprehensive Master Plan.

**ATTACHMENTS:**

1. Proposed ROLC Zoning District – PC 10-1-94
2. ROLC Written Comments Received at August 4, 2010 Open House – PC 10-1-94
3. ROLC FAQ from August 4, 2010 Open House – PC 10-1-94

## Residential, Office, Limited Commercial (ROLC)

### INTENT:

The intent of the Residential, Office, Limited Commercial (ROLC) District is to accommodate transitions in scale and land use between higher intensity infrastructure or land use areas and adjacent residential neighborhoods as identified in the "Residential, Office, Limited Commercial" segments of the 75<sup>th</sup> Street and Plank Road Study updates to the Comprehensive Master Plan. The ROLC District is most effective when anchored by residential and/or office uses. Low-intensity neighborhood-serving commercial and service uses designed to support the needs of established residential and office populations may be approved as well. The ROLC District provides flexibility for future development while remaining sensitive to adjoining neighborhoods in form, scale and appearance. Intensive and destination retail uses, such as regional shopping centers or drive-through restaurants, shall not be permitted.

### PERMITTED USES:

No building, structure, or parcel of land shall be used and no building or structure shall be erected, altered, or enlarged which is arranged, intended, or designed for other than one of the following uses:

1. Any permitted use in the R1A district
2. Two-family dwellings
3. Multiple-family dwellings

### CONDITIONAL USES:

The following conditional uses may be permitted in specific situations in accordance with the procedures outlined in Section 6-3-8 and Chapter 4 of this Title, as appropriate:

1. Offices - business or professional; medical or dental; veterinary
2. Planned unit development. A planned unit development may include any of the following uses or a combination thereof:
  - a. Any permitted or conditional use in the ROLC district
  - b. Banks and financial institutions
  - c. Commercial service establishments<sup>1</sup>
  - d. Eating establishments, including outdoor cafes

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#### <sup>1</sup> DEFINITION:

Commercial Service Establishment: an establishment which provides services for occupants of nearby community areas. Commercial service establishments provide work or goods onsite for a fee, and include barbershops; beauty shops/salons; dry cleaning; health spas; massage establishments; tailor shops; tuxedo rental, nail salons, small appliance repair, florists; studios/galleries and the like. Commercial service establishments do not include gas stations, car washes and automobile repair stations.

- e. Nursery schools, preschools, daycare centers and student learning centers
  - f. Public assembly uses<sup>2</sup>
  - g. Specialty food establishments<sup>3</sup>
  - h. Training studios
  - i. Other uses which are of the same general character as the above uses as determined by the zoning administrator.
3. Public and private utility facilities

REQUIRED CONDITIONS:

The following conditions shall be required of all non-residential uses established within the ROLC district, unless otherwise noted:

1. Any non-residential building (single or multiple tenant) shall have a footprint no larger than 8,000 square feet to accomplish an open, campus design.
2. Buildings shall comply with the City of Naperville's Building Design Guidelines, and additionally shall possess residential design characteristics (e.g., pitched roof, limited building footprint). For nonresidential and mixed-use buildings, masonry shall be the predominant building material. All buildings shall avoid the appearance of exterior monotony through varied rooflines or roof styles, varying façade designs, and other architectural elements.
3. Screening at opacity of 100% shall be provided along the rear lot line of properties abutting existing residential use, including fence and landscape screening as provided in Section 5-10 of this Title.
4. The use shall be conducted completely within the building or structure in which it is located. Outdoor dining areas and outdoor play areas (associated with a preschool or daycare center) are excluded from this provision.
5. There shall be no outside display of goods or outside storage of equipment or materials.

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<sup>2</sup> DEFINITION:

Public Assembly Uses: non-commercial uses, which are operated on a not-for-profit basis such as clubs/lodges, religious uses, trade or vocational schools, colleges/universities, community centers, performing arts center, civic buildings and cultural institutions.

<sup>3</sup> DEFINITION:

Specialty Food Establishment: a limited service establishment that offers specialty snack and food products or nonalcoholic beverages, including bakeries, butcher and produce markets, coffee shops, ice cream shops, carry-out establishments and the like. The specialty nature derives from a combination of some or all of the following qualities: uniqueness, exotic origin, particular processing design, limited supply, unusual application or extraordinary packaging. Specialty Food Establishments do not include full-service, cafeteria or fast food restaurants or grocery stores.

6. No exterior amplification shall be permitted. Noise at the property line shall be measured in accordance with the residential standard established in Section 6-14 of this Code.
7. Parking shall be provided in accordance with the provisions of Chapter 9 of this Title; provisions for cross-access and shared driveways shall be made so as to reduce the driveways accessing rights-of-way.
8. Parking facilities shall not be located in any required front or corner side yard.
9. Loading shall not occur on a primary façade, defined as that which abuts primary customer access.
10. Drive-through lanes for financial institutions, banks, drycleaners and the like shall be limited to a single lane. Drive-through uses may only locate on properties with major arterial frontage. Drive-through lanes must be oriented along a side or rear yard.

**AREA REQUIREMENTS:**

The required lot area in the ROLC district shall be as follows:

1. Single-family detached dwellings and duplexes: Six thousand (6,000) square feet per lot.
2. Single-family attached dwellings: There shall be no minimum lot area for single-family attached dwellings, provided that there shall not be more than eight (8) dwelling units per acre on a modified gross density basis.
3. Primary and secondary schools: Seven (7) acres.
4. All other permitted and conditional uses: None.

**LOT WIDTH REQUIREMENTS:**

The minimum lot width, at the front yard line, in the ROLC district shall be as follows:

1. Single-family detached dwellings, two-family dwellings and duplexes, and multi-family dwellings: Fifty (50) feet.
2. All other permitted and conditional uses: None.

YARD REQUIREMENTS:

1. The minimum yard requirements in the ROLC district shall be as follows:

|                     |  |
|---------------------|--|
| Front yard          | 20 feet  |
| Interior side yard: | 8 feet   |
| Corner side yard    | 20 feet  |
| Rear yard           | None if the rear lot line abuts property located in a business district<br><br>15 feet if the rear lot line of the ROLC district coincides with the side or rear lot line of property located in a residential district. |

2. Parking shall not be located in any required front or corner side yard; in all other required yards, parking must be set back a minimum distance of 5' from the property line.

HEIGHT LIMITATIONS/BULK REGULATIONS:

1. The maximum height for all buildings and structures in the ROLC district shall not exceed forty (40) feet.

Written Comments Received  
August 4, 2010 ROLC Open



The following written comments were submitted specific to the “Residential, Office, and Limited Commercial” (ROLC) zoning district prepared by city staff for public review and comment at the August 4, 2010 Open House:

- Do not really understand the need for another zoning category if Naperville already has more than 20! As far as combining residence and limited commercial, they really shouldn't. Category is too broad.
- Please prohibit use by EPA regulated businesses (i.e. drycleaners, gas stations, etc.).
- PUD c. General Retail. Please define.
- I believe the ROLC designation is a great idea for this area. Local residents, as is common, do not embrace change readily.
- Why not separate R out of ROLC and just make the zoning OLC?
- Put into the new code certain things that CANNOT be considered, such as ANY commercial with strong EPA overview (i.e. gas stations, dry cleaners, auto remodeling shops, etc.)
- Separate “OLC” from “R”. The additional restrictions and process for “Conditional Uses” are good, but why mix this with residential? These would be cleaner in situations where multiple landowners are involved.
- Require an overall “worst case” traffic study for an entire area recommended as ROLC. Incremental studies as each property develops have proven ineffective in the past.
- Good. ROLC is good for neighborhood land values will increase.
- I think that residential should be removed from the ROLC. Deal with OLC and R separately
- Even clearer description of the ROLC envisioned – there is much talk of having a “self-contained” development – but it is not stated on the displays.

ATTACHMENT 2

The following additional comments were made specific to sub-areas 3 and 4 of the Plank Road Study Area and recommendations currently under consideration by City Council:

- I would like to see a traffic study done by the Transportation Department which evaluates the impact on the Plank Road Study Area and Ogden Avenue / Naper Boulevard of:
  - 1) The most intensive proposal for Plank Road Study (including the least intensive ROLC use) ALONG WITH the least intensive proposal for development of Seager Park;
  - 2) The most intensive proposal for each of these two (Plank Road and Seager Park).

The results of this study should guide the decision on the ROLC proposal for Plank Road.

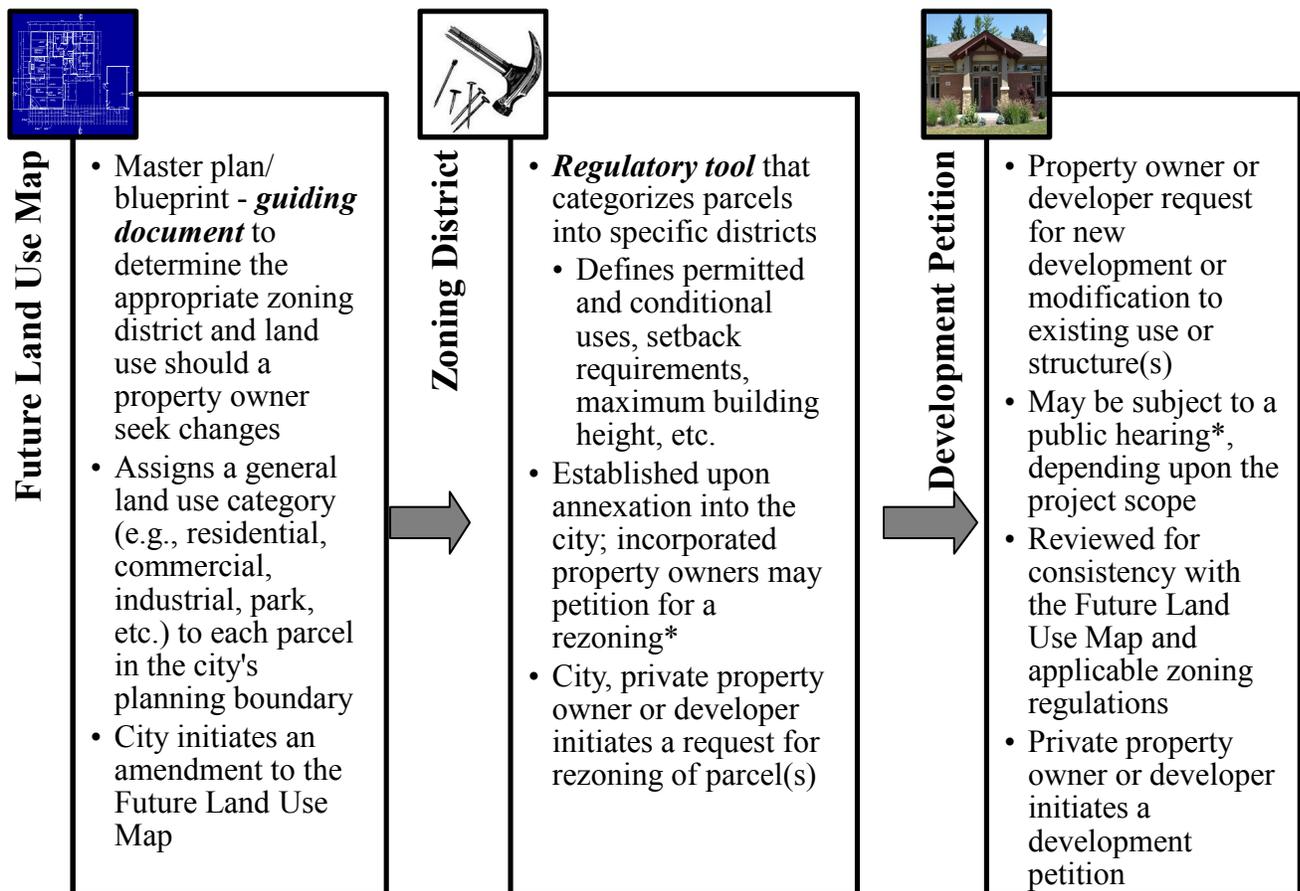
- Low density residential only for sub-areas 3&4
- Low density residential only for sub-areas 3&4
- Leave sub-areas 3& 4 R = residential only
- Feel this zoning should remain residential
- Leave it R = residential only
- I have a home in sub-area 4 on Tuthill Road and concerning ROLC, I am against any commercial development, but I could accept office. I think the area should stay residential. I hope medium density will NOT be allowed and that you will keep the area low density. Medium density is too high for the area. Please do not allow duplexes. The traffic in sub-areas 3 & 4 is bad right now. I wonder if this new zoning is passed how will the residents of the area enter and exit the streets they live on.
- Biggest concern for traffic impact on Tuthill and Plank and Burlington Roads. No access to Naper Boulevard to afford ability to avoid entering from residential streets.
- Be more specific in zoning sub-area 3. [Individual land uses should be recommended not a mixed concept like ROLC]
- Access to Naper Boulevard needed for any commercial uses along Naper.



The City of Naperville hosted a public open house on Wednesday, August 4, 2010, to present the draft Residential, Office and Limited Commercial (ROLC) zoning district, including permitted and conditional uses, setbacks and area requirements. Approximately 25 people attended the open house. During the meeting, city staff presented an overview of the draft zoning district. Following the presentation, meeting participants were encouraged to review the draft zoning district requirements in an open house format. Representatives from the city were available to answer questions and accept comments. The following provides a summary of questions received throughout the meeting, with responses prepared by city staff. Please note that this information is not intended to be an exhaustive list of each question received, but rather a summary of questions applicable to the proposed ROLC Zoning District.

*Q. Please clarify the differences between a future land use map, a zoning district and a development petition?*

A. The following provides an overview of the purpose of a future land use map, a zoning district and a development petition. Residents, developers, city staff, the Plan Commission and City Council utilize the future land use map and zoning district regulations in tandem to evaluate development petitions in the city.



\* Subject to City Council approval.

[Click here](#) to obtain a copy of the City of Naperville Future Land Use Map. [Click here](#) to view the City of Naperville Zoning Map. For more information on the City of Naperville Zoning Ordinance, please reference Title 6 (Zoning Regulations) of the Naperville Municipal Code (<http://www.naperville.il.us/municipalcode.aspx>).

*Q. What is meant by the term “Commercial Service Establishment”?*

A. Commercial service establishment is defined as an establishment which provides services for occupants of nearby community areas. Commercial service establishments provide work or goods onsite for a fee, and include barbershops; beauty shops/salons; dry cleaning; health spas; massage establishments; tailor shops; tuxedo rental; nail salons; small appliance repair; florists; studios/galleries and the like. Commercial service establishments do not include gas stations, car washes and automobile repair stations.

*Q. What is meant by the term “Specialty Food Establishment”?*

A. Specialty food establishment is defined as a limited service establishment that offers specialty snack and food products or nonalcoholic beverages, including bakeries, butcher and produce markets, coffee shops, ice cream shops, carry-out establishments and the like. The specialty nature derives from a combination of some or all of the following qualities: uniqueness, exotic origin, particular processing design, limited supply, unusual application or extraordinary packaging. Specialty food establishments do not include full-service, cafeteria or fast-food restaurants or grocery stores.

*Q. I noticed the original draft ROLC Zoning District displayed at the August 4 Open House listed “General Retail” as one of the commercial and service uses allowed if part of a planned unit development (approved as a conditional use); however, the current draft does not include this use.*

A. Based on public input received to-date, “General Retail” has been removed from the ROLC Zoning District; “General Retail” is no longer an allowable use in the proposed ROLC District (either permitted or conditional).

*Q. How does the City of Naperville evaluate potential traffic impacts?*

A. The City of Naperville has a transportation model that is used to evaluate potential traffic impacts on the existing and future roadway network, and plan for future roadway improvements. The transportation model includes the roadway network bounded by Butterfield Road, I-355, I-55, 135th Street and Eola/Heggs Road.

The transportation model includes an analysis of “existing” and “future” traffic conditions on area roadways. The analysis of “existing conditions” includes the existing street network, existing land uses, and traffic count data. The analysis of “future conditions” projects future traffic volumes and travel patterns based on future land use assumptions derived from the Comprehensive Master Plan Future Land Use Map. Traffic and land use assumptions are based upon a 20 year time horizon. Based on the future traffic volumes and roadway capacity analysis, potential road and intersection improvements are identified and programmed accordingly.

The city's transportation model utilizes the Comprehensive Master Plan Future Land Use Map to project future traffic volumes and travel patterns on area roadways. In the event that the city receives a development petition for a land use or density inconsistent with the Future Land Use Map, the city may require a traffic study for the proposed development. A traffic study may also be required for development petitions involving a request for rezoning, conditional use and/or a new roadway or driveway configuration. Large-scale development petitions (e.g., regional shopping center) would also require a traffic study.

Traffic studies are prepared in accordance with assumptions, methodology and procedures approved by the City of Naperville and Institute of Transportation Engineers (ITE). Traffic studies evaluate potential traffic impacts associated with a proposed development. Vehicle trip generation, site access, and roadway and intersection traffic volumes are evaluated through the traffic study. City staff reviews traffic study assumptions and methodology for compliance with all city requirements. Traffic studies are also reviewed to determine whether potential impacts were identified through the analysis. In the event that potential impacts are identified, city staff will review potential mitigation measures to address the traffic impacts.

*Q. What is the next step in the process for preparing the ROLC district?*

A. The city is accepting public comments on the draft ROLC district. The draft ROLC Zoning District, along with public comments, will be forwarded to the Plan Commission for their consideration on Wednesday, August 18, 2010 at 7 p.m. in City Council Chambers at the Naperville Municipal Center, 400 S. Eagle Street. The public will have an opportunity to provide comments on the draft ROLC Zoning District during the Plan Commission meeting; written comments will also be accepted. More information on the Plan Commission meeting will be posted to the project Web page as it becomes available ([www.naperville.il.us/ROLC.aspx](http://www.naperville.il.us/ROLC.aspx)).

The Plan Commission recommendation on the draft zoning district will be forwarded to City Council for their consideration at future meeting (date to be determined).

*Q. Where can I find the most current information on the proposed ROLC Zoning District?*

A. Current information is available on the ROLC Zoning District project Web page, visit [www.naperville.il.us/ROLC.aspx](http://www.naperville.il.us/ROLC.aspx). The site will be updated with new information as it becomes available. If you would like to receive e-mail updates, please [click here](#) to sign-up to receive the city's e-newsletter for the proposed ROLC Zoning District.

*Q. What will the Plan Commission review on August 18, 2010?*

A. The Plan Commission will consider the draft ROLC Zoning District on Wednesday, August 18, 2010 at 7 p.m. in City Council Chambers at the Naperville Municipal Center, 400 S. Eagle Street. The Plan Commission public hearing will focus on the content of the proposed zoning district, including the permitted and conditional land uses, setbacks, height limitations and area requirements. The Plan Commission will not consider application of the zoning

district to specific parcels of land, nor will the Plan Commission consider the future land use recommendations for parcels within the Plank Road Study.

Public testimony will be accepted during the August 18 Plan Commission meeting. Public testimony should focus on the content of the proposed zoning district; testimony regarding the applicability of the zoning district to specific parcels of land (e.g., Sub-Area 3 of the Plank Road Study) should be provided at a later City Council meeting (date to be determined). Following public testimony, the Plan Commission will make a recommendation on the proposed ROLC Zoning District. The Plan Commission recommendation, along with public testimony, will be forwarded to City Council for consideration (meeting date to be determined).

Following their review of the ROLC Zoning District, the City Council will revisit portions of the Plank Road Study (anticipated Fall 2010). Public testimony regarding use of the ROLC future land use designation in Sub-Areas 3 and 4 of the Plank Road Study will be accepted during this future City Council meeting.

*Q. How do I share comments I have about the Plank Road Study recommendations?*

A. On June 1, 2010, the City Council approved the Plank Road Study, excluding the recommendations for Sub-Areas 3 and 4 (areas northwest and southwest of the intersection of Plank Road/Naper Boulevard). During consideration of the Plank Road Study, City Council directed staff to develop a ROLC Zoning District; City Council will revisit portions of the Plank Road Study following their consideration of the proposed ROLC District (anticipated Fall 2010).

In advance of the City Council meeting, public comments regarding the Plank Road Study recommendations for Sub-Areas 3 and 4 may be submitted in writing to:

Amy Emery, AICP  
Community Planner  
City of Naperville  
400 S. Eagle Street  
Naperville, IL 60540  
Email: [emerya@naperville.il.us](mailto:emerya@naperville.il.us)  
Fax: (630) 420-6657

A copy of all written public comments regarding the Plank Road Study recommendations will be forwarded to City Council when they revisit portions of the Study later this year. Public testimony regarding the Plank Road Study recommendations will also be accepted during the future City Council meeting (date to be determined). The Plan Commission will not consider the Plank Road Study on August 18; the Plan Commission provided a recommendation on the Plank Road Study on April 21, 2010. A video of the Plan Commission meeting is available on the city's Web site, visit [http://naperville.granicus.com/ViewPublisher.php?view\\_id=2](http://naperville.granicus.com/ViewPublisher.php?view_id=2).



# Naperville

## PLAN COMMISSION AGENDA ITEM

**PC CASE:** 10-1-078 **AGENDA DATE:** 8/18/2010  
**SUBJECT:** Water Street  
 Petitioner: MP Water Street District, LLC

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**LOCATION:** The subject site is located in the Water Street District, which is bounded by Aurora Avenue on the south, the DuPage River on the north, Webster Street on the west, and Main Street on the east.

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Correspondence       New Business       Old Business       Public Hearing

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**SYNOPSIS:**

The petitioner requests approval of the Water Street Development including approval of the final plat of subdivision, final plat of PUD, conditional use for a hotel, a street graphics deviation, and a setback deviation to Section 6-7E-7 (Yard Requirements for the B5 Zoning District).

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**PLAN COMMISSION ACTION PREVIOUSLY TAKEN:**

| Date     | Item No. | Action   |
|----------|----------|--|
| 11/19/08 | D2       | Plan Commission recommended approval of a major change with associated deviations for the North Phase of Water Street (Water Street District Phase 2) PC#1756. This case was withdrawn prior to City Council review. |

**ACTION REQUESTED/RECOMMENDED THIS MEETING:**

Conduct the public hearing.

**PREPARED BY:** Jason Zawila, AICP, Community Planner

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**EXISTING ZONING, LAND USE, AND LOCATION:**

The subject site consists of 2.40 gross acres and is located within the Water Street District, which is bounded by Aurora Avenue on the south, the DuPage River on the north, Main Street on the east, and Webster Street on the west. The subject site is zoned B5 (Secondary Commercial District) PUD and TU (Transitional Use District) and is improved with a number of surface parking lots and commercial structures.

**RELATIONSHIP TO OFFICIAL PLAN OF THE CITY OF NAPERVILLE:**

The proposal is consistent with the land use intent, design considerations and procedures of the Water Street Vision Statement, adopted by the City Council as an element of the Naperville Comprehensive Master Plan on November 6, 2006. The conditional use and preliminary PUD for Water Street was approved in 2007 consistent with the Water Street Vision Statement.

**NATURAL FEATURES:**

The subject site slopes from a high point of 682 feet above sea level at the northern edge of the Aurora Avenue right-of-way to a low point of 664 feet at the southern bank of the DuPage River (18 feet fall from north to south). The subject site contains floodplain and floodway along its northern boundary with the DuPage River. There are a number of mature trees scattered throughout the site as well.

**BACKGROUND**

A public hearing for a major change with associated deviations to the North Phase of Water Street (fka as Water Street District Phase 2) was held at Plan Commission on October 15 and November 19, 2008. Although the current petition is largely consistent with the modifications proposed with the previous petition for the North Phase of Water Street, the petitioner has since withdrawn that application and is now seeking final approval for the entire Water Street Development (North and South Phases).

**PLANNING SERVICES TEAM REVIEW:**

Since approval of the preliminary PUD plat for the Water Street Development on November 6 2007, the petitioner has modified the development plans as summarized in Attachment 2. The petitioner is requesting approval of:

- North Phase - final plat of subdivision and final PUD
- South Phase Condominium Alternative - final plat of subdivision and final PUD
- South Phase Hotel Alternative - final plat of subdivision and final PUD

An overview of the building square footage for both alternatives of the Water Street Development is provided in Attachment 3. In conjunction with these requests, the petitioner has filed a petition requesting approval of the following:

- A conditional use for a hotel pursuant to Section 6-7E-3:7 of the Zoning Regulations of the Naperville Municipal Code;
- A deviation to Section 5:4-4:1 (Street Graphics Control) of the Municipal Code to allow additional wall signs; and
- A deviation to Section 6-7E-7 (Yard Requirements for the B5 Zoning District) to reduce the required 5' interior setback to 0'.

*Final Plat of Subdivision*

The petitioner seeks approval of a final plat of subdivision for the North Phase and lots for the South Phase (both alternatives). The proposed lots contained within the final plat of subdivision comply with the city's B5 and TU zoning standards as well as those of the Subdivision Regulations.

*Water Street (PC 10-1-078)*

*August 18, 2010*

*Page 3 of 7*

*North Phase - Final Plat of PUD*

The North Phase of the Water Street District development includes the Theater Building, Loggia Building, plaza and Naperville Riverwalk improvements. Proposed uses for this portion of Water Street include 32 residential condominiums and approximately 20,000 square feet of retail and restaurant uses. The petitioner proposes to incorporate an additional 0.34 acres (Pottery Bayou property), resulting in an increase to the size of the Loggia Building from 24,409 to 64,870 square feet (ground floor retail; upper stories residential – consistent with previous approvals). Staff finds that the current development proposal for the North Phase is appropriate and consistent with the Water Street Vision Statement. The proposed final PUD plat for the North Phase generally conforms to the regulations of the B5 District, with the exception of the requested deviations described below.

*North Phase - Zoning Deviation*

A deviation from Section 6-7E-7 (Yard Requirements, B5 District) is requested to reduce the required interior yard setback along the eastern property line from 5' to 0' for the additional parcel that will be incorporated into the Water Street Development. Staff finds the proposed setback deviation provides a creative approach to realize the Vision Statement and is consistent with the standards for a PUD deviation contained within Section 6-4-3:12 of the Zoning Regulations. Additionally, this is similar to the request for the deviations to the interior yard setback that were approved with the preliminary PUD plat.

*North Phase - Signage Deviations*

The petitioner requests approval of a deviation from Section 5:4-4:1 (Street Graphics Control) of the Municipal Code to allow wall signs along the Riverwalk frontage in the North Phase. The street graphics ordinance allows commercial businesses to display a wall sign on each frontage along a public roadway or expressway. Therefore, wall signs would not be permitted on the frontage facing the Naperville Riverwalk, without approval of a deviation.

The petitioner has provided signage guidelines for the Water Street North Phase (see Attachment 3). Staff finds that the proposed guidelines provide for signage that is consistent with the downtown, while appropriately complementing the character and architecture for the Water Street District. Additionally the guidelines contain provisions to address aesthetic impacts of signage along the Riverwalk including: (1) prohibition of illuminated box signage; (2) prohibition of exposed lighting; and (3) smaller wall signage than otherwise allowed by Code on the south elevation. With the proposed guidelines, staff is supportive of the requested signage deviation.

*South Phase Condominium Alternative - Final Plat of PUD*

The South Phase Condominium Alternative of the Water Street District development includes the Tower Building, Mixed Use Building, Office Building, and parking garage. Proposed uses for this alternative include 40 residential condominium units and approximately 40,000 gross square feet of commercial uses. The Final Plat of PUD for the South Phase (Condominium Alternative) is in substantial conformance with the Preliminary Plat of PUD approved by City Council on October 2, 2007.

*Water Street (PC 10-1-078)*

*August 18, 2010*

*Page 4 of 7*

*South Phase Hotel Alternative - Final Plat of PUD*

The South Phase Hotel Alternative of the Water Street District development includes the same buildings as the Condominium Alternative, except that the petitioner proposes to substitute a 130-room hotel for the residential uses. The proposed hotel requires a conditional use pursuant to the B5 (Secondary Commercial District) regulations. With the hotel alternative, the size of the Tower Building/Multi-Use Building would increase from 92,021 square feet to 113,123 square feet. In addition the petitioner proposes to increase the number of parking spaces in the parking structure from 559 to 699 (not including handicap spaces) and increase the height of the tower building and parking garage to accommodate the hotel use (further discussed under “Height” and “Parking”). The petitioner has provided data to support the proposed hotel size, which is comparable to similar hotels in the region of the same type and level of amenity.

Staff has reviewed the petitioner’s findings for a conditional use and concurs. The proposed hotel use is consistent the Water Street Vision Statement, which states that the development should include “uses that support visitor destinations, such as Naper Settlement, including restaurants with banquet facilities and small lodging facilities”. The proposed hotel use would enhance downtown Naperville by serving visitors to the community and is compatible with other retail, commercial, office and restaurants located in the downtown.

*South Phase Hotel Alternative - Height*

The South Phase Hotel Alternative would increase the height of the Tower Building/Multi-Use Building from 83.17 feet to 90.17 feet. Additionally the parking structure will increase in height from 66.83 feet to 84.33 feet.

The B5 (Secondary Commercial) District does not have a restriction on height, but instead sets a maximum floor area ratio (FAR). As part of the preliminary approval for the Water Street Development in 2007, the subject property was granted a deviation to allow the FAR to be based on the overall PUD, to a maximum FAR of 2.5. With the hotel alternative, the overall development will have a FAR of 2.11.

In both alternatives for the South Phase, the petitioner proposes to “step back” the floors above the fourth story to maintain a visual scale generally consistent with the height recommendations of the Water Street Vision and avoid overshadowing the Riverwalk. The cornice line of the Tower Building’s fourth story will match that of the existing Moser Plaza building, thus establishing visual consistency for building height. To provide additional context, a comparable height study for various buildings located throughout the city is provided as Attachment 5.

Staff has evaluated all phases of the Water Street Development with respect to the Water Street Vision and current downtown plan update and has determined that the proposed design of the buildings is appropriate to minimize the impact of the building height and consistent with the city’s intent concerning this area of town.

*Parking*

The petitioner is required to provide capacity to accommodate the parking demand generated by all development in accordance with the Water Street Vision Statement (Consideration 6 - Parking / Access). Parking demand for the area is determined based upon the Continuous Improvement Model (CIM), which establishes a parking ratio reflective of the actual parking demand for downtown commercial uses (retail, restaurant & office) and accounts for the shared

Water Street (PC 10-1-078)  
 August 18, 2010  
 Page 5 of 7

parking that occurs within the area. The 2009 CIM model estimates that each 1,000 square feet of commercial space requires 2.01 parking spaces to satisfy the customer and employee parking demand. The CIM does not account for residential uses, which are required to provide the Naperville Municipal Code minimum of two parking spaces per unit. It should also be noted that for the purpose of calculating parking demand for the petitioner’s proposal, required parking for the hotel was calculated in accordance with Municipal Code requirements, as the CIM does not account for hotel uses either.

The table below identifies the parking demand that would be generated by the Water Street Development for all proposed phases based upon the 2009 CIM and the total number of parking spaces required by Code for the proposed residential units and hotel use.

| Use  | Quantity (sq ft, units)     | Required Parking Ratio                                       | Total Required Parking Spaces |
|--|-----------------------------|--|-------------------------------|
| <i>North Phase and South Phase (Condo Alternative)</i> |                             |  |                               |
| Commercial   | 62,321 sq ft                | 2.01 / each 1,000 sq ft                                      | 125                           |
| Residential  | 72 units                    | 2 parking spaces / unit                                      | 144                           |
| Full Build Out Water Street                            |                             |  | 153-174                       |
| <b>Totals</b>  |                             |  | <b>422-443</b>                |
| <i>North Phase and South Phase (Hotel Alternative)</i> |                             |  |                               |
| Commercial   | 59,631 sq ft                | 2.01 / each 1,000 sq ft                                      | 119                           |
| Residential  | 32 units                    | 2 parking spaces / unit                                      | 64                            |
| Hotel  | 130 Rooms<br>(10 employees) | 1 parking space / per unit<br>1 parking space / per employee | 140                           |
| Full Build Out Water Street                            |                             |  | 153-174                       |
| <b>Totals</b>  |                             |  | <b>476-497</b>                |

The above table reflects the parking demand resulting from the proposed Water Street PUD (for both alternatives). However, the Water Street Vision Statement mandates that ample parking capacity be provided to serve the future development of the Water Street District. Utilizing the CIM methodology to estimate the future parking demand for full build out of the Water Street District, high and low development scenarios were utilized for parking demand estimates that are not included in the current proposal. This calculation yielded an estimated 153 to 174 spaces needed to accommodate future development in the Water Street Area, beyond the current PUD request. The anticipated future parking demands for both alternatives can be met by either parking deck proposed. Any surplus parking spaces provided in excess of the demand generated by the development will serve the overall downtown parking supply. Staff is working with the petitioner to determine the appropriate number of parking spaces to accommodate the needs of the downtown and provide acceptable level of functionality within the deck structure itself.

*Water Street (PC 10-1-078)*

*August 18, 2010*

*Page 6 of 7*

### *Traffic*

The petitioner has completed a traffic impact analysis for Water Street, including the Hotel and Condominium Alternatives. The petitioner also participated in the South Downtown Traffic Management Study (SDTMS), completed in 2010, which took a comprehensive look at the future traffic demand for the region<sup>1</sup>. The petitioner's impact study and the SDTMS analyzed the existing conditions for the entire region and made recommendations for system-wide changes intended to improve traffic flow and efficiency (see Attachment 6: Traffic Impact Analysis Summary). Predictably, the analysis discloses that there will be an overall increase of traffic traveling in and out of the Water Street District, which in turn impacts the levels of service at the surrounding intersections. To address these impacts, a new traffic signal at the intersection of Aurora Avenue and Webster Street, with modifications to the existing traffic signal timings at other locations was recommended with the study when warranted. Staff continues to work with the petitioner to understand the traffic impact of the proposed hotel alternative for the South Phase.

### *Building Design*

Staff has reviewed the proposed building elevations in light of the Water Street Vision Statement. In accordance with the Vision Statement, the petitioner has proposed to construct buildings primarily comprised of masonry and high quality accent materials (e.g., cast stone, cut limestone). The proposed architectural design in both options incorporates unifying concepts such as archways, tower features, and significant pedestrian level detail consistent with the storefronts found throughout the downtown, in order to foster an aesthetic continuity throughout the development. Furthermore, the proposed buildings complement the existing downtown architecture, while creating a style and character unique to the Water Street District. Staff supports the proposed building design.

### *Pedestrian Bridge*

The petitioner has proposed to construct a pedestrian bridge between the Loggia Building and the Tower Building in order to provide weather protected access to the parking garage for residents in the Loggia Building. The proposed pedestrian bridge will not conflict with the required vehicle clearances. It is also consistent with the Water Street Vision Statement, which states that the development should include design elements that are inviting, safe, and secure and that pedestrian access is provided at multiple points within the Water Street Study Area, including from the parking areas to the commercial, office, and residential uses.

### *Riverwalk Improvements*

The proposed Riverwalk improvements are consistent with the approved Preliminary PUD. For reference, the petitioner has proposed to extend the Riverwalk approximately 253 feet along the southern edge of the DuPage River. The improvements include extending the Riverwalk east at its current width, tying the Riverwalk into the plaza with steps and a fountain feature, and the provision of extensive landscaping throughout. The proposed Riverwalk improvements will also allow for future extension along the southern bank of the DuPage River as the properties to the east are redeveloped.

### *Staff Summary*

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<sup>1</sup> The SDTS was approved by TAB on March 6, 2010 and the City Council on May 18, 2010.

*Water Street (PC 10-1-078)*

*August 18, 2010*

*Page 7 of 7*

Staff finds that the proposed Final PUD for the North and South Phases of Water Street substantially complies with the Water Street Vision Statement. A review of both alternatives for development of the South Phase reflect the spirit and intent of the underlying planned unit development to create a flexible and unique mixed-use environment in downtown Naperville by integrating commercial, entertainment, parking, residential and opens space uses into a cohesive development. However, staff is still working with the petitioner to develop a better understanding of the traffic impact of the hotel and to determine the appropriate number of parking spaces to accommodate the needs of the downtown and provide acceptable level of functionality within the deck structure itself.

**ATTACHMENTS:**

- 1) Water Street-Attachment 1: Water Street Vision Statement-PC 10-1-078
- 2) Water Street-Attachment 2: Modifications to the Preliminary PUD Summary-PC 10-1-078
- 3) Water Street-Attachment 3: Water Street Building Square Footage-PC 10-1-078
- 4) Water Street-Attachment 4: Water Street Signage Guidelines-PC 10-1-078
- 5) Water Street-Attachment 5: Comparative Height Study -PC 10-1-078
- 6) Water Street-Attachment 6: Traffic Impact Analysis Summary-PC 10-1-078
- 7) Water Street-Application-PC 10-1-078
- 8) Water Street-Legal Description-PC 10-1-078
- 9) Water Street-Aerial Location Map-PC 10-1-078
- 10) Water Street-Final Plat of Subdivision (North Phase)-PC 10-1-078
- 11) Water Street-Final Plat of Subdivision (South Phase-Condo Alternative)-PC 10-1-078
- 12) Water Street-Final Plat of Subdivision (South Phase-Hotel Alternative)-PC 10-1-078
- 13) Water Street-Final Plat of PUD (North Phase)-PC 10-1-078
- 14) Water Street-Final Plat of PUD (South Phase-Condo Alternative)-PC 10-1-078
- 15) Water Street-Final Plat of PUD (South Phase-Hotel Alternative)-PC 10-1-078
- 16) Water Street-Landscape Plan (North Phase)-PC 10-1-078
- 17) Water Street-Landscape Plan (South Phase)-PC 10-1-078
- 18) Water Street-Building Elevations (North and South Phase-Condo Alternative)-PC 10-1-078
- 19) Water Street-Building Elevations (North and South Phase-Hotel Alternative)-PC 10-1-078



City of Naperville

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# Water Street Study Area Vision Statement

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*An Opportunity to Proactively and  
Comprehensively Plan for the  
Redevelopment of the Water Street  
Area*



Planning Services Team  
TED Business Group  
November 2006

ATTACHMENT 3

FINAL - Plan Commission - 8/18/2010 - 24

## 1. Design and Character

The unique character of Downtown Naperville has been established through the incorporation of a variety of design elements into the buildings, streetscapes, and amenities. Building on the success of Downtown Naperville, the Water Street Study Area should include some predominate characteristics of the existing downtown, such as building materials, scale, and pedestrian amenities.

### Considerations:

1. Consolidate the multiple property ownership to allow for the comprehensive redevelopment of the Water Street Study Area (rather than a lot-by-lot redevelopment).
2. Design buildings to be four-sided and have multiple entry points to further the pedestrian friendliness of the development.
3. Require pedestrian-oriented design, including building orientation, façade treatments, building size/scale, seating areas, multiple entry points (doors), and open space.
4. Incorporate pedestrian scale elements, such as awnings, landscaping, courtyards, and benches to create a more human scale and pedestrian friendly development.
5. Incorporate traditional building materials, such as brick and stone in earth tone colors, into the building design, as outlined in the Downtown Plan.
6. Arrange the buildings in a manner, which capitalizes on the Riverwalk and Naper Settlement, while also maximizing open space and pedestrian connections.
7. Utilize the grade differential from Aurora Avenue to the Riverwalk (downward sloping towards the Riverwalk) to minimize the height of buildings on Aurora Avenue.
8. Consideration shall be given for predominately 2 story or taller buildings where appropriate. Taller structures of 3 to 5 stories may be suitable if a minimal impact is imposed upon the surrounding area. (This is not to be intended as an absolute maximum number of stories). The height guidelines established for the study area through the Downtown Plan, as well as the site topography and existing building heights within the general area, will be utilized to determine appropriate height for each building. Each building should not exceed the floor-area-ratio or maximum height limitation established within the respective zoning district in which the property is located.
9. Utilize the Planned Unit Development (PUD) process to accomplish a flexible, comprehensive, and cohesive development.
10. Ensure that the visibility of parking lots is minimized within the redevelopment of the Water Street Study Area.
11. Ensure that the architectural design of the redevelopment project includes design elements, which are consistent with the downtown, while not attempting to recreate the Downtown Core.
12. Rezone the properties located along the north side of Aurora Avenue to TU (Transitional Use) upon redevelopment.
13. Ensure that the buildings located along the north side of Aurora Avenue are designed in a manner and scale that is appropriate within the Transitional Use Area.

**2. Multi-Use Development**

The success of Downtown Naperville is not only linked to the design, character, and pedestrian scale of development, but also the mix of uses included in the downtown. These different uses (residential, commercial, office, and recreational) compliment each other and create activity in the downtown throughout the day and evening; accordingly, multiple uses should be incorporated into the Water Street Study Area.

Considerations:

1. Incorporate residential, office, destination commercial, neighborhood commercial, and recreational uses into the Water Street Study Area to encourage activity throughout the day and evening hours.
2. Ensure that a mix of uses that support visitor uses, which compliment each other and the Downtown as a whole, are provided within the Water Street Study Area.
3. Anchor the Water Street Study Area with a commercial use or restaurant, which encourages visitors to take advantage of additional shopping opportunities.
4. Include uses that support visitor destinations, such as Naper Settlement, including restaurants with banquet facilities and small lodging facilities.
5. Include recreational uses, such as outdoor amphitheaters and exhibit galleries, which encourage additional activity in the Water Street Study Area.
6. Design the site in a manner, which maximizes open space and accommodates pedestrian activity.
7. Explore funding opportunities, such as public-private partnerships, to encourage comprehensive redevelopment that incorporates the design character and uses, which are desired for the Water Street Study Area.
8. Ensure that the uses included in the development are consistent with the Downtown Plan Secondary Commercial and Traditional Use District recommendations as well as the Zoning Ordinance requirements.

### 3. Pedestrian Access

Pedestrian access is an important element to the success of Downtown Naperville. Because individual parking lots are not provided for each of the commercial uses in the downtown, businesses are forced to draw on pedestrian, rather than vehicular traffic. The Downtown Plan identifies the Water Street Study Area as an important link to the downtown pedestrian system through the connection it can provide between the downtown businesses, the Riverwalk, the Municipal Center, and Naper Settlement.

#### Considerations:

1. Consider vacating Water Street and provide pedestrian walkways and amenities in its place.
2. Upgrade Webster Street to create a pedestrian link between the Downtown and Naper Settlement.
3. Provide pedestrian connections to the Riverwalk to provide a more direct connection to Downtown Naperville.
4. Design redevelopment in a manner that is pedestrian-oriented, including building orientation and façade treatments (windows, awnings, scale, etc.).
5. Improve the intersection of Aurora Avenue and Webster Street to provide a better pedestrian connection between the areas south of Aurora Avenue and the Riverwalk.
6. Ensure pedestrian access within the Water Street Study Area through design elements that are inviting, safe, and secure and that also provide ample space for pedestrians.
7. Ensure that pedestrian access ways are designated as such through signage and pavement markings.
8. Ensure that pedestrian access is provided at multiple points within the Water Street Study Area, including from the parking areas to the commercial, office, and residential uses.
9. Work with Naperville Township to identify pedestrian connections

#### **4. Riverwalk and Naper Settlement**

The Riverwalk and Naper Settlement serve as recreational attractions for community residents and visitors and as destination points within and adjacent to Downtown Naperville and the larger community. The proximity of the Water Street Study Area to the Riverwalk and Naper Settlement provides opportunities to tie into each amenity, as well as expand and enhance the existing Riverwalk system and connections to the Naper Settlement.

##### Considerations:

1. Encourage multiple pedestrian connections from the Riverwalk and Naper Settlement into the Water Street Study Area.
2. Expand the Riverwalk along the north side of Water Street (south side of the river).
3. Provide pedestrian connections to the existing Riverwalk at the Main Street and Webster Street bridges to encourage pedestrian traffic through the Water Street Study Area.
4. Explore opportunities to re-use the surface parking lot adjacent to the Naperville Township building in a manner, which better compliments the Webster Street Bridge and adjacent Riverwalk amenities.
5. Consider the maintenance and ownership of the additional Riverwalk right-of-way, if dedicated.
6. Ensure that all future Riverwalk connections are handicap accessible.
7. Ensure that the expanded/extended Riverwalk facilities are compatible with the design and style of the existing facilities.
8. Work with the property owners located north of Water Street to obtain additional easement dedications (minimum of 15 feet from edge of the River, with additional dedications where necessary/appropriate) to expand the Riverwalk along the south side of the river.
9. Explore incorporation of historical architectural elements that complement Naper Settlement.

## 5. Streetscape

The Downtown Plan indicates a variety of streetscape improvements for Downtown Naperville. These recommendations, which include the addition of benches, lighting, trees, fountains, landscaping, etc. should be incorporated into the redevelopment of the Water Street Study Area to ensure cohesiveness and compatibility throughout the downtown area.

### Considerations:

1. Provide entryway features, which lead residents and customers into the Water Street Study Area, Downtown Naperville, and Naper Settlement.
2. Incorporate directional signage, entryway features, gathering spaces, public art, and other streetscape elements to increase the usability of the site by pedestrians and customers.
3. Provide consolidated trash collection containers (rather than separate containers for each tenant) in a centralized location.
4. Include amenities, such as benches, landscaping, lighting fixtures, which are similar in style and type to create a uniform character for the area.
5. Comply with the streetscape design standards adopted by the City of Naperville for the Downtown Area, which identifies Main Street as a "Downtown" street which must include brick pavers, tree grates, and benches (see attachment B). Aurora Avenue and Webster Street are identified in the Downtown Plan as a "Boulevard" streetscape requiring low-rise planters, along with brick pavers, tree grates, and benches (see attachment C). Water Street, identified in the Downtown Plan as a Downtown Street, will be treated as a "Boulevard" streetscape in order to promote a pedestrian friendly atmosphere. Streetscape improvements will be concentrated in the public right-of-way areas.
6. Relocate/bury utility lines in the redevelopment of the Water Street Study Area at the cost of the owner(s).
7. Locate trash collection containers and other associated service containers behind buildings or in less visible areas and incorporate tastefully designed trash enclosure schemes so as to minimize their impact on the pedestrian nature of the development.

## 6. Parking/Access

Parking and access is a crucial point that must be considered when reviewing not only the Water Street Study Area, but also Downtown Naperville as a whole. Residents and visitors should have a place to park their vehicles when they come to downtown to the Water Street Study Area to shop, eat, work, or walk the Riverwalk. As a means to build and maintain the pedestrian character of this area, parking should be convenient and accessible, while not detracting from the design, character, and walkability of the area.

### Considerations:

1. At a minimum, provide adequate spaces to accommodate the parking demand generated in this area based on the continuous improvement model.
2. Encourage the provision of parking in a centralized location(s), and if possible, through a single decked parking facility to provide consolidated parking for the entire study area and potentially surplus parking for the overall Downtown area, including the Riverwalk, City Hall, Naper Settlement, and the Downtown as a whole.
3. Determine a funding mechanism, such as public-private partnerships or SSA, to provide parking that meets or exceeds the demand for the Water Street Study Area.
4. Determine the feasibility of locating a portion of the parking facility underground so as to minimize the appearance/height of the facility from Aurora Avenue.
5. Coordinate with adjacent properties, such as Walgreen's, to determine if an off-site shared parking facility can accommodate the parking needs of the study area.
6. ~~Parking in this area shall be coordinated with the current parking study to~~ determine the feasibility of developing additional public parking facilities in the downtown. Though this property was not part of the parking study, as the study focused on parcels that were either owned by the City or were more difficult to develop due to their unusual shape and other constraints, the possibility of a parking facility established through re-development should be encouraged.
7. Re-examine the necessity to maintain the existing agreement between the City of Naperville and various Water Street Study Area property owners that allows these property owners to utilize up to 80 spaces within the City of Naperville's parking facility at 400 S. Eagle Street (agreement is valid until 2013).
8. Locate parking behind buildings, in mid-block locations, or in other less visible areas, so as to minimize its impacts on the pedestrian nature of the redevelopment.
9. If surface parking lots are utilized, these should be limited in number, provide consolidated parking for several properties, and be located in a manner to reduce visibility and impact on pedestrians (likely behind buildings).
10. Avoid providing parking in visible areas, such as in front of buildings or at corner sites.
11. Ensure that accessible parking is provided in close proximity to the Naperville Township building, to accommodate its patrons with physical limitations and special needs.
12. Work with Naperville Township to discuss the possibility for an alternative/cooperative parking arrangement.
13. Restrict curb cuts into the property along Aurora Avenue and ensure that other access points, including access to the parking facility, do not conflict with the internal or external roadway and pedestrian network.

## 7. Traffic

Similar to parking and access, circulation through and within Downtown Naperville is a critical issue. Traffic should be thoroughly addressed and accommodated within the Water Street Study Area to minimize the impact of the increased traffic, which will result from redevelopment of the area.

### Considerations:

1. Provide road network improvements which improve the current traffic flow within and surrounding the Water Street Study Area, particularly through the improvement of various intersections, Main Street Bridge, the existing alley, addition of turning lanes/traffic signals, and the removal of on-street parking conflicts.
2. Consider vacating Water Street to decrease traffic conflicts and increase/improve pedestrian access with a condition that an east – west access route connecting Main Street and Webster Street is maintained.
3. Undertake a traffic study to determine the impacts of a proposed redevelopment on the existing road network within and adjacent to the Water Street Study Area.
4. Ensure that the impact of increased traffic related to the proposed redevelopment is minimized, particularly in the residential neighborhood located to the south of the Water Street Study Area, along Webster, Main, and Porter Streets (south of Aurora Avenue).
5. If a development proposal includes the vacation of right-of-way, the vacation will be reviewed by the Transportation Advisory Board, with final approval by City Council. Vacation of right-of-way (the alley, Water Street, or a portion of Webster Street) may be appropriate to accommodate a unified development, which establishes different vehicular traffic patterns and encourages pedestrian access through the area.
6. Require vehicular access, including loading zones and refuse areas, to be located off of Squaw Alley, where applicable. Other vehicular and service areas should be located in a manner to limit visibility and impact on pedestrians.
7. Restrict curb cuts onto Aurora Avenue (for the properties located north of Aurora Avenue).
8. Minimize access points onto Water Street by providing shared or consolidated access points that serve multiple properties.

### **8. Stormwater Management**

The Water Street Study Area is located adjacent to the West Branch of the DuPage River and accordingly, within a portion of the floodplain; as such, adequate stormwater management systems should be provided. These systems should account for existing floodplain considerations, as well as increased run-off, which may result from the redevelopment of the site.

#### Considerations:

1. Improve the flow and management of stormwater through the Water Street Study Area and surrounding neighboring commercial area.
2. Provide detention for the redevelopment of the Water Street Study Area and investigate the opportunity to accommodate additional stormwater for the overall Downtown area.
3. Coordinate with the Riverwalk Commission to stabilize the streambank.
4. Efficiently provide collective stormwater management for the Water Street Study Area redevelopment, as opposed to individual facilities through incremental redevelopment.
5. Require the provision of adequate and efficient stormwater management systems to serve the stormwater needs resulting from redevelopment within the study area. Stormwater management should be provided in a consolidated manner, if possible.
6. Provide compensatory storage for any construction within the floodplain or floodway area.
- ~~7. Consider requests to accommodate detention and compensatory storage through underground storage or other alternative mechanisms. Such requests for alternative mechanisms shall require City Council approval.~~
8. Accommodate the requirements to address the floodway and floodplain in future development proposals.

### 9. Planned Unit Development District

To address the future vision of the Water Street Study Area, a Planned Unit Development (PUD) District applicable only to the Water Street Study Area should be established by the city. This PUD district, in conjunction with the Water Street Vision Statement, will provide a mechanism to enforce the considerations contained within the vision statement and ensure that the future vision of the Water Street Study Area is realized. The adoption of the Vision Statement and implementation of the PUD district will assist the city by establishing the level of expectation for developers seeking to redevelop within the subject area. A PUD district provides the city with the authority to mandate that any or all of the considerations listed above be included in a redevelopment proposal. The degree of control and flexibility afforded by the PUD district represents the most effective way of guiding redevelopment in the Water Street Study Area.

PUD districts are established to encourage creative design that otherwise would not be achievable through traditional zoning channels. The five goals hoped to be achieved through the creation of a PUD district as defined by Section 6-2-4 (Purpose and Intent) of the Municipal Code are:

1. To stimulate creative approaches to the residential, commercial and industrial development of land
2. To provide more efficient use of land
3. To preserve natural features and provide open space areas and recreation areas in excess of that required under existing zoning regulations
4. To develop new approaches to the living environment through variety in type, design and layout of residential structures, commercial and industrial buildings, transportation systems, and public facilities
5. To unify buildings and structures through design. (Ord. 01-110, 6-5-2001)

Staff recommends that a PUD district be established and implemented for the WSSA. A PUD district will effectively regulate redevelopment and promote the five goals listed above within the context provided by the Water Street Vision Statement.

**ATTACHMENT 2: KEY MODIFICATIONS TO THE APPROVED PRELIMINARY PUD**

| Phase                                    | Modifications to the Approved Preliminary PUD   |
|--|---|
| North Phase                              | <ul style="list-style-type: none"> <li>• Incorporate approximately 0.34 additional acres into Water Street District North Phase PUD and modify the existing site plan.</li> <li>• Increase the size of the Loggia Building from 24,409 to 64,870 sf.</li> <li>• Increase the number of residential units from 24 to 32</li> <li>• Eliminate parking (24 parking spaces) on the second floor of the Loggia Building</li> <li>• Incorporate pedestrian bridge across Water Street</li> </ul>  |
| South Phase<br>(Hotel Alternative)       | <ul style="list-style-type: none"> <li>• Change in use from residential to hotel</li> <li>• Increase the height of the Tower Building/Multi-Use Building and Parking Structure from 83 feet, 2 inches to 90 feet, 2 inches.</li> <li>• Increase the size of the Tower Building/Multi-Use Building from 92,021 square feet to 113,123 square feet.</li> <li>• Increase the number of parking spaces in the parking structure from 559 to 762 (not including handicap spaces)</li> <li>• Increase the Floor Area Ratio of the Water Street District Planned Unit Development from 1.96 to 2.13 (also including the expansion of the Loggia Building)</li> </ul> |
| South Phase<br>(Condominium Alternative) | <ul style="list-style-type: none"> <li>• Increase the number of residential units from 39 to 40</li> <li>• Increase the height of the Parking Structure from 66.83 feet to 71.67</li> <li>• Increase the Floor Area Ratio of the Water Street District Planned Unit Development from 1.96 to 2.02 (including the expansion of the Loggia Building)</li> </ul>   |

**ATTACHMENT 3: BUILDING SQUARE FOOTAGE OVERVIEW*****Condominium Alternative***

The Water Street District for the North and South Phase (Condominium Alternative) will consist of five buildings containing approximately 211,306 gross square feet of floor area as well as a six story parking deck accessible from an improved alley. A summary of the respective square footages dedicated to each use has been provided in Figure 1 below.

***Figure 1: North and South Phase (Condo Alternative) Use Distribution Summary***

|   | <b>Retail-<br/>Restaurant-<br/>Office</b> | <b>Residential</b> | <b>Service Area</b> | <b>Gross Floor<br/>Area</b> | <b>Residential<br/>Units</b> |
|---|---|--------------------|---------------------|-----------------------------|------------------------------|
| <b>Loggia Building<br/>(North Phase)</b>        | 14,961                                    | 38,050             | 9,385               | 62,396                      | 20                           |
| <b>Theater Building<br/>(North Phase)</b>       | 3,687                                     | 15,520             | 4,751               | 23,963                      | 12                           |
| <b>Tower Building<br/>(South Phase)</b>         | 11,099                                    | 34,354             | 14,960              | 60,413                      | 25                           |
| <b>Mixed Use<br/>Building<br/>(South Phase)</b> | 4,379                                     | 22,035             | 8,271               | 34,685                      | 15                           |
| <b>Office Building<br/>(South Phase)</b>        | 19,242                                    | 0                  | 3,941               | 23,183                      | 0                            |
| <b>Total</b>                                    | 53,368                                    | 109,959            | 41,308              | 204,635                     | 72                           |

***Hotel Alternative***

The Water Street District for the North and South Phase (Hotel Alternative) will consist of five buildings containing approximately 221,269 gross square feet of floor area as well as a seven story parking deck accessible from an improved alley. A summary of the respective square footages dedicated to each use has been provided in Figure 2 below.

***Figure 2: North and South Phase (Hotel Alternative) Use Distribution Summary***

|   | <b>Retail-<br/>Restaurant-<br/>Office</b> | <b>Residential/Hotel</b> | <b>Service Area</b> | <b>Gross Floor<br/>Area</b> | <b>Residential<br/>Units</b> |
|---|---|--------------------------|---------------------|-----------------------------|------------------------------|
| <b>Loggia Building<br/>(North Phase)</b>  | 14,961                                    | 38,050                   | 9,385               | 62,396                      | 20                           |
| <b>Theater Building<br/>(North Phase)</b> | 3,687                                     | 15,520                   | 4,751               | 23,958                      | 12                           |
| <b>Tower Building<br/>(South Phase)</b>   | 15,478                                    | 96,276                   | 0                   | 111,754                     | 0                            |
| <b>Office Building<br/>(South Phase)</b>  | 19,242                                    | 0                        | 3,941               | 23,183                      | 0                            |
| <b>Total</b>                              | 53,368                                    | 149,846                  | 18,077              | 221,291                     | 32                           |

The development concept for both alternatives seeks to capitalize on a traditional mixed use lifestyle center theme in which people can work, dine, and live all within a close proximity. The structures fronting Water Street are occupied by residential, retail and restaurant users and the structures along Webster contain an office component in order to provide a transition to the existing office corridor along Aurora Avenue.

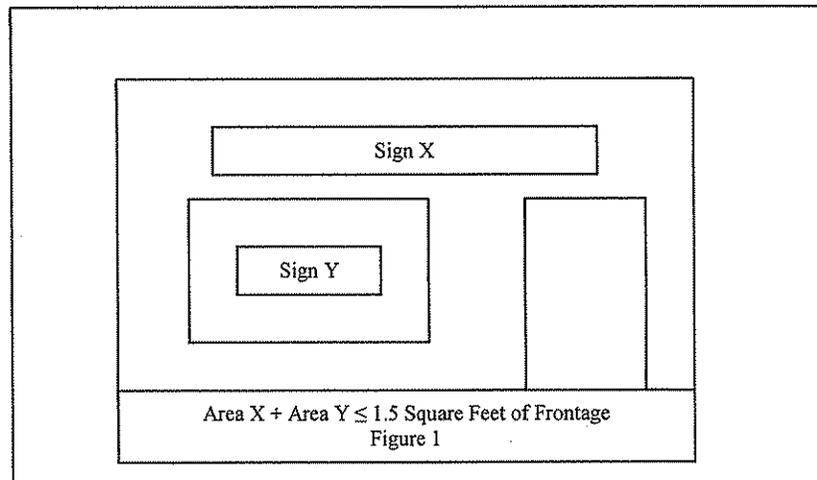
### The Water Street District Sign Regulations

The Water Street District is a unique development within downtown Naperville. It is the only development within the downtown district which will have direct access to the Riverwalk and as such great care must be taken to ensure that signage, especially which is located along the northern elevations of the retail establishments fronting the boardwalk, appropriately complement the character and architecture of the Water Street District while balancing the needs of commercial tenants to effectively advertise their presence along public thoroughfares and pedestrian areas.

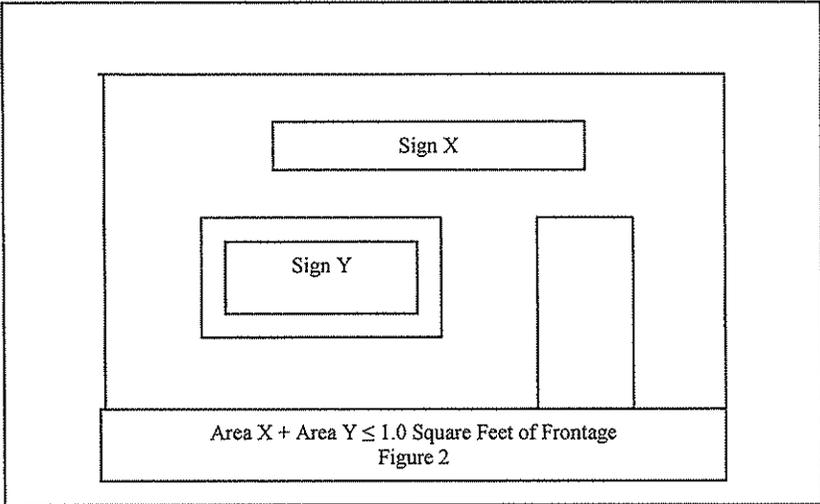
Signage should be harmonious with the visual character of the street corridor and through proper design should be an integral part of the overall development, reflecting the scale, image and style of associated buildings with sign design and materials relating to building elements.

The following regulations and guidelines for signage in the Water Street District are intended to guide commercial tenants in designing and installing signs which are appropriate to the Water Street District.

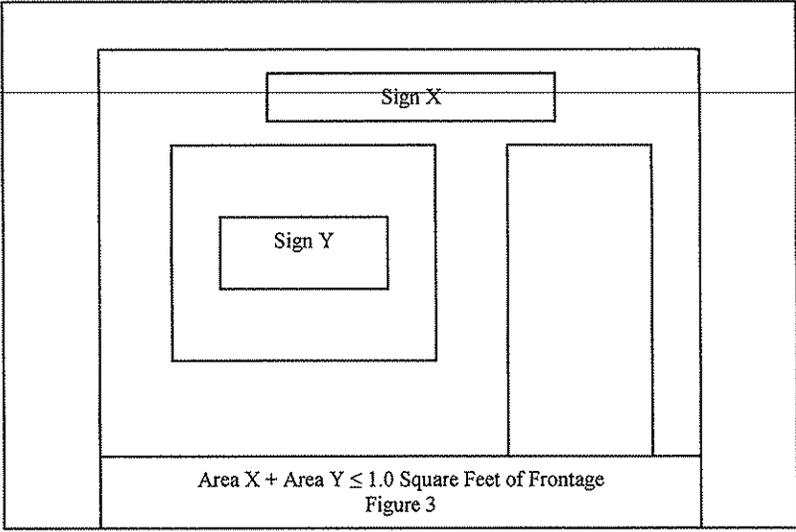
1. In the Water Street District for signage fronting Water Street and/or Webster Street, the sum of the area of the wall and permanent graphics facing Water Street and/or Webster Street shall not exceed an area equal to one and one-half (1 ½) square feet of frontage along each street (Figure 1).



2. In the Water Street District, the sum of the area of the wall and permanent graphics facing the Plaza shall not exceed an area equal to one (1) square foot of frontage along the Plaza (Figure 2).



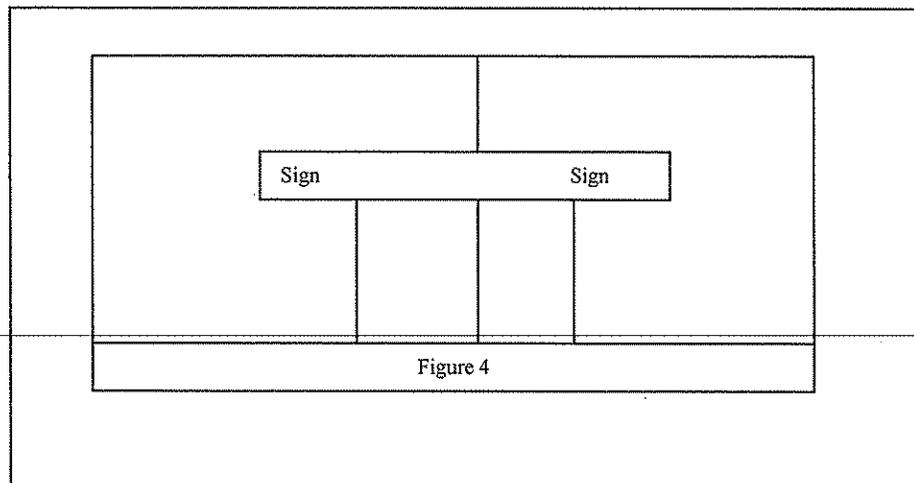
- 3. In the Water Street District, the sum of the wall and permanent graphics facing the Boardwalk shall not exceed an area equal to one (1) square foot of frontage along the Boardwalk (Figure 3).



- 4. One projecting sign (commonly known as a blade sign) for each main (first) floor establishment is permitted. It may not extend more than thirty six inches (48") from the vertical plane of the façade and must be six inches (6") from the façade. It shall not exceed five (5) square feet in area and shall not be lower than eight feet (8') from the sidewalk. Such projecting signs shall not be internally illuminated. External lighting is permitted. Only the name of the business owner, business and/or logo may be displayed. Second floor business establishments may display a

projecting sign with the same criteria. The sign must be located over or within two feet (2') of the first floor door access to the business. The size of the projecting sign shall be include in the total maximum square footage allowed in paragraphs one, two, and three.

5. Wall signs for first floor business must be located over the leased space. Wall signs for businesses located above the first floor may be displayed on the portion of the building that the business occupies in such a fashion as to complement the architectural integrity of the building.
6. Signs in multiple-tenant buildings should complement and enhance each other. Multiple-tenant sites should have coordinated signage.
7. Awning signs are allowed to a maximum of twelve (12) square feet of text size per frontage. When an awning covers multiple storefronts, each store is allowed up to twelve (12) square feet of copy space (Figure 4).



Canopies and awnings are limited to two (2) colors. Logos are exempt from this provision. Striping may only be vertical or horizontal. Retail signs may be located on awnings over the entry and/or windows of the establishment. The shape, design and color of awnings should be coordinated with the architectural style of the building. Where multiple awnings are used, the design and color of all awnings should be coordinated.

8. Sidewalk signs are permitted and exempt from permit. Such signs shall not exceed six (6) square feet in area, may be located only on the sidewalk in front of the business and may not obstruct pedestrian traffic. All sidewalk signs must be removed nightly. No sidewalk sign shall be displayed between the hours of two o'clock (2:00) A.M. and six o'clock (6:00) A.M.
9. Menu boards for restaurants and taverns are permitted to be displayed on the wall of the business. Such signs may not exceed nine (9) square feet in area. The sign may include menus or notice of special events including community events. All such signs must be enclosed in a glassed frame. Such signs shall be limited to one per establishment.

10. Lighting of signs and awnings shall be permitted. Lighting allows signs and awnings to appear as an integral part of the building's façade. Internally or externally illuminated signs and awnings shall be permitted provided they meet the following requirements:

- a. Signs shall be illuminated only by steady, stationary, shielded or shaded light sources directed solely at the sign or awning, or internal to it so that light intensity or brightness does not create either a nuisance to adjacent property or a traffic hazard for motorists or pedestrians.
- b. Individual letters or logos may be internally illuminated. All other portions of the sign shall be opaque.
- c. No exposed reflective type bulb and no strobe light shall be used.
- d. Illuminated signs or awnings shall produce no more than thirty (30) foot-candles of illumination, four feet (4') from the sign or awning.
- e. Whenever external illumination is used for a sign or awning, the source of light shall be located, shielded, and directed in such a manner that the light source is not visible from a public street, private residence or pedestrian thoroughfare.
- f. No backlit signs shall be permitted on the northern elevation of buildings adjacent to the Riverwalk or on the southern elevation of building adjacent to Aurora Avenue.
- g. Awning lights which are located underneath or internal the awning and are designed to provide external illumination shall be prohibited on the northern elevation of buildings adjacent to the Riverwalk. External lighting of awnings shall be permitted so long as the lighting is directed towards the awning and not directed towards the Riverwalk.

11. The following types of signs are strictly prohibited:

- a. Ground Mounted Signs
- b. Illuminated box signs
- c. Flashing signs
- d. Moving signs, or signs with moving elements
- e. Roof mounted signs.

**ATTACHMENT 5: COMPARATIVE HEIGHT STUDY**

| <b>Property</b>   | <b>Address</b>               | <b>Height</b>  |
|---|------------------------------|----------------|
| Millennium Carillion                                      | 443 Aurora                   | 160.0 FT       |
| <b>Tower Building (Tower Feature) - Hotel Alternative</b> | <b>Water Street District</b> | <b>90.2 FT</b> |
| <b>Tower Building (Roof Parapet) - Hotel Alternative</b>  | <b>Water Street District</b> | <b>85.4 FT</b> |
| <b>Parking Garage - Hotel Alternative</b>                 | <b>Water Street District</b> | <b>84.4 FT</b> |
| <b>Tower Building (Tower Feature) - Condo Alternative</b> | <b>Water Street District</b> | <b>78.3 FT</b> |
| <b>Mixed Use Building - Hotel Alternative</b>             | <b>Water Street District</b> | <b>77.8 FT</b> |
| Washington Street Condominiums                            | 520 S. Washington            | 76.8 FT        |
| <b>Loggia Building (Tower Feature)</b>                    | <b>Water Street District</b> | <b>72.3 FT</b> |
| <b>Parking Garage - Residential Alternative</b>           | <b>Water Street District</b> | <b>71.8 FT</b> |
| Van Buren Expansion\Naper Town Center                     | 3 S. Main                    | 69.0 FT        |
| <b>Loggia Building (Roof Parapet)</b>                     | <b>Water Street District</b> | <b>65.9 FT</b> |
| Van Buren Garage  | 43 W. Van Buren              | 63.9 FT        |
| <b>Theater Building</b>                                   | <b>Water Street District</b> | <b>63.8 FT</b> |
| Main Street Promenade Addition (Not Constructed)          | SWC Main and Benton          | 63.6 FT        |
| <b>Tower Building (Roof Parapet) - Condo Alternative</b>  | <b>Water Street District</b> | <b>62.8 FT</b> |
| <b>Mixed Use Building - Condo Alternative</b>             | <b>Water Street District</b> | <b>62.8 FT</b> |
| Main Street Promenade                                     | 55 S. Main                   | 58.6 FT        |
| River Place Condominiums                                  | 509 - 511 Aurora             | 58.6 FT        |
| Barnes & Nobles   | 47 E. Chicago                | 56.4 FT        |
| Catch 35  | 35 S. Washington             | 53.6 FT        |
| Naperville Central High School Addition                   | Aurora/West                  | 53.0 FT        |
| NCC Fine Art Center                                       | 171 E. Chicago               | 47.7 FT        |
| Benton Terrace  | 180 W. Benton                | 47.3 FT        |
| AT&T  | 111 W. Franklin              | 47.3 FT        |
| Naper Place   | 119 S. Main                  | 45.6 FT        |

## **ATTACHMENT 6: TRAFFIC IMPACT ANALYSIS SUMMARY**

In 2009, the city initiated the South Downtown Traffic Management Study (SDTMS) to evaluate options for improving traffic flow and pedestrian connectivity along the southern perimeter of the Downtown Area. The study area was generally bounded by Chicago Avenue/Aurora Avenue, West Street, Martin Avenue, and Washington Street. The purpose of the SDTMS was to evaluate smaller scale traffic management approaches and/or minor capital improvements that will maximize the efficiency and mobility of vehicular, pedestrian, and bicycle movement throughout the area.

The need for this traffic study was generated by the significant number of new development and renovation projects that are anticipated within the study area within the new few years. These projects include: (1) The Water Street District Development, (2) Naperville Central High School Renovation, and the (3) Naper Settlement Expansion.

A new traffic signal at the intersection of Aurora Avenue and Webster Street, with modifications to the existing traffic signal timings at other locations was recommended with the study when warranted. These improvements are consistent with the SDTMS recommendations. Generally, by comparing the capacity analyses between the existing and future conditions (with improvements), the majority of the intersections in the study area show an improved level of service (LOS), reduced approach delay, or a LOS D or better. In addition the calculated queue lengths for the existing and future analyses indicated that the most significant increase in queue lengths occurs on Aurora Avenue between Eagle Street and Washington Street. This is attributed to the addition of a new traffic signal at Webster Street and increased traffic volumes on the roadways. It is important to note that a new signal at the intersection of Aurora Avenue and Webster Street will negatively impact traffic flow on Aurora Avenue resulting in increased intersection delays, longer queues, and occasional instances where left turning vehicles may not be able to get into the queue. However, there is a balance of mobility among vehicles, bicyclists, and pedestrians that must be taken into account in a downtown situation.

Staff is working with the petitioner to understand the traffic impact in light of the proposed hotel alternative for the South Phase.

**CITY OF NAPERVILLE  
TRANSPORTATION, ENGINEERING AND DEVELOPMENT  
BUSINESS GROUP  
APPLICATION FOR DEVELOPMENT APPROVAL**

**DEVELOPMENT NAME: The Water Street District – North Phase/South Phase**

Date of Submission: June 7, 2010  
Revised: July 23, 2010  
July 28, 2010

**I. APPLICANT/PETITIONER:**

Name: MP Water Street District, LLC  
Address: 401 South Main Street, Suite 300, Naperville, Illinois 60540  
Contact Person: Nick Ryan (815) 954-7072  
Bruno Bottarelli (815) 954-7084  
Relationship of Applicant to Subject Property: Owner/Developer

**II. OWNER OF THE PROPERTY:** Marquette Water St./Webster St. District  
Development Partnership, LLC  
401 South Main Street, Suite 300  
Naperville, Illinois 60540

**III. ACTION REQUESTED:**

|   |   |
|---|---|
| <input type="checkbox"/> Annexation   | <input type="checkbox"/> Rezoning                                   |
| <input checked="" type="checkbox"/> Conditional Use                             | <input type="checkbox"/> Site Plan Review                           |
| <input type="checkbox"/> Preliminary PUD Plat                                   | <input checked="" type="checkbox"/> Final PUD Plat                  |
| <input type="checkbox"/> Major Change to a Conditional Use                      | <input type="checkbox"/> Minor Change to a Conditional Use          |
| <input checked="" type="checkbox"/> Modifications to a Planned Unit Development | <input type="checkbox"/> Minor Change to a Planned Unit Development |
| <input type="checkbox"/> Preliminary Plat of Subdivision                        | <input checked="" type="checkbox"/> Final Plat of Subdivision       |
| <input type="checkbox"/> Subdivision Waivers                                    | <input type="checkbox"/> Zoning Variances                           |
| <input checked="" type="checkbox"/> Sign Variances                              | <input type="checkbox"/> Right-of-Way Vacation                      |

144763/4

IV. APPLICANT'S/PETITIONER'S STAFF:

Attorney: Dommermuth, Brestal, Cobine & West, Ltd. Telephone Number:630/355-5800  
Address: 123 Water Street  
Naperville, Illinois 60540  
Fax Number: 630/355-5976 E-Mail: kew@dbcw.com

Engineer: V3 Companies of Illinois Telephone Number: 630/724-9200  
Address: 7325 Janes Avenue  
Woodridge, Illinois 60517  
Fax Number: 630/724-9202

Architect: Sullivan Goulette Wilson Telephone Number: 312/988-7412  
Address: 750 North Franklin, Ste. 203  
Chicago, Illinois 60610  
Fax Number: 312/988-7409

V. PROJECT DATA:

- 1. Location: Both sides of Water Street between Main Street and Webster Street
- 2. County: DuPage X Will \_\_\_
- 3. General Description of the Site: Commercial Buildings/Parking Lots
- 4. Existing Zoning on the Site: B5 (Secondary Commercial District) PUD/TU (Transitional Use District) PUD
- 5. Acreage of Site: 2.3977 acres (gross)
- 6. Character of Surrounding Area:

|       | ZONING | JURISDICTION       | EXISTING LAND USE   | ADOPTED CITY PLAN       |
|-------|--------|--------------------|---------------------|-------------------------|
| North | B5     | City of Naperville | Riverwalk           | Park/Open Space         |
| South | R2/OCI | City of Naperville | Residential/Offices | Low Density Residential |
| East  | B5     | City of Naperville | Commercial          | Commercial              |

|      |       |                    |                                      |                     |
|------|-------|--------------------|--------------------------------------|---------------------|
| West | R2/B5 | City of Naperville | Municipal Center/<br>Township Office | Other Institutional |
|------|-------|--------------------|--------------------------------------|---------------------|

7. List Controlling Ordinances, Agreements and Plats:
- Ordinance No. 06-242, Approving Water Street Vision Statement
  - Ordinance No. 07-241, Approving a Conditional Use for a Planned Unit Development, a Preliminary Planned Unit Development Plat and a Preliminary Plat of Subdivision with Deviations and Variances
  - Ordinance No. 07-242, Rezoning the Property
  - Ordinance No. 07-243, Vacating a Portion of the Water Street Right-of-Way
  - Ordinance No. 07-262, Approving a Tax Increment Redevelopment Plan and Redevelopment Project
  - Ordinance No. 07-263, Approving the Designation of the Water Street Redevelopment Project Area
  - Ordinance No. 07-264, Adopting Tax Increment Allocation Financing
  - Resolution No. 08-24, Designating Marquette Property Investments, Inc.
  - Ordinance No. 09-103, Extending the Effective Period for The Water Street Planned Unit Development

8. Is this property within the City limits?

Yes

No, requesting annexation

Under review by another governmental agency and requires review due to 1 ½ mile jurisdictional requirements

9. Permanent Parcel Number: 07-13-440-004/005  
07-13-442-020/006/005/004/003/001/010

10. For annexation petition, are there electors living on the property:

Yes

No

**VI. PROPOSED DEVELOPMENT:**

1. Type of Development:

Residential     Commercial     Office

Industrial     Other: Parking

2. Proposed Zoning: B5 (Secondary Commercial District) PUD  
TU (Transitional Use District) PUD
3. Description of Proposal: An integrated development consisting of commercial, retail, restaurant, entertainment, residential and open space uses. The Tower Building and Multi-Use Building may be developed for either residential condominium units or a hotel (consisting of approximately 135 rooms).
4. General Land Use Data:

|              | Resid. | Comm. | Office | Indst. | R.O.W. | Park | School | Private | Other*       | Total        |
|--------------|--------|-------|--------|--------|--------|------|--------|---------|--------------|--------------|
| No. of Acres |        |       |        |        |        |      |        |         | 2.3977 acres | 2.3977 acres |
| % of Total   |        |       |        |        |        |      |        |         | 100%         | 100%         |

\*Other: Mixed Use consisting of commercial, retail, restaurant, entertainment, residential and open space uses

5. Development Densities:

|               | Number of Units | Gross Acres | Gross Density | Modified Gross Acres | Modified Gross Density | Minimum Lot Size | Maximum Lot Size | Average Lot Size |
|---------------|-----------------|-------------|---------------|----------------------|------------------------|------------------|------------------|------------------|
| Single-Family |                 |             |               |                      |                        |                  |                  |                  |
| Townhouse     |                 |             |               |                      |                        |                  |                  |                  |
| Duplex        |                 |             |               |                      |                        |                  |                  |                  |
| Apartment     | *               |             |               |                      |                        |                  |                  |                  |
| Comm.         |                 |             |               |                      |                        |                  |                  |                  |
| Office        |                 |             |               |                      |                        |                  |                  |                  |
| Industrial    |                 |             |               |                      |                        |                  |                  |                  |

\* Hotel Alternative  
 - Number of Units: 32  
 - Gross Density: 13.35 du/ac

Residential Condominium Alternative  
 - Number of Units: 72  
 - Gross Density: 30.03 du/ac

Gross Acres = land designated for land use type including right-of-way  
 Gross Density = number of units divided by gross acres  
 Modified Gross Acres = residential acreage including internal right-of-way, detention facilities, school and park dedications and open space  
 Modified Gross Density = number of units divided by modified gross acres

6. Community Facilities within the Development:

School Site: None

Open Space:

- a. Park Site (to be conveyed to a governmental entity): 8,715 sq. ft.
- b. Common Areas (to be conveyed to a homeowners association): 10,737 sq. ft.
- c. Private Facility (to be conveyed to \_\_\_\_\_):

Total: 19,452 sq. ft.

7. Description of any Non-Residential, Commercial or Industrial portion of the Development: Commercial, retail, restaurant, entertainment, parking

- 8. Description of Stormwater Management Facilities: Underground stormwater management facilities
- 9. Deviations from the Zoning Regulations: As specified in the Preliminary Subdivision and Planned Unit Development Plats
- 10. Deviations from the Subdivision Regulations: As specified in the Preliminary Subdivision and Planned Unit Development Plats
- 11. Deviations from the Landscaping Regulations: As specified in the Preliminary Subdivision and Planned Unit Development Plats

**VII. SCHOOL AND PARK DONATION REQUIREMENTS:**

1. Required School Donation:

Hotel Alternative

Residential Condominium Alternative

- Land: 0.0845 acres

- Land: 0.2097 acres

- Cash: \$26,896.35

- Cash: \$66,747.51

How Satisfied: Cash Donation

2. Required Park Donation:

Hotel Alternative

Residential Condominium Alternative

- Land: 0.5467 acres

- Land: 1.2798 acres

- Cash: \$176,912.12

- Cash: \$414,143.28

How Satisfied: Land/Improvement Donation

### School Donation Work Sheet

**THE WATER STREET DISTRICT - HOTEL ALTERNATIVE**

Name of Subdivision

Land Cash  
 0.0845 \$26,896.35

School Donation = = Total Land x \$318,300.00  
 = Round (((Total Elementary Pop. x 0.0231) + (Total Jr. High Pop. x 0.0208) + (Total High School Pop x 0.0267)),4)

| Type of Unit           | Pre-School<br>0 - 4 Yrs | Elementary<br>Grades K-5 | Junior High<br>Grades 6-8 | High School<br>Grades 9-12 | Adults<br>18-up | Total per<br>Unit |
|------------------------|-------------------------|--------------------------|---------------------------|----------------------------|-----------------|-------------------|
| <b>Detached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-family</b>   |                         |                          |                           |                            |                 |                   |
| 2-bedroom              | 0.120                   | 0.000                    | 0.138                     | 0.000                      | 0.000           | 0.000             |
| 3-bedroom              | 0.268                   | 0.000                    | 0.153                     | 0.000                      | 0.000           | 0.000             |
| 4-bedroom              | 0.385                   | 0.000                    | 0.214                     | 0.000                      | 0.000           | 0.000             |
| 5-bedroom              | 0.403                   | 0.000                    | 0.253                     | 0.000                      | 0.000           | 0.000             |
| <b>Attached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-Family</b>   |                         |                          |                           |                            |                 |                   |
| 1-Bedroom              | 0.097                   | 0.000                    | 0.025                     | 0.000                      | 0.000           | 0.000             |
| 2-Bedroom              | 0.146                   | 0.000                    | 0.038                     | 0.000                      | 0.000           | 0.000             |
| 3-Bedroom              | 0.183                   | 0.000                    | 0.106                     | 0.000                      | 0.000           | 0.000             |
| <b>Apartments</b>      |                         |                          |                           |                            |                 |                   |
| Efficiency             | 0.018                   | 0.072                    | 0.019                     | 0.076                      | 0.076           | 0.000             |
| 4 1-Bedroom            | 0.029                   | 0.696                    | 0.022                     | 0.528                      | 0.576           | 0.000             |
| 24 2-Bedroom           | 0.025                   | 0.100                    | 0.068                     | 0.272                      | 0.256           | 0.000             |
| 4 3-Bedroom            |                         |                          |                           |                            |                 |                   |
| <b>People Produced</b> | <b>0.868</b>            | <b>1.820</b>             | <b>0.876</b>              | <b>0.908</b>               | <b>55.688</b>   | <b>60.112</b>     |

### School Donation Work Sheet

**THE WATER STREET DISTRICT - CONDOMINIUM ALTERNATIVE**

Name of Subdivision

Land Cash  
**0.2097** **\$66,747.51**

= Total Land x \$318,300.00  
 = Round (((Total Elementary Pop. x 0.0231) + (Total Jr. High Pop. x 0.0208) + (Total High School Pop x 0.0267)),4)

School Donation =

| Type of Unit           | Pre-School<br>0 - 4 Yrs | Elementary<br>Grades K-5 | Junior High<br>Grades 6-8 | High School<br>Grades 9-12 | Adults<br>18-up | Total per<br>Unit |
|------------------------|-------------------------|--------------------------|---------------------------|----------------------------|-----------------|-------------------|
| <b>Detached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-family</b>   |                         |                          |                           |                            |                 |                   |
| 2-bedroom              | 0.120                   | 0.000                    | 0.138                     | 0.000                      | 1.856           | 2.746             |
| 3-bedroom              | 0.268                   | 0.000                    | 0.153                     | 0.000                      | 1.913           | 2.955             |
| 4-bedroom              | 0.385                   | 0.000                    | 0.214                     | 0.000                      | 2.095           | 3.494             |
| 5-bedroom              | 0.403                   | 0.000                    | 0.253                     | 0.000                      | 2.409           | 3.943             |
| <b>Attached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-Family</b>   |                         |                          |                           |                            |                 |                   |
| 1-Bedroom              |                         |                          |                           |                            |                 | 0.000             |
| 2-Bedroom              | 0.097                   | 0.000                    | 0.025                     | 0.000                      | 1.380           | 1.616             |
| 3-Bedroom              | 0.146                   | 0.000                    | 0.038                     | 0.000                      | 1.585           | 1.974             |
| 4-Bedroom              | 0.183                   | 0.000                    | 0.106                     | 0.000                      | 2.102           | 2.767             |
| <b>Apartments</b>      |                         |                          |                           |                            |                 |                   |
| Efficiency             |                         |                          |                           |                            |                 | 0.000             |
| 7 1-Bedroom            | 0.018                   | 0.126                    | 0.019                     | 0.133                      | 1.400           | 1.400             |
| 49 2-Bedroom           | 0.029                   | 1.421                    | 0.022                     | 1.078                      | 1.678           | 11.746            |
| 16 3-Bedroom           | 0.025                   | 0.400                    | 0.068                     | 1.088                      | 1.699           | 83.251            |
| <b>People Produced</b> | <b>1.947</b>            | <b>4.312</b>             | <b>2.299</b>              | <b>2.333</b>               | <b>127.797</b>  | <b>138.611</b>    |

Park Donation Work Sheet

Name of Subdivision THE WATER STREET DISTRICT - HOTEL ALTERNATIVE

Land Donation x \$323,600.00

Cash \$176,912.12

Land 0.5467

Park Donation =

=Round((Total People Produced x 0.0086),4)

| Type of Unit           | Pre-School<br>0 - 4 Yrs | Elementary<br>Grades K-5 | Junior High<br>Grades 6-8 | High School<br>Grades 9-12 | Adults<br>18-up | Total per<br>Unit |
|------------------------|-------------------------|--------------------------|---------------------------|----------------------------|-----------------|-------------------|
| <b>Detached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-family</b>   |                         |                          |                           |                            |                 |                   |
| 2-bedroom              | 0.127                   | 0.000                    | 0.102                     | 0.000                      | 1.779           | 0.000             |
| 3-bedroom              | 0.244                   | 0.000                    | 0.179                     | 0.000                      | 1.892           | 0.000             |
| 4-bedroom              | 0.348                   | 0.000                    | 0.235                     | 0.000                      | 2.116           | 0.000             |
| 5-bedroom              | 0.333                   | 0.000                    | 0.262                     | 0.000                      | 2.344           | 0.000             |
| <b>Attached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-Family</b>   |                         |                          |                           |                            |                 |                   |
| 1-Bedroom              |                         |                          |                           |                            |                 | 0.000             |
| 2-Bedroom              | 0.072                   | 0.000                    | 0.044                     | 0.000                      | 1.610           | 0.000             |
| 3-Bedroom              | 0.157                   | 0.000                    | 0.060                     | 0.000                      | 1.746           | 0.000             |
| 4-Bedroom              | 0.217                   | 0.000                    | 0.154                     | 0.000                      | 2.127           | 0.000             |
| <b>Apartments</b>      |                         |                          |                           |                            |                 |                   |
| Efficiency             |                         |                          |                           |                            | 1.210           | 0.000             |
| 4 1-Bedroom            | 0.015                   | 0.060                    | 0.013                     | 0.052                      | 1.691           | 6.764             |
| 24 2-Bedroom           | 0.037                   | 0.888                    | 0.028                     | 0.672                      | 1.748           | 41.952            |
| 4 3-Bedroom            | 0.037                   | 0.148                    | 0.091                     | 0.364                      | 2.330           | 9.320             |
| <b>People Produced</b> | <b>1.096</b>            | <b>1.096</b>             | <b>1.088</b>              | <b>1.104</b>               | <b>58.036</b>   | <b>63.568</b>     |

Park Donation Work Sheet

THE WATER STREET DISTRICT - CONDOMINIUM ALTERNATIVE

Name of Subdivision

Land 1.2798  
Cash \$414,143.28

= Land Donation x \$323,600.00

Park Donation =

=Round((Total People Produced x 0.00886),4)

| Type of Unit           | Pre-School<br>0 - 4 Yrs | Elementary<br>Grades K-5 | Junior High<br>Grades 6-8 | High School<br>Grades 9-12 | Adults<br>18-up | Total per<br>Unit |
|------------------------|-------------------------|--------------------------|---------------------------|----------------------------|-----------------|-------------------|
| <b>Detached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-family</b>   |                         |                          |                           |                            |                 |                   |
| 2-bedroom              | 0.127                   | 0.327                    | 0.102                     | 0.118                      | 1.779           | 2.453             |
| 3-bedroom              | 0.244                   | 0.440                    | 0.179                     | 0.177                      | 1.892           | 2.930             |
| 4-bedroom              | 0.348                   | 0.522                    | 0.235                     | 0.265                      | 2.116           | 3.486             |
| 5-bedroom              | 0.333                   | 0.533                    | 0.262                     | 0.279                      | 2.344           | 3.750             |
| <b>Attached</b>        |                         |                          |                           |                            |                 |                   |
| <b>Single-Family</b>   |                         |                          |                           |                            |                 |                   |
| 1-Bedroom              |                         |                          |                           |                            |                 | 0.000             |
| 2-Bedroom              | 0.072                   | 0.091                    | 0.044                     | 0.080                      | 1.610           | 1.897             |
| 3-Bedroom              | 0.157                   | 0.178                    | 0.060                     | 0.113                      | 1.746           | 2.253             |
| 4-Bedroom              | 0.217                   | 0.358                    | 0.154                     | 0.198                      | 2.127           | 3.053             |
| <b>Apartments</b>      |                         |                          |                           |                            |                 |                   |
| Efficiency             |                         |                          |                           |                            | 1.210           | 1.210             |
| 7 1-Bedroom            | 0.015                   | 0.033                    | 0.013                     | 0.013                      | 0.091           | 11.837            |
| 49 2-Bedroom           | 0.037                   | 0.063                    | 0.028                     | 0.030                      | 1.470           | 85.652            |
| 16 3-Bedroom           | 0.037                   | 0.152                    | 0.091                     | 0.083                      | 1.328           | 37.280            |
| <b>People Produced</b> | <b>2.510</b>            | <b>5.750</b>             | <b>2.919</b>              | <b>2.889</b>               | <b>134.769</b>  | <b>148.814</b>    |

Water Street District

STATE OF ILLINOIS )  
 )  
 COUNTIES OF DUPAGE AND WILL )  
 )  
 CITY OF NAPERVILLE )

SECOND  
 REVISED  
 PETITION TO APPROVE MODIFICATIONS TO  
 THE WATER STREET DISTRICT PLANNED UNIT DEVELOPMENT

The undersigned Petitioner, **MP WATER STREET DISTRICT, LLC**, the developer, respectfully petitions the City of Naperville (a) to modify The Water Street District Planned Unit Development, pursuant to Section 6-4-6 of the Zoning Regulations of the Naperville Municipal Code, for the property legally described on **Exhibit A** and depicted on **Exhibit B1, Exhibit B2a** and **Exhibit B2b**, which exhibits are attached hereto and made a part hereof, (hereinafter referred to as the "Subject Property"), (b) to approve a Conditional Use for Hotels, pursuant to Section 6-3-8 and Section 6-7E-3:7 of the Zoning Regulations of the Naperville Municipal Code, (c) to approve Final Plats of Subdivision for the Subject Property, pursuant to Section 7-2-5 of the Subdivision Control Regulations of the Naperville Municipal Code, as depicted on **Exhibit C1, Exhibit C2a** and **Exhibit C2b**, which exhibits are attached hereto and made a part hereof, (d) to grant variances in the front yard, interior side yard and rear yard requirements as set forth in Section 6-7E-7 of the Zoning Regulations of the Naperville Municipal Code for Lot 1/2 as depicted on the Final Planned Unit Development Plat The Water Street District North Phase and the Final Plat of Subdivision The Water Street District North Phase, (e) to grant any requisite zoning and/or subdivision deviations and/or variances associated with the requested Modifications to the Planned Unit Development, Conditional Use and Final Plats of Subdivision, (f) to approve the Park/Recreational Contribution, pursuant to Section 7-3-5 of the Subdivision

Control Regulations of the Naperville Municipal Code, (g) to grant a variance from Section 5-4-4:1 of the Street Graphics Control Regulations of the Naperville Municipal Code to allow additional wall signs (on each building along the frontage of the Riverwalk and along the frontage of the plaza), and (h) to approve the encroachments of a pedestrian bridge, a roof, and balconies over the public right-of-way.

In support of this Petition, the Petitioner represents to the City of Naperville as follows:

1. That the Petitioner, **MP WATER STREET DISTRICT, LLC**, 401 South Main Street, Naperville, Illinois 60540, is the developer of the Subject Property.
2. That **MARQUETTE WATER ST./WEBSTER ST. DISTRICT DEVELOPMENT PARTNERSHIP, LLC**, 401 South Main Street, Suite 300, Naperville, Illinois 60540, is the owner of the Subject Property.
3. That The Water Street District Planned Unit Development was approved by the City on November 7, 2007 pursuant to Ordinance No. 07-241.
4. That the Subject Property is within the corporate limits of the City of Naperville, DuPage and Will Counties, Illinois.
5. That the Subject Property consists of 2.3977 acres, and is located both sides of Water Street between Main Street and Webster Street and is in the County of DuPage, Illinois.
6. That a portion of the Subject Property is zoned B5 (Secondary Commercial District) and a portion of the Subject Property is zoned TU (Transitional Use District) and that all of the Subject Property is subject to a planned unit development.
7. That the Subject Property is presently improved with commercial buildings and parking lots.
8. That the existing land uses surrounding the Subject Property are as follows:

- North: Riverwalk
- East: Commercial
- South: Residential/Offices
- West: Naperville Municipal Center/Naperville Township Office.

9. That the Petitioner proposes to develop the Subject Property with an integrated development consisting of commercial, retail, restaurant, entertainment, residential and open space uses as depicted on the Final Planned Unit Development Plats attached hereto as **Exhibit B1, Exhibit B2a and Exhibit B2b.**

10. That the Petitioner proposes to modify The Water Street Planned Unit Development as follows:

- a. to incorporate the property located at 117 Water Street and legally described in ~~Exhibit D, which exhibit is attached hereto and made a part hereof,~~ into the Water Street District Planned Unit Development.
- b. to increase the size of the Loggia Building through the addition of the property described in "a" above from 24,409 square feet to 62,396 square feet.
- c. to change the uses within the Loggia Building as follows:
  - i. to increase the amount of retail/restaurant/office/commercial area from 9,577 square feet to 19,757 square feet.
  - ii. to increase the number of residential units from 8 to 20.
  - iii. to eliminate parking on the second floor.
- d. to incorporate a pedestrian bridge across Water Street.
- e. to change the uses of the second through fifth floors of the Tower Building and Multi-Use Building from residential condominium units to a hotel, if market

conditions warrant said hotel use .

f. if the hotel use is chosen, to change the Tower Building and Multi-Use Building as follows:

i. to increase the height of the Tower Building/Multi-Use Building and the Parking Structure from 79 feet to 90 feet/2 inches which will provide a sixth floor to these three buildings.

ii. to increase the size of the Tower Building/Multi-Use Building from 92,021 square feet to 111,754 square feet.

iii. to increase the number of parking spaces in the Parking Structure from 559 to 690.

iv. to increase the Floor Area Ratio of The Water Street District Planned Unit Development from 1.96 to 2.12.

11. That the Petitioner requests that the use of the Tower Building/Multi-Use Building be for either residential condominium units or a hotel and that these uses be considered alternative uses, which in the Petitioner's sole discretion, it can determine which use to incorporate into the Tower Building/Multi-Use Building without any further approvals from the City of Naperville, provided that the use and design of the buildings are in conformance with the Final Plats of Planned Unit Development (**Exhibits B2a/B2b**) and elevation drawings, as depicted on **Exhibit E1 and E2**, which exhibits are attached hereto and made a part hereof.

12. That the requested Modifications to The Water Street District Planned Unit Development would allow the Petitioner to utilize the Subject Property to an extent which would be compatible with surrounding uses and which would expand its use to the highest and best use of the real estate for the benefit of both the Petitioner and the community.

13. That the requested Modifications to the Planned Unit Development are appropriate under Section 6-4-7 of the Zoning Regulations of the Naperville Municipal Code based on the following factors:

- a. *The design of the planned unit development presents an innovative and creative approach to the development of land and living environments.*

The modifications proposed by Petitioner do not alter the concept or intent of the approved planned unit development for The Water Street District. The intent of the underlying planned unit development is to create a unique living, shopping, dining and working environment in Downtown Naperville by integrating commercial, retail, restaurant, office, entertainment, parking, residential and open space uses into a cohesive development. The proposed expansion of The Water Street District Planned Unit Development enhances and maintains that purpose and intent. The proposed hotel use augments the varied nature of this Planned Unit Development; it will provide a facility not presently located in Downtown Naperville, which facility will contribute to the vitality of this area. The design of The Water Street District Planned Unit Development is not altered by these modifications. Therefore, this development continues to present an innovative and creative approach to land development.

- b. *The planned unit development meets the requirements and standards of the planned unit development regulations.*

The proposed modifications to the planned unit development do not alter the requirements and standards of the planned unit development regulations as previously approved.

- c. *The physical design of the planned unit development efficiently utilizes the land and adequately provides for transportation and public facilities while preserving the natural features of the site.*

The proposed modifications do not substantially alter the physical design of The Water Street District Planned Unit Development. An adjacent property is incorporated into the development. The design of the buildings, plaza and Riverwalk are modified only to the extent necessary to integrate the additional property into the planned unit development. The proposed pedestrian bridge adds an architectural feature to the development. The alternative hotel use does not affect the site design of this development proposal. The design of The Water Street District Planned Unit Development is not materially altered from the approved planned unit development.

- d. *Open space, outdoor common area, and recreational facilities are provided.*

The proposed expansion of The Water Street District Planned Unit Development

will continue the development of The Riverwalk along the south side of the River. The larger Loggia Building and the proposed alternative hotel uses do not impact the provision of open space as provided in the approved planned unit development.

- e. *The modifications in design standards from the subdivision control regulations and the waivers in bulk regulations from the zoning regulations fulfill the intent of those regulations.*

The proposed modifications to the planned unit development do not alter the design standards as previously approved.

- f. *The planned unit development is compatible with the adjacent properties and nearby land uses.*

In approving The Water Street Planned Unit Development, the City determined that this proposed development is compatible with the adjacent properties and nearby land uses. The concept of the approved planned unit development is not altered by its expansion and proposed hotel use thereby maintaining compatibility with Downtown Naperville and the surrounding residential areas.

- g. *The planned unit development fulfills the objectives of the comprehensive plan and planning policies of the City.*

The proposed modifications are consistent with the City's planning documents, including the Water Street Vision Statement, thereby fulfilling the objectives of the planning policies of the City.

- 14. That the requested Conditional Use for Hotels is appropriate under Section 6-3-8

of the Zoning Regulations of the Naperville Municipal Code based on the following factors:

- a. *The establishment, maintenance or operation of the conditional use will not be detrimental to, or endanger the public health, safety and general welfare.*

The proposed development of Water Street expands Downtown Naperville and includes retail, restaurant, office, residential and open spaces uses. Over the past several years, Downtown Naperville has become a destination place due to the vitality of its retail, commercial and restaurant uses. However, there are no hotels in Downtown Naperville. The only hotel facilities serving Downtown Naperville are located along the Tollway corridor. The proposed hotel use will enhance Downtown Naperville and provide a facility which will serve visitors to the community. The proposed hotel use will support Downtown Naperville and contribute to its vitality. Because of its location within Downtown Naperville, this proposed conditional use will not be detrimental to, or endanger, the public health, safety and general welfare.

- b. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate area for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The Water Street District Planned Unit Development is a self-contained development. The proposed hotel use will be incorporated into the Tower Building/Multi-Use Building already approved as elements of the Planned Unit Development. This use will also provide another service to Downtown Naperville, which use is not presently located in this area. Hotel use is compatible with and benefits the retail/commercial/restaurant/office uses of Downtown Naperville and contributes to the vitality of this area. Therefore, the proposed hotel use will not be injurious to the use and enjoyment of other properties in the area nor diminish or impair property values in the neighborhood.

- c. *The establishment of the conditional use will not impede the normal and orderly development and improvement of the adjacent property for uses permitted in the district.*

Because The Water Street District Planned Unit Development is a self-contained project and incorporates almost all of the area, the proposed hotel use should not impede the normal and orderly development and improvement of adjacent properties.

15. That one of the proposed modifications to The Water Street District Planned Unit Development is the incorporation of the property located at 117 Water Street and the enlargement of the Loggia Building, which modification requires variances in the front yard, interior side yard, and rear yard requirements.

16. That the requested variances in the front yard, interior side yard, and rear requirements for the enlarged Loggia Building meet the standards for a variance pursuant to Section 6-3-5 of the Zoning Regulations of the Naperville Municipal Code in the same manner as the previously approved Loggia Building.

17. That the Petitioner proposes to satisfy the Park/Recreational Contribution through the donation of land and the improvement thereof for the extension of the Riverwalk.

18. That said Park/Recreational Contribution is appropriate under Section 7-3-5 of the

Subdivision Control Regulations of the Naperville Municipal Code as set forth in the Statement of Issue, Facts and Justification which is attached hereto as **Exhibit F** and made a part hereof.

19. That the requested variance to the Street Graphics Control Regulations is appropriate under Section 5-4-20 of the Street Graphics Control Regulations of the Naperville Municipal Code based on the following factors:

- a. *The plight of the owner is due to unique circumstances and the proposed variation will not merely serve as a convenience to the petitioner, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations of this chapter were carried out and which particular hardship or practical difficulty is not generally applicable to other comparable signs or properties.*

The design of the Water Street District was dictated, in part, by the guidelines set forth in the Water Street Vision Statement. The City encouraged development which would extend Downtown Naperville across the River, create pedestrian-friendly public spaces, and enhance the Riverwalk. The Petitioner has designed a development which incorporates these elements. By fulfilling the vision, the buildings need to be oriented toward Water Street, the plaza and the Riverwalk, thereby creating the need for signage on all three façades. The unique conditions of this development are its design and location. Its site layout and architectural design will create a vibrant space which combines private uses and public open spaces. This will be a unique development in Downtown Naperville. In order to adequately identify the tenants within these buildings, which will enhance the economy of the City, this additional signage is necessary. Therefore, the requested variance is reasonable.

- b. *The alleged hardship has not been created by any person presently having a proprietary interest in the subject sign (or property).*

The necessity for the variance is created by the location of the Subject Property along the DuPage River and the dictates of the Water Street Vision Statement. In order to enhance the Riverwalk, buildings must be oriented toward the Riverwalk with corresponding need for signage. The unique nature of this property creates the hardship, not the Petitioner.

- c. *The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.*

Downtown Naperville is a vibrant mix of retail, commercial, restaurant, office and entertainment uses. All of these businesses require signage, some of which is visible along the Riverwalk. The Petitioner has prepared design guidelines

relating to signage for this development. Because this development is an integral part of the Downtown and with the design guidelines, the proposed variance will not be detrimental to the public welfare nor injurious to other properties or improvements in the area.

- d. *The proposed variation will not impair visibility to the adjacent property, increase the danger of traffic problems or endanger the public safety.*

The proposed signage will be located along the Riverwalk and the plaza. It is designed for the pedestrian-oriented nature of this development. Because of the restrictions placed on signage through the design guidelines, the proposed variance will not impair visibility, increase traffic problems or endanger the public safety.

- e. *The proposed variation will not alter the essential character of the neighborhood.*

The Water Street District will be an extension of Downtown Naperville. Because of the vibrant pedestrian-oriented nature of Downtown Naperville, the Street Graphics Control Regulations provide for signage other than along street frontage, including the Riverwalk. The proposed signage is consistent with other signage in Downtown Naperville. Businesses which front the Riverwalk and/or the River are identified through signage on that façade. Therefore, the proposed signage, with the requested variance, will not alter the essential character of the neighborhood nor be a substantial detriment to adjacent properties.

- f. *The proposed variation is in harmony with the spirit and intent of this chapter.*

The spirit and intent of the Street Graphics Control Regulations is to provide signage that adequately identifies businesses within the community while being sensitive to the aesthetics of the environment in which the signs are located.

The Water Street District is a cohesive development integrating commercial, retail, restaurant, office, entertainment, residential and open space uses. The portion of The Water Street District located between Water Street and the River will consist of two buildings, a plaza located between the buildings which connect Water Street and the Riverwalk, an extension of the Riverwalk and an upper level boardwalk. The buildings will be designed so that the tenants within these buildings will be oriented toward Water Street, the plaza and the Riverwalk. In order for this development to be successful, it will require signage on all three of these façades. For the westerly building (known as the Theatre Building), one sign on the plaza façade and one sign on the Riverwalk façade (in addition to the signage allowed on the Water Street façade) will be necessary. The easterly building (known as the Loggia Building) will need up to three signs on the Riverwalk façade (one per tenant) and one sign on the plaza façade (in addition to the signage allowed on the Water Street façade). The Street Graphics Control Regulations only allow signage on those façades of buildings which have street

frontage, customer access and/or parking. Because the plaza and Riverwalk façades do not qualify under these criteria, a variance for signage on these façades is necessary.

Due to the unique location of The Water Street District and its integration of buildings and open spaces, additional signage is necessary to identify businesses within this development, while the signage being requested is consistent with other signage in Downtown Naperville. Therefore, the variance is in harmony with the spirit and general purpose of the Street Graphics Control Regulations.

WHEREFORE, by reason of the foregoing, the Petitioner requests that with respect to the Subject Property:

1. That the City Council and the Plan Commission take the actions required (a) to modify The Water Street Planned Unit Development, pursuant to Section 6-4-6 of the Zoning Regulations of the Naperville Municipal Code, for the Subject Property as depicted on **Exhibit B1, Exhibit B2a and Exhibit B2b**, which exhibits are attached hereto and made a part hereof, (b) to approve a Conditional Use for Hotels, pursuant to Section 6-3-8 and Section 6-7E-3:7 of the Zoning Regulations of the Naperville Municipal Code, (c) to approve Final Plats of Subdivision for the Subject Property, pursuant to Section 7-2-5 of the Subdivision Control Regulations of the Naperville Municipal Code, as depicted on **Exhibit C1, Exhibit C2a and Exhibit C2b**, which exhibits are attached hereto and made a part hereof, (d) to grant variances in the front yard, interior side yard, and rear yard requirements as set forth in Section 6-7E-7 of the Zoning Regulations of the Naperville Municipal Code for Lot 1/2 as depicted on the Final Planned Unit Development Plat The Water Street District North Phase and the Final Plat of Subdivision The Water Street District North Phase, (e) to grant any requisite zoning and/or subdivision deviations and/or variances associated with the requested Modifications to the Planned Unit Development, Conditional Use and Final Plats of Subdivision, (f) to approve the Park/Recreational Contribution, pursuant to Section 7-3-5 of the Subdivision Control

Regulations of the Naperville Municipal Code, (g) to grant a variance from Section 5-4-4:1 of the Street Graphics Control Regulations of the Naperville Municipal Code to allow additional wall signs (on each building along the frontage of the Riverwalk and along the frontage of the plaza), and (h) to approve the encroachments of a pedestrian bridge, a roof, and balconies over the public right-of-way.

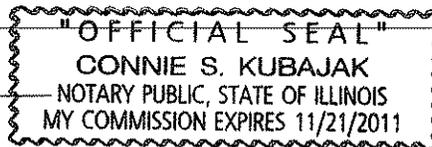
2. That such other action be taken as is appropriate in the premises.

Respectfully submitted on this 28<sup>th</sup> day of July, 2010.

By: *Galilee C. West*  
Dommermuth, Brestal, Cobine & West, Ltd.  
Attorneys for Petitioner

Subscribed and sworn to before me  
this 28<sup>th</sup> day of July, 2010.

*Connie S. Kubajak*  
Notary Public



THE WATER STREET DISTRICT PLANNED UNIT DEVELOPMENT  
LEGAL DESCRIPTION

NORTH PHASE

LOTS 3 THROUGH 7 INCLUSIVE IN BLOCK ONE IN MARTIN'S ADDITION TO NAPERVILLE, BEING A SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 6, 1847 AS DOCUMENT 2584, IN DUPAGE COUNTY, ILLINOIS.

07-13-440-004; 07-13-440-005

SOUTH PHASE

LOTS 2 THROUGH 8 INCLUSIVE IN BLOCK FOUR, A NINE (9') STRIP OF TO BE VACATED WATER STREET LYING IMMEDIATELY NORTH OF SAID LOTS 2 THROUGH 8 INCLUSIVE, AND LOT 9 AND THAT PART OF LOT 10, IN BLOCK FOUR DESCRIBED BY BEGINNING AT THE SOUTHWEST CORNER OF LOT 9, AFORESAID, AND RUNNING THENCE EAST 60 FEET ALONG AURORA AVENUE (FORMERLY KNOWN AS HIGH STREET); THENCE NORTH PARALLEL WITH WEBSTER STREET, TO THE NORTH LINE OF LOT 10, AFORESAID; THENCE WEST ON THE NORTH LINE OF LOTS 9 AND 10, A DISTANCE OF 60 FEET; THENCE SOUTH ON THE EAST LINE OF WEBSTER STREET TO THE POINT OF BEGINNING, IN BLOCK FOUR IN MARTIN'S ADDITION TO NAPERVILLE, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 6, 1847 AS DOCUMENT 2584, IN DUPAGE COUNTY, ILLINOIS.

07-13-442-020; 07-13-442-006; 07-13-442-005; 07-13-442-004; 07-13-442-003; 07-13-442-001; 07-13-442-010



FINAL PLAN OF SUBDIVISION
THE WATER STREET DISTRICT
NORTH PHASE

S. CERTIFICATE
F. LINDS )
) SS
MARQUETTE WATER ST. / WEBSTER ST. DISTRICT DEVELOPMENT PARTNERSHIP, LLC AN ILLINOIS LIMITED LIABILITY COMPANY IS THE OWNER...

STATE AFORESAID, DO HEREBY CERTIFY THAT NICHOLAS M. RYAN
A NOTARY PUBLIC IN AND FOR THE SAID COUNTY OF DUPage, ILLINOIS...

SCHOOL DISTRICT BOUNDARY STATEMENT
THE UNDERSIGNED, BEING DUJAY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:
I, THE MARQUETTE WATER ST. / WEBSTER ST. DISTRICT DEVELOPMENT PARTNERSHIP, LLC...

NOTARY PUBLIC SIGNATURE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

DUPage COUNTY RECORDER'S CERTIFICATE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

NOTARY PUBLIC SIGNATURE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

PREPARED FOR:
MARQUETTE PROPERTY INVESTMENTS
509 AUBURN AVENUE
NAPERVILLE, ILLINOIS 60540
630.369.8855

MORTGAGE CERTIFICATE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010
MORTGAGEE: FARMERS AND TRUST COMPANY, AN ILLINOIS BANKING CORPORATION...

DUPage COUNTY RECORDER'S CERTIFICATE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

PLAN COMMISSION CERTIFICATE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

CITY TREASURER'S CERTIFICATE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

CITY COUNCIL CERTIFICATE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

DUPage COUNTY CLERK'S CERTIFICATE
STATE OF ILLINOIS )
COUNTY OF DUPage )
DATE OF THIS INSTRUMENT, A.D. 2010

PEDESTRIAN EASEMENT PROVISIONS
PERPETUAL, NONEXCLUSIVE ACCESS EASEMENTS FOR PEDESTRIAN INGRESS AND EGRESS ARE HEREBY RESERVED FOR AND GRANTED TO THE PUBLIC ON, OVER, AND UNDER THE LAND...

Table with 4 columns: NO., DATE, REVISIONS, DESCRIPTION. Row 1: 1, 02/11/09, REVISIONS, DESCRIPTION.

STORM WATER MANAGEMENT EASEMENT AND COVENANT PROVISIONS
OWNER AND DEVELOPER SHALL FURNISH AND MAINTAIN A STORM WATER MANAGEMENT EASEMENT AND COVENANT ASSOCIATION...

PERPETUAL PUBLIC STORMWATER AND DRAINAGE EASEMENTS ARE HEREBY GRANTED TO CITY OF NAPERVILLE, ITS AGENTS, SUCCESSORS AND ASSIGNS...

5. IF THE PROPERTY ASSOCIATION FAILS TO MAINTAIN THE STORMWATER FACILITIES OR CONTRACTORS, WILL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM MAINTENANCE, REPAIR, CONSTRUCTION...

6. THE CITY MAY CONTRACT SUCH MUNICIPAL UTILITY FACILITIES ON LOT 5 FROM THE CITY ENGINEER OR THE CITY ENGINEER'S DESIGNEE...

7. FURTHER CERTIFY THAT THE ANNEKED PLAT IS A CORRECT REPRESENTATION AND SHOWN AND APPROVED BY THE STATE OF ILLINOIS...

CHARLES W. BARTOZ, LAND SURVEYOR NO. 35-3188
BY LICENSE EXPIRES ON NOVEMBER 30, 2010
I, CHARLES W. BARTOZ, LAND SURVEYOR NO. 35-3188...

FINAL PLAN OF SUBDIVISION
THE WATER STREET DISTRICT, NAPERVILLE, ILLINOIS
DRAWN BY: SEK PROJECT NUMBER: ANM
CHECKED BY: CMB SCALE: 1" = 1/4"

FINAL - Plan Commission - 8/18/2010 - 65
Project No: 0207.COMU
Group No: W04.6
SHEET No: 2 of 2























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## Water Street District North Side Improvements Final Landscape Plans

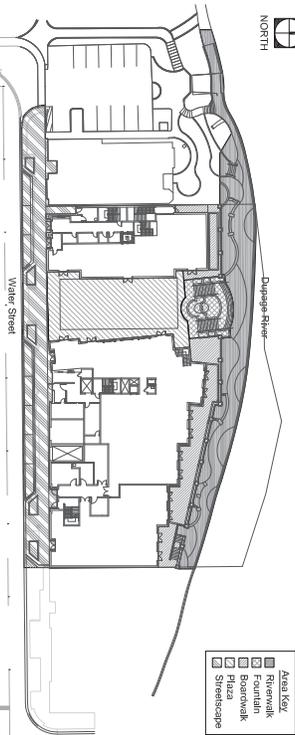
Naperville, Illinois  
July 28, 2010

Marquette Companies  
175 S High Point Drive  
Romeoville, Illinois 60446

Project Number:  
01-0167-020-X02-04-09

**Project Team**  
Civil Engineer  
V3 Companies  
7325 James Avenue  
Woodridge, IL 60517  
T (630) 724-9200  
F (630) 724-9202  
Architect  
Sullivan Goulette & Wilson, Ltd.  
750 North Franklin, Suite 203  
Chicago, Illinois 60610  
T (312) 988-7412  
F (312) 988-7409

### Project Key Map



- Area Key
- Riverwalk
- Fountain
- Boardwalk
- Streetscape

### Sheet Index

|     |                                     |
|-----|-------------------------------------|
| LM1 | Layout & Materials Plan             |
| LM2 | Layout & Materials Plan Enlargement |
| UD1 | Underdrain Plan                     |
| IR1 | Irrigation Plan                     |
| PL1 | Planting Plan                       |
| PL2 | Planting Plan Enlargement           |
| D1  | Details                             |
| D2  | Details                             |
| D3  | Details                             |
| D4  | Details                             |
| D5  | Details                             |
| D6  | Details                             |

### General Notes

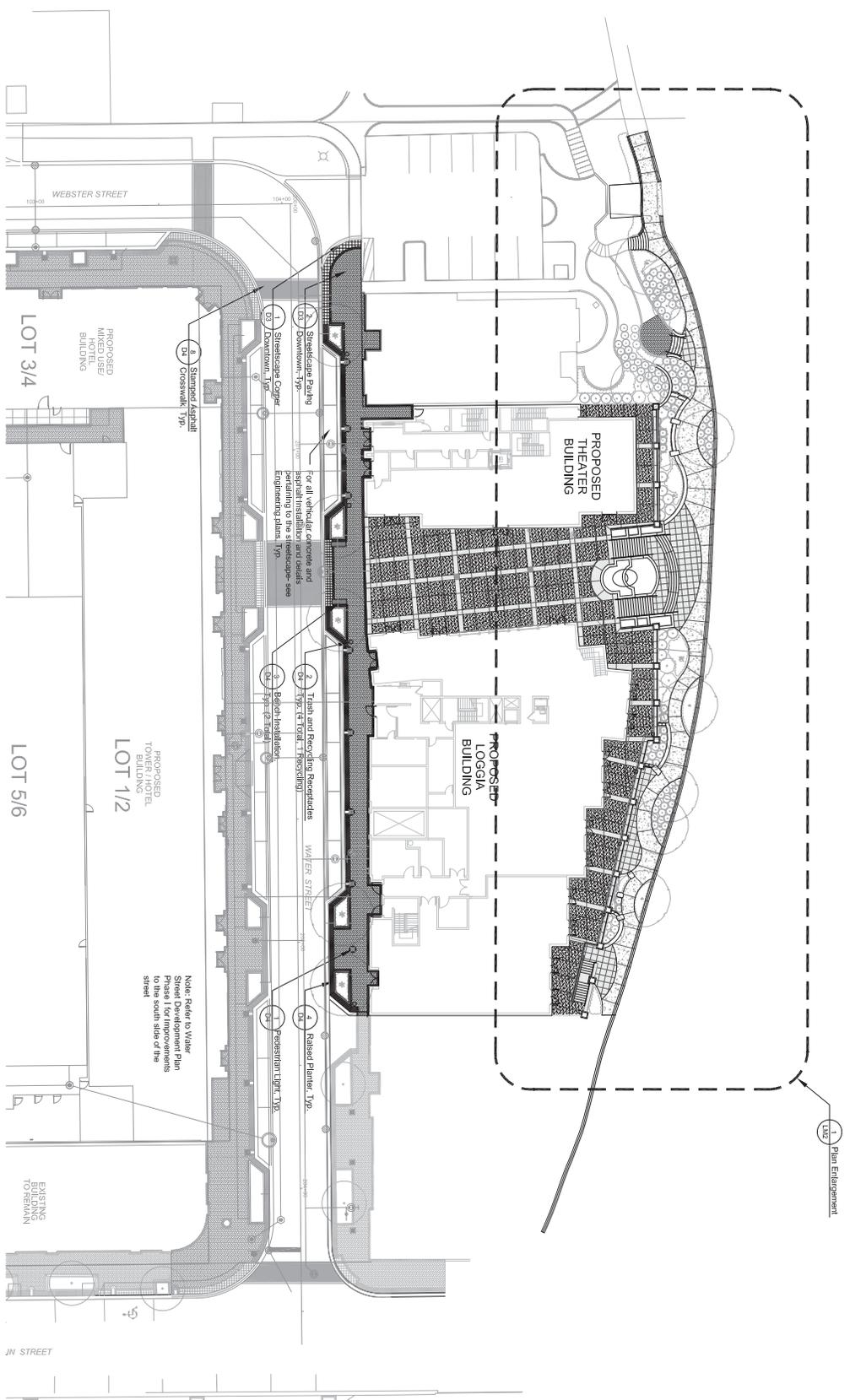
1. Basemap information obtained from plans prepared by V3 Companies received July 26, 2010.
2. Verify site conditions and information on drawings. Promptly report any concealed or unreported conditions to the Engineer. The Engineer is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and post for permits. Fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Do not locate plants within 10' of utility structures. Do not locate plants within 5' horizontally of underground utility lines.
5. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as shown. No additional payments will be made for materials required to complete the work as shown.
6. Refer to specification manual for additional conditions, standards and notes.
7. See Civil Engineering and Architecture plans for additional site layout and material information in vehicular areas and pedestrian areas outside of work limits.
8. See Civil Engineering plans for all grading and stormwater management information.
9. See Architectural plans for building and boardwalk information.

### Project Location Map

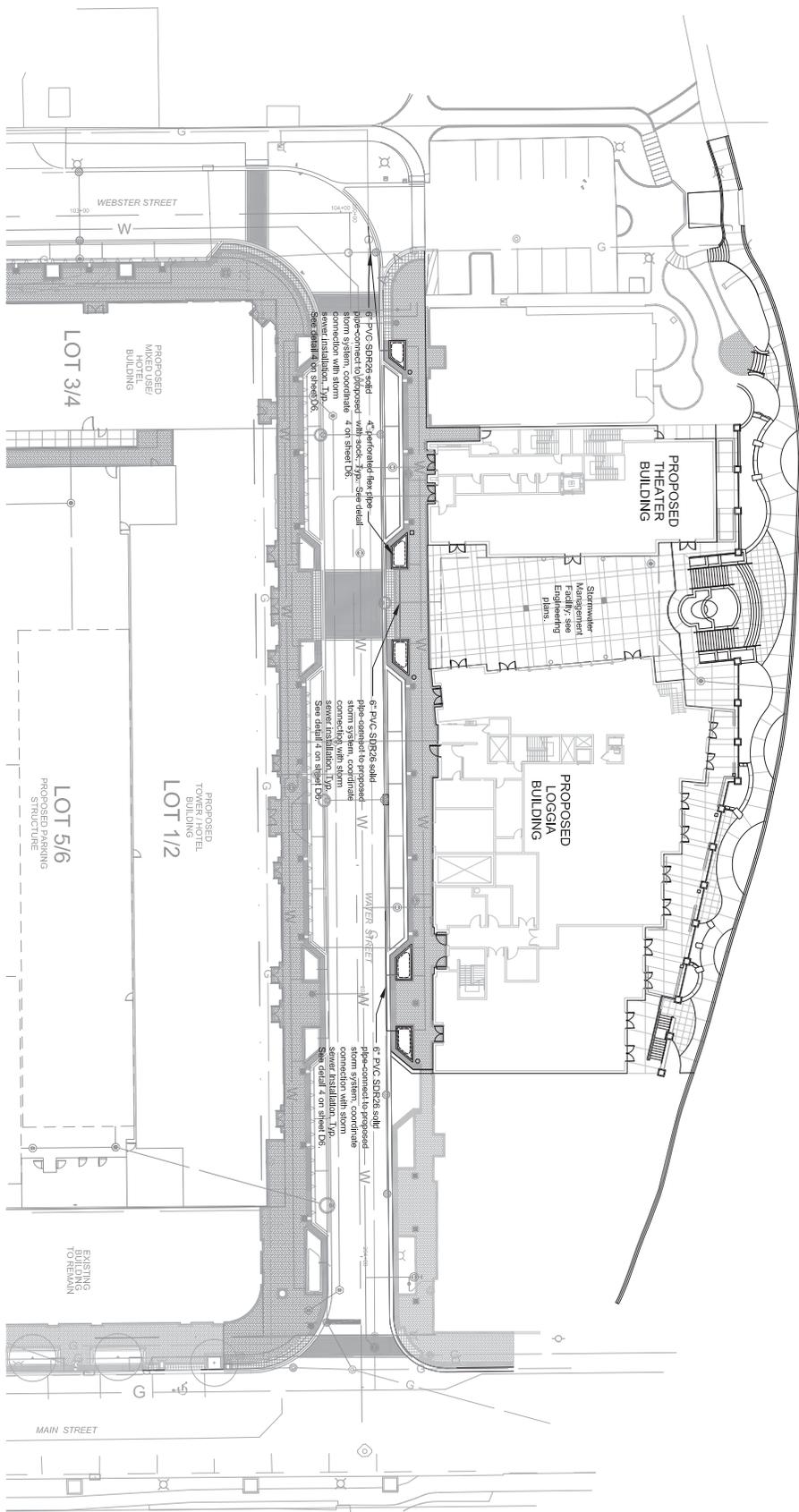
NTS



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PREPARED FOR  
**Marquette Companies**  
 175 S High Point Drive  
 Romeoville, Illinois 60446

PROJECT  
**Water Street District North Side Improvements**  
 Naperville, Illinois

PROJECT NUMBER  
 01-0167-020-X02-04-09

ISSUED  
 July 28, 2010

| REVISIONS | No. | Date | Issue |
|-----------|-----|------|-------|
|           |     |      |       |
|           |     |      |       |
|           |     |      |       |
|           |     |      |       |

DRAWN BY  
 NAA  
 CHECKED BY  
 GRR  
 SHEET TITLE  
**Underdrain P**

SCALE IN FEET  
 1" = 20'

0' 10' 20' 40' 60'

NORTH

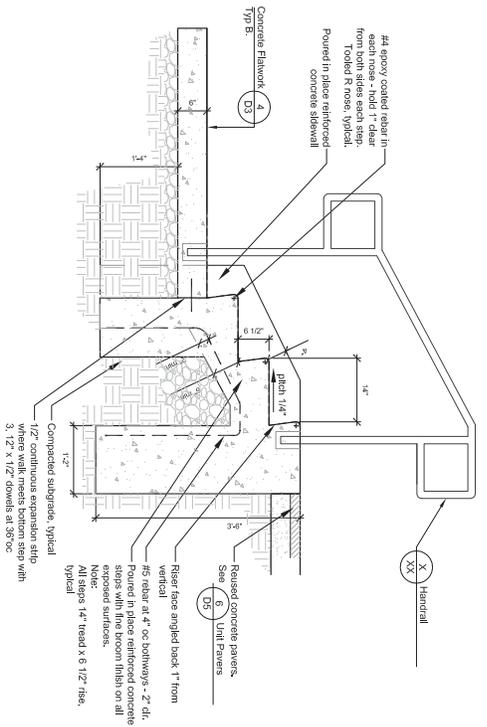
SHEET NUMBER  
**UD1**

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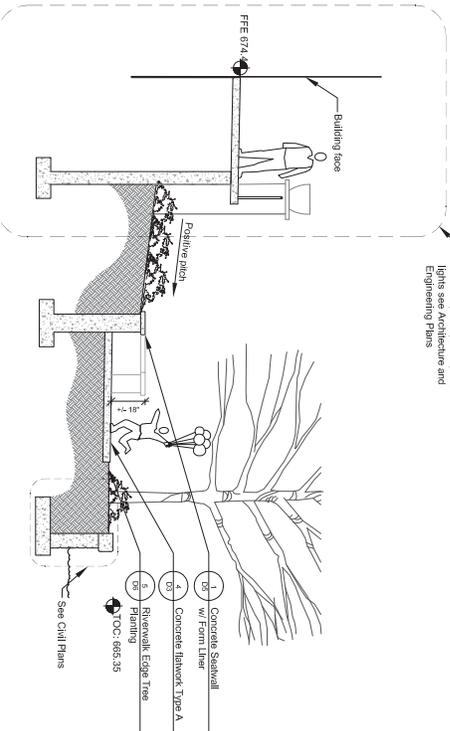




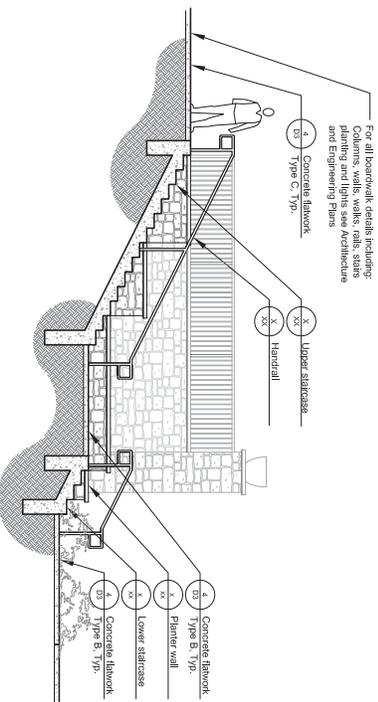




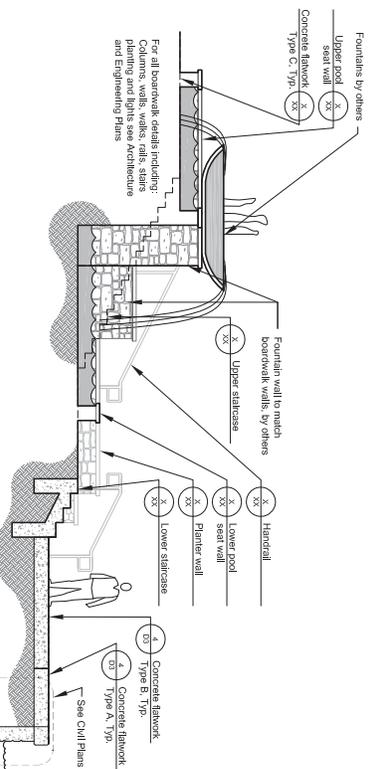
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Scale: not to scale



**2 Section B**  
Scale: 1/4\"/>



**3 Section C**  
Scale: 1/4\"/>



**4 Section D**  
Scale: 1/4\"/>

| ISSUED | REVISIONS | No. Date | Issue |
|--------|-----------|----------|-------|
| 1      |           |          |       |
| 2      |           |          |       |
| 3      |           |          |       |
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| 7      |           |          |       |
| 8      |           |          |       |
| 9      |           |          |       |
| 10     |           |          |       |

DRAWN BY  
NAA  
CHECKED BY  
GBR

SHEET TITLE  
**Details**

SCALE IN FEET  
as noted



SHEET NUMBER  
**D1**

ISSUED  
 July 28, 2010

| REVISIONS | No. | Date | Issue |
|-----------|-----|------|-------|
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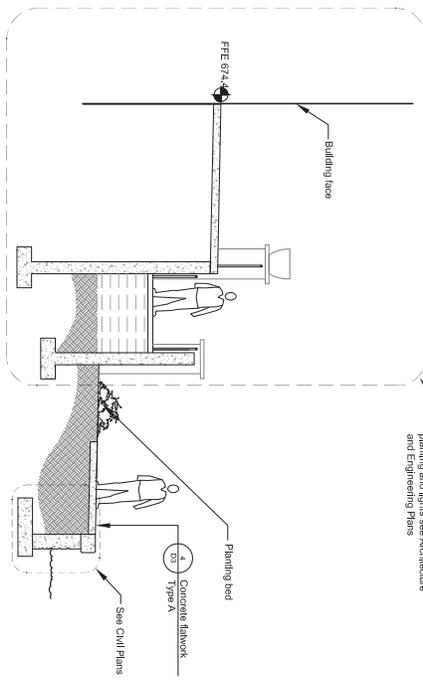
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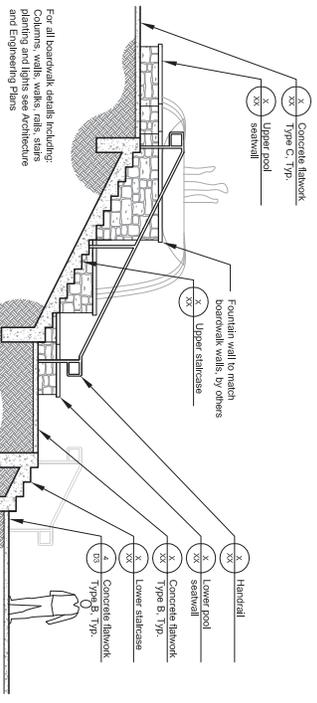


SHEET NUMBER  
**D2**  
 © 2010 Hitcock Design Gro, Inc.

For all boardwalk details including:  
 Columns, walls, walks, rails and  
 lighting see Architecture  
 and Engineering Plans



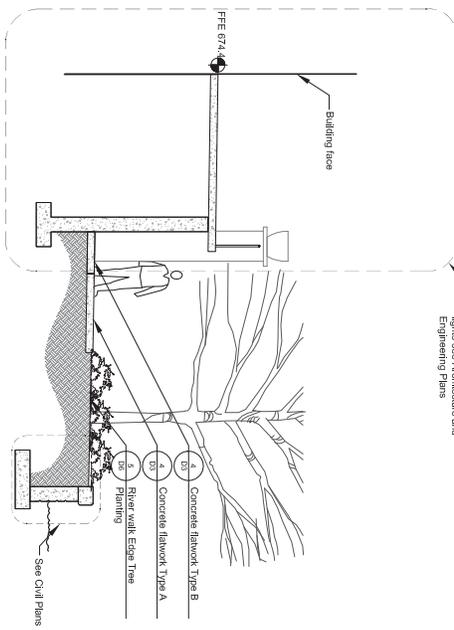
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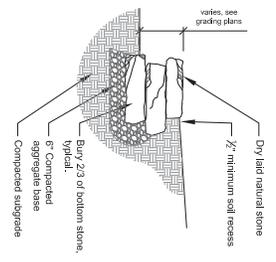
For all boardwalk details including:  
 Columns, walls, walks, rails, stairs  
 planting and lights see Architecture  
 and Engineering Plans

**1 Section E**  
 Scale: 1/4" = 1'-0"

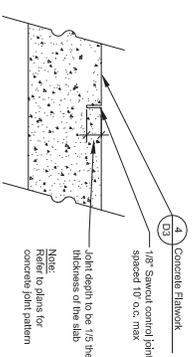
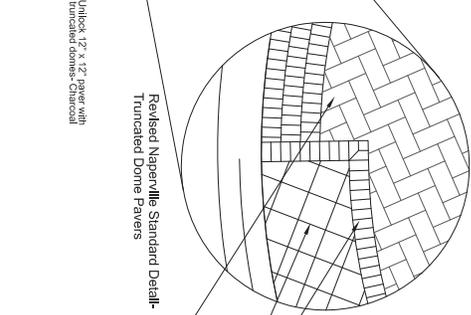
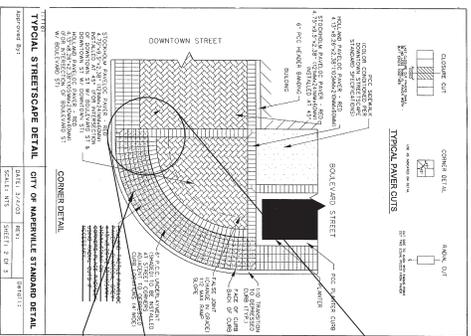
For all boardwalk details including:  
 Columns, walls, walks, rails and  
 lighting see Architecture and  
 Engineering Plans



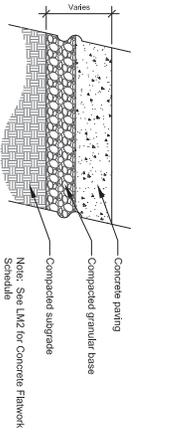
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 Scale: 1/4" = 1'-0"



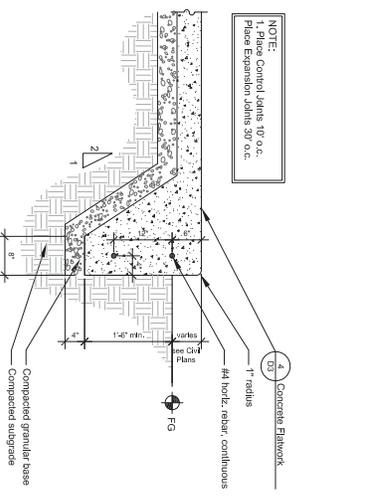
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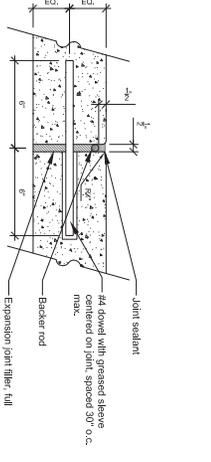
3 Sawcut Control Joint  
 d:\shawn\caw  
 3'-1'-0"



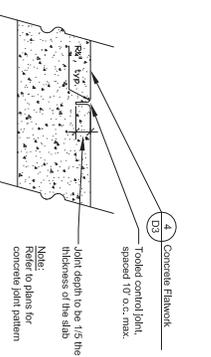
4 Concrete Flatwork  
 d:\shawn\caw  
 1'-0" = 1'-0"



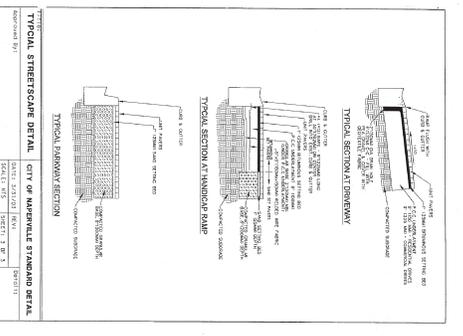
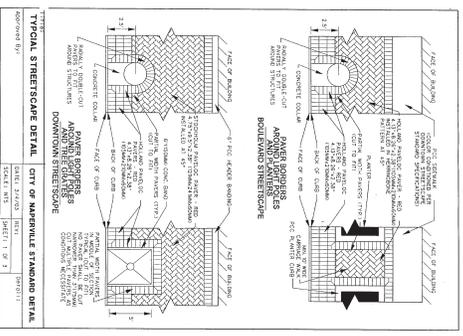
5 Concrete Flatwork w/ Thickened Edge  
 d:\shawn\caw  
 1'-0" = 1'-0"



6 Expansion Joint  
 d:\shawn\caw  
 3'-1'-0"



7 Trowel Control Joint  
 d:\shawn\caw  
 3'-1'-0"



1 Streetscape Corner  
 d:\shawn\caw  
 not to scale

2 Streetscape Paving  
 Downtown  
 d:\shawn\caw  
 not to scale

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PREPARED FOR:  
**Marquette Companies**  
 175 S High Point Drive  
 Romeoville, Illinois 60446

PROJECT:  
**Water Street District North Side Improvements**  
 Naperville, Illinois

PROJECT NUMBER:  
 01-0167-020-002-04-09

DRAWN BY: NAA  
 CHECKED BY: GBR  
 SHEET TITLE: Details

ISSUED: July 28, 2010  
 PERISONS: No Date Issue

SCALE IN FEET: as noted

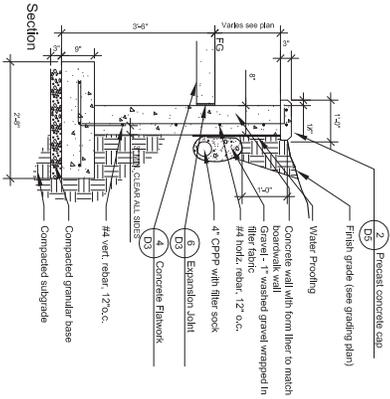
NORTH

SHEET NUMBER: D3

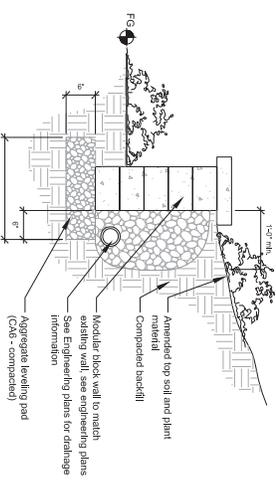
Agenda Item: D.2.

Page: 85

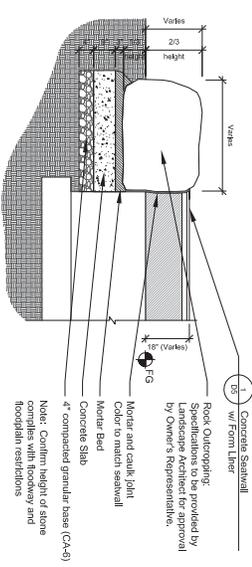




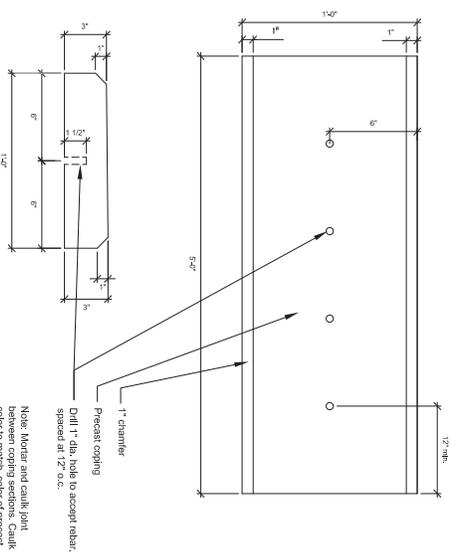
1 Concrete Sealwall w/ Form Liner  
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D-sealwall-WC



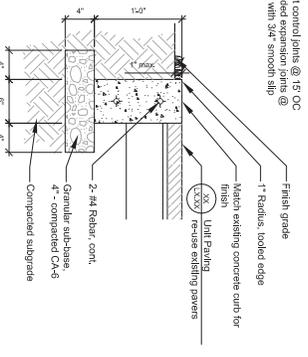
3 Concrete Unit Wall  
Scale: 1" = 1'-0"



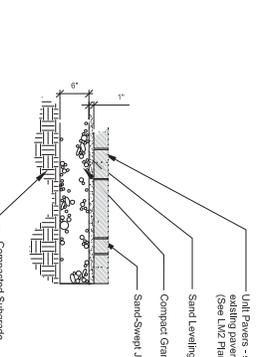
5 Rock Outcropping  
Scale: 1/2" = 1'-0"



2 Precast Concrete Coping  
Scale: not to scale



4 6" Flush Concrete Curb  
Scale: 1 1/2" = 1'-0"



6 Unit pavers  
Scale: 1" = 1'-0"



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Naperville, Illinois 60563  
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PREPARED FOR:  
**Marquette Companies**  
175 S High Point Drive  
Kewanee, Illinois 60856

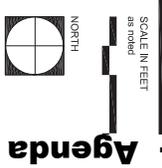
PROJECT  
**Water Street District North Side Improvements**  
Naperville, Illinois

PROJECT NUMBER  
01-0167-2020-004-09

| ISSUED        | REVISIONS | NO. | DATE | ISSUE |
|---------------|-----------|-----|------|-------|
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SHEET TITLE  
**Details**



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## Water Street District South Side Improvements Final Landscape Plans

Naperville, Illinois  
July 28, 2010

Marquette Companies  
175 S High Point Drive  
Romeoville, Illinois 60446

Project Number:  
01-0167-020-X02-04-09

### Project Team

|  |  |
|--|--|
| Civil Engineer   | Architect  |
| V3 Companies   | Sullivan Goulette & Wilson, Ltd.   |
| 7325 James Avenue<br>Woodridge, IL 60517<br>T (630)724-6022<br>F (630)724-6022 | 720 North Franklin, Suite 203<br>Chicago, Illinois 60610<br>T (312)388-7409<br>F (312)388-7409 |

| Sheet Index |                                    |
|-------------|------------------------------------|
| LM1         | Streetcape Layout & Materials Plan |
| UD1         | Streetcape Underdrain Plan         |
| IR1         | Streetcape Irrigation Plan         |
| PL1         | Streetcape Landscape Plan          |
| D1          | Streetcape Details                 |
| D2          | Streetcape Details                 |
| D3          | Streetcape Details                 |

### General Notes

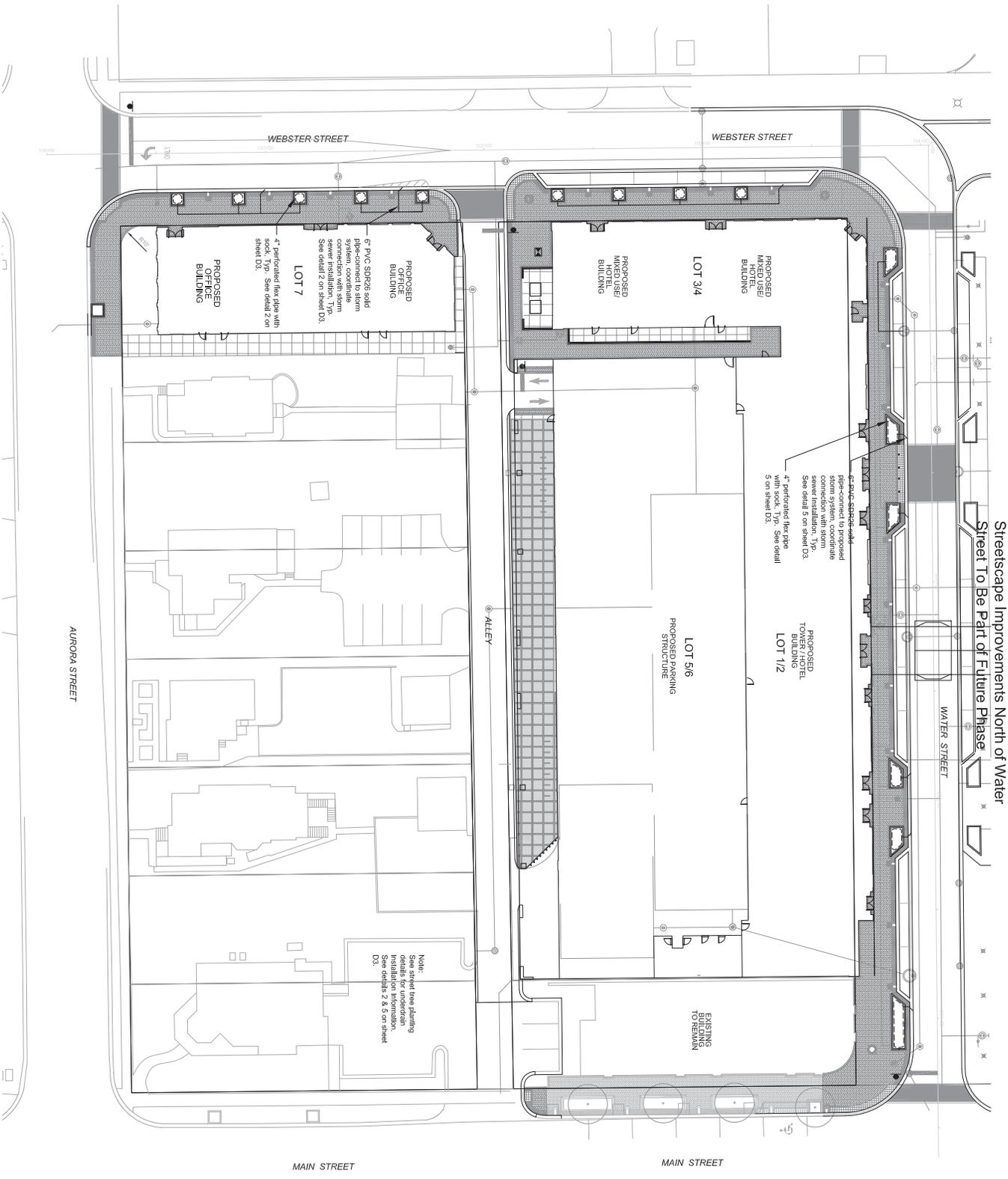
1. Basemap information obtained from plans prepared by V3 Companies received July 26, 2010.
2. Verify site conditions and information on drawings. Promptly report any concealed or unreported conditions to the Engineer. The Engineer is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Do not locate plants within 10' of utility structures. Do not locate plants within 5' horizontally of underground utility lines.
5. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as shown. No additional payments will be made for materials required to complete the work as shown.
6. Refer to specification manual for additional conditions, standards and notes.
7. See Civil Engineering plans for additional site layout and material information in vehicular areas and pedestrian areas outside of work limits.
8. See Civil Engineering plans for grading information.
9. See Architectural plans for building information.

### Project Location Map

NOT TO SCALE







**Streetscape Improvements North of Water Street To Be Part of Future Phase**

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PREPARED FOR:  
**Marquette Companies**  
 175 S High Point Drive  
 Romeoville, Illinois 60446

PROJECT  
**Water Street District South Side Improvements**  
 Naperville, Illinois

PROJECT NUMBER  
 01-01-07-203-002-04-09

|           |               |
|-----------|---------------|
| ISSUED    | July 28, 2010 |
| REVISIONS | N/A           |
| No. Date  | Issue         |
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 N/A  
 CHECKED BY  
 GBR  
 SHEET TITLE

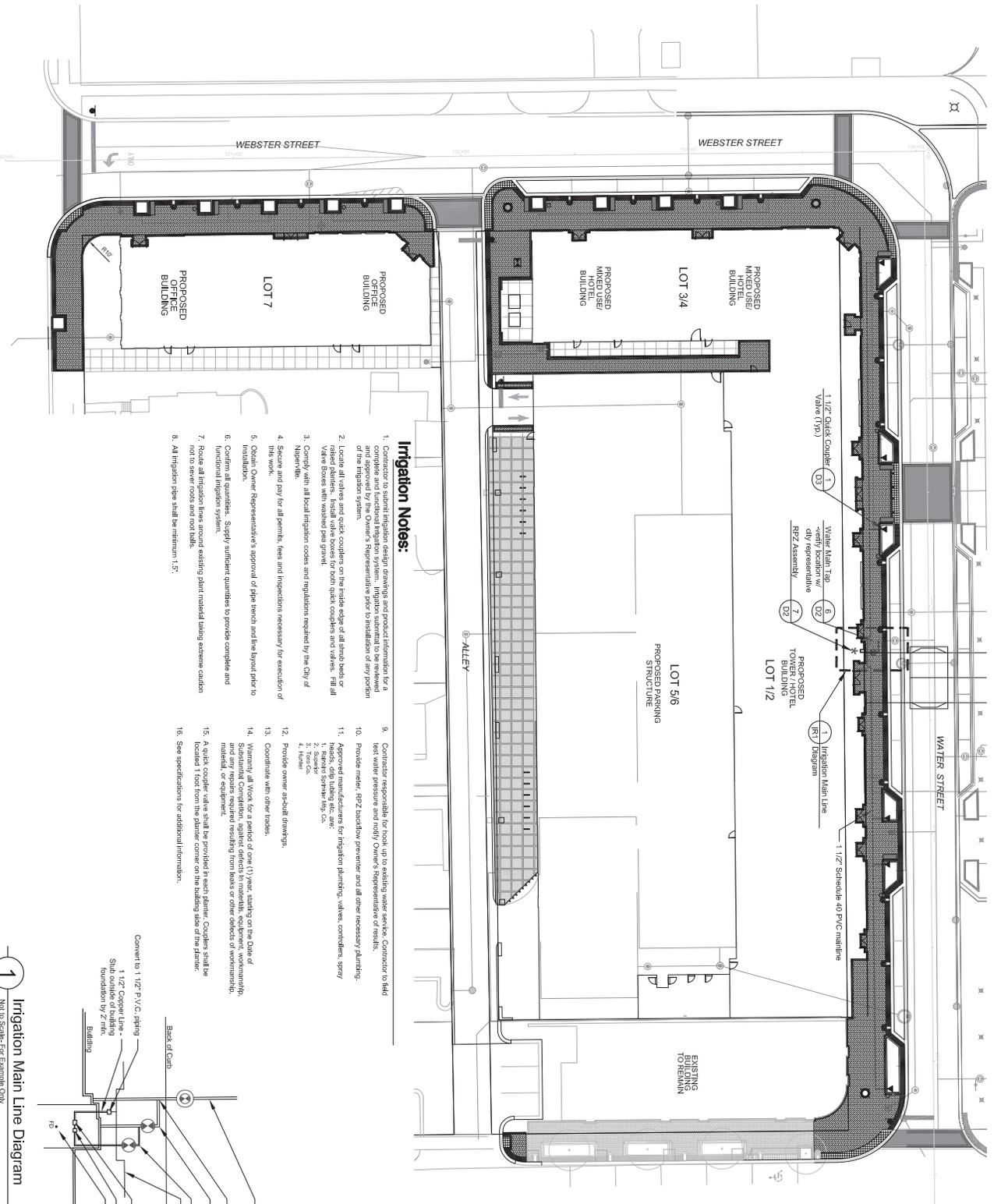
**Streetscape Underdrain Pl**

SCALE IN FEET  
 1" = 20'  
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 NORTH

SHEET NUMBER  
**UD1**

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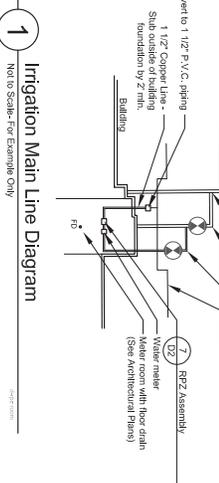
Streetscape Improvements North of Water Street To Be Part of Future Phase



**Irrigation Notes:**

- Contractor to submit irrigation design drawings and product information for a complete and functional irrigation system. Irrigation submitted to be reviewed and approved by the Owner's Representative prior to installation of any portion of the irrigation system.
- Locate all valves and quick couplers on the inside edge of all stub beds or Value Boxes with weather proof gravel.
- Comply with all local irrigation codes and regulations required by the City of Naperville.
- Structure and pay for all permits, fees and inspections necessary for execution of this work.
- Obtain Owner Representative's approval of pipe trench and line layout prior to installation.
- Confirm all quantities. Supply sufficient quantities to provide complete and functional irrigation system.
- Route all irrigation lines around existing plant material being extreme caution not to sever roots and root beds.
- All irrigation pipe shall be minimum 1.5\"/>

- Contractor responsible for hook up to existing water service. Contractor to field test water pressure and notify Owner's Representative of results.
- Provide meter, RZZ backflow preventer and all other necessary plumbing.
- Approved manufacturers for irrigation planning, valves, controllers, spray nozzles, etc. are:
  1. Reiter Sprinkling Co.
  2. Sauer
  3. Hunter
  4. Hunter
- Provide owner as-built drawings.
- Coordinate with other trades.
- Warranty all work for a period of one (1) year, starting on the Date of Substantial Completion, against defects in materials, equipment, workmanship, and any repairs required resulting from leaks or other defects of workmanship, materials, or equipment.
- A quick coupler valve shall be provided in each planter. Couplers shall be located 1 foot from the planter corner on the sitting side of the planter.
- See specifications for additional information.



**1 Irrigation Main Line Diagram**  
Not to Scale. For Example Only.

PREPARED FOR  
Marquette Companies  
173 S High Point Drive  
Komelesville, Illinois 60446

PROJECT  
Water St District  
South Side Improvements  
Naperville, Illinois

PROJECT NUMBER  
01-01-07-20-002-04-09

|           |               |
|-----------|---------------|
| ISSUED    | July 28, 2010 |
| REVISIONS |               |
| No. Date  | Issue         |
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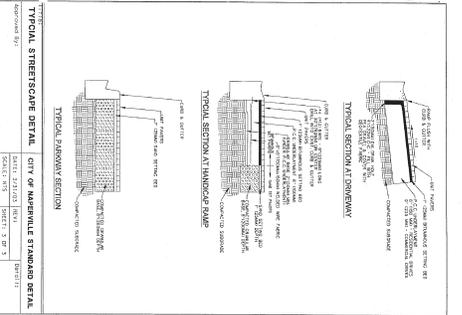
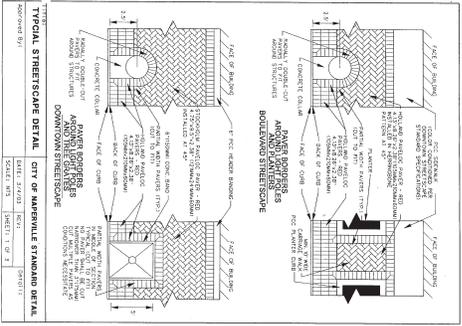
DRAWN BY  
N/A  
CHECKED BY  
GRR

SHEET TITLE  
Streetscape  
Irrigation Plan

SCALE IN FEET  
1" = 20'  
0' 10" 20' 40' 60'

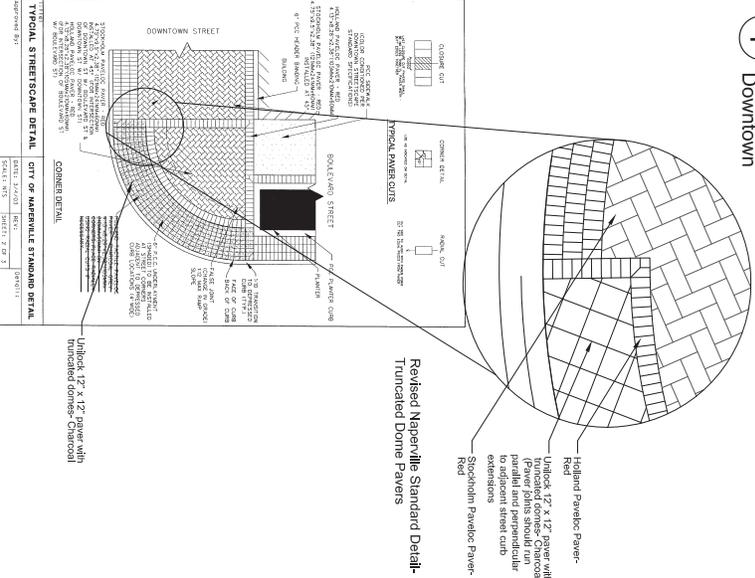
SHEET NUMBER  
IR1





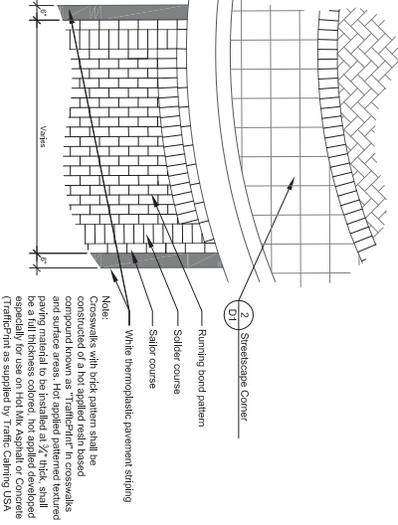
**Concrete Pavers**  
 Manufacturer: Pavlok  
 Model: Stockholm  
 Size: 6 on Overall Dimensions: 4.13"  
 Color: Solid Field  
 Application: Downtown Streetscape,  
 corner  
 Manufacturer: Pavlok  
 Model: Holland  
 Size: 6 on Overall Dimensions: 4.13"  
 Color: Solid Field  
 Application: Downtown Streetscape,  
 saddle course banding  
 Manufacturer: Unilock  
 Model: Paver With Truncated Domes  
 Size: 12" x 12"  
 Color: Charcoal  
 Application: Downtown Streetscape,  
 corner  
 Or equivalent, supplied by a member  
 of the International Concrete Federation  
 (ICFI).  
**Concrete Paver Sealer**  
 Manufacturer: T.K. Products - AS-1  
 Supplier: Illinois Brick Co.  
 709.344.1000

**1 Streetscape Paving**  
 Downtown

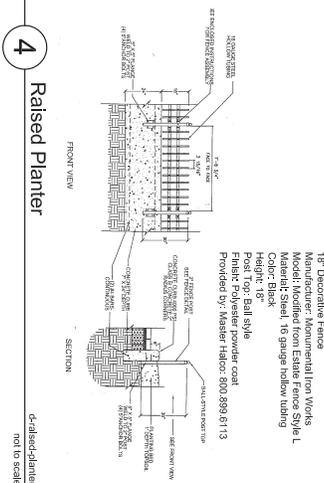


**Holland Paveric Paver**  
 Unilock 12" x 12" Paver with  
 Parallel and Perpendicular  
 to Adjacent Street Curb  
 or  
**Naperville Standard Paver**  
 Revised Naperville Standard Detail-  
 Truncated Dome Pavers

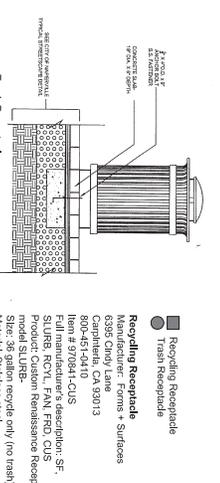
**2 Streetscape Corner**  
 Downtown



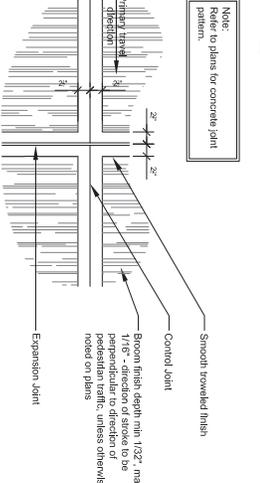
**3 Stamped Asphalt Crosswalk**



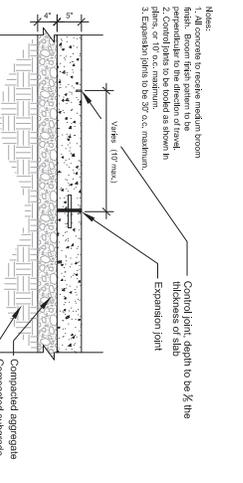
**4 Raised Planter**



**5 Trash and Recycling Receptacles**



**6 California Concrete Finish**



**7 Concrete Flatwork (Pedestrian)**

**Page: 94** Agenda Item: **D1**

**Hitcock Design Gro**  
 Creating Better Places  
 221 West Jefferson Avenue  
 Naperville, Illinois 60563  
 T 630.961.1787  
 F 630.961.9925

PREPARED FOR:  
**Marquette Companies**  
 175 S High Point Drive  
 Romeoville, Illinois 60446

PROJECT:  
**Water Street District South Side Improvements**  
 Naperville, Illinois

PROJECT NUMBER:  
 01-01-020-002-04-09

DRAWN BY:  
 NAA

CHECKED BY:  
 GBR

SHEET TITLE:  
**Streetscape Details**

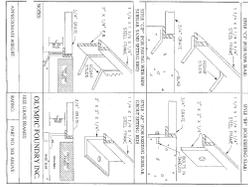
SCALE IN FEET:  
 as noted

NORTH

SHEET NUMBER:  
**D1**

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|           |               |
|-----------|---------------|
| ISSUED    | JULY 26, 2010 |
| REVISIONS |               |
| No. Date  | Issue         |
|           |               |
|           |               |



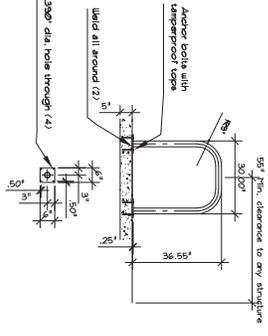
Manufacturer: Olympic Foundry, Inc.  
 distributed by Fairweather,  
 800-223-1798  
 Model: LPT 80 w/ 5/8" RPT frame  
 Product: 1/2" deep  
 Finish: 1/4" deep

1 Tree Grate Installation  
 d-tree-grate-install  
 not to scale

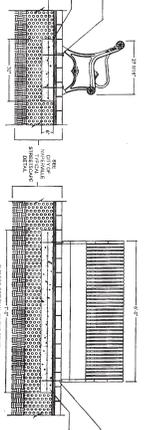
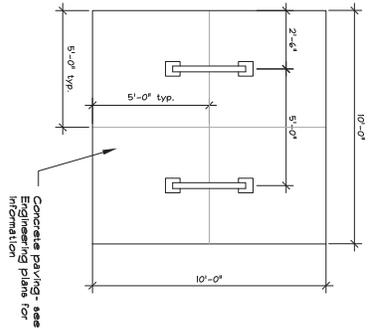
Manufacturer: Olympic Foundry, Inc.  
 Model: CB-B ductile cast iron  
 Color: Black  
 Finish: Polyester powder coat  
 Available from: Fairweather 800-223-1798

2 Bollard Installation  
 d-furniturebollard  
 1/2" = 1'-0"

**BASE CYCLING**  
 Model 2103 2 1/2 dia. Flange Height  
 Installation to be completed in accordance with manufacturer's specifications.  
 1. Finish in black powder coat  
 2. Finish in silver powder coat  
 3. Finish in white powder coat  
 4. Contractor's note: For product and visit: www.cyclist.com  
 Best vendor recommendations from field with Owner's Representative and per City approval.

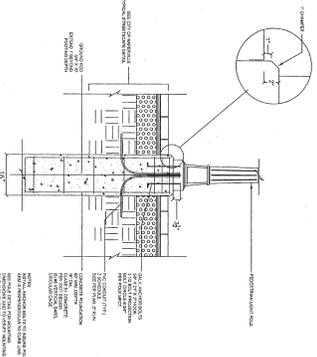


3 Bicycle Rack (Typ.)  
 d-bike-rack  
 not to scale



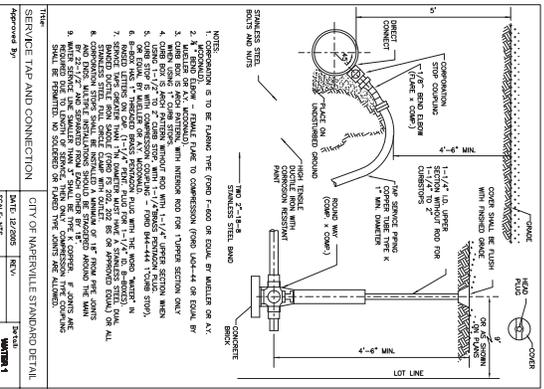
Manufacturer: Dulor  
 Model: S240 with cast iron supports  
 Available from: NilTop 800-526-6197

4 Bench Installation  
 d-furniturebench  
 1/2" = 1'-0"



Manufacturer: Architectural Area Lighting  
 Model: ALN403GRS-70M1420-SL4S  
 Color: Black  
 Finish: Polyester Powder coat  
 Light Source: Metal Halide 70 watts  
 20' wide One connector required for each block  
 Distributor: Chicago Lighting  
 847-2439-5000  
 www.chicagolighting.com

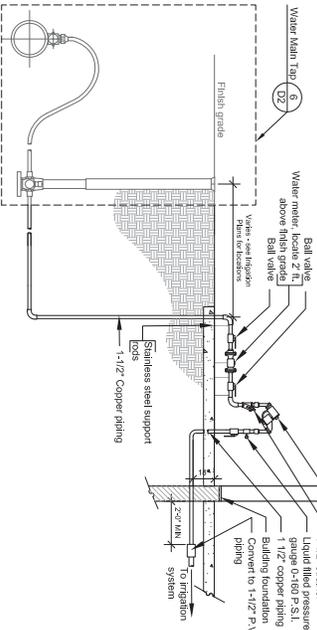
5 Pedestrian Light  
 d-lightpedestrian  
 not to scale



Notes:  
 1. Verify water main tap and configuration with the City of Naperville and submit permit drawings for owner's approval.  
 2. All taps are by the City for 2" and smaller connections after the permit has been received.  
 3. See Infiltration Main Line Diagram on sheet R10 for diaphragmatic layout.

6 Water Main Tap  
 d-infiltration-tap  
 not to scale

Notes:  
 1) Example City - verify RPZ assembly and configuration with the City of Naperville and submit stop drawings for approval.  
 2) Mount R.P.Z. assembly in meter room per architectural plans (see sheet R11 for methods and materials for mounting and installation that meet all applicable codes and the City of Naperville's representatives' approval.)  
 3) See Infiltration Main Line Diagram on sheet R10 for diaphragmatic layout.



7 R.P.Z. Assembly  
 d-infiltration-rpz  
 not to scale

**Hitcock Design Group**  
 Creating Better Places<sup>®</sup>  
 221 West Jefferson Avenue  
 Naperville, Illinois 60563  
 T 630.961.1767  
 F 630.961.9925

PREPARED FOR  
**Marquette Companies**  
 173 S High Point Drive  
 Naperville, Illinois 60563

PROJECT  
**Water Street District**  
 South Side  
 Improvements  
 Naperville, Illinois

PROJECT NUMBER  
 01-0107-2003-04-09

| ISSUED | DATE          | BY | REVISIONS                                       |
|--------|---------------|----|---|
| 1      | July 28, 2010 | DR | Diagrams on sheet R10 for diaphragmatic layout. |
| 2      |               |    |   |
| 3      |               |    |   |
| 4      |               |    |   |
| 5      |               |    |   |
| 6      |               |    |   |
| 7      |               |    |   |
| 8      |               |    |   |
| 9      |               |    |   |
| 10     |               |    |   |

DRAWN BY  
 NAA  
 CHECKED BY  
 GBR  
 SHEET TITLE  
**Streetscape Details**  
 SCALE IN FEET  
 as noted  
 NORTH

SHEET NUMBER  
**D2**  
 Agenda Item: D.2.

**Agenda Item: District Water St Improvements**

**Hitcock Design Gro**  
 Creating Better Places  
 227 West Jefferson Avenue  
 Naperville, Illinois 60563  
 T 630.961.1787  
 F 630.961.9825

PREPARED FOR:  
**Marquette Companies**  
 173 S High Point Drive  
 Romeoville, Illinois 60446

PROJECT:  
**Water St District South Side Improvements**  
 Naperville, Illinois

PROJECT NUMBER:  
 01-01-07-20-002-04-09

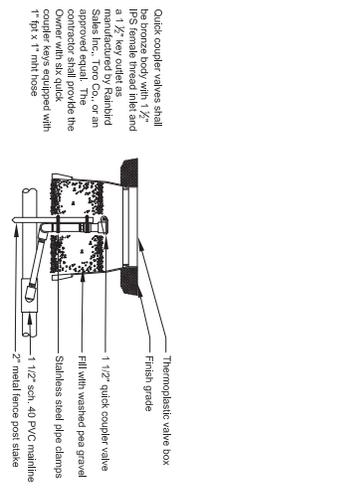
ISSUED: July 26, 2010  
 REVISIONS:  
 No. Date Issue

DRAWN BY: NAA  
 CHECKED BY: GRR  
 SHEET TITLE: Streetscape Details

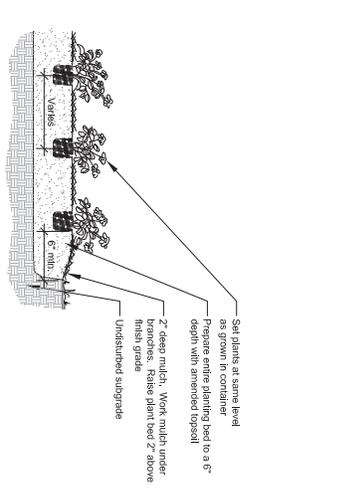
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 as noted

NORTH  
 SHEET NUMBER:  
**D3**

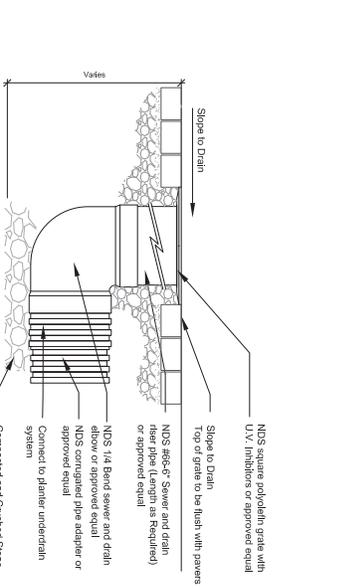
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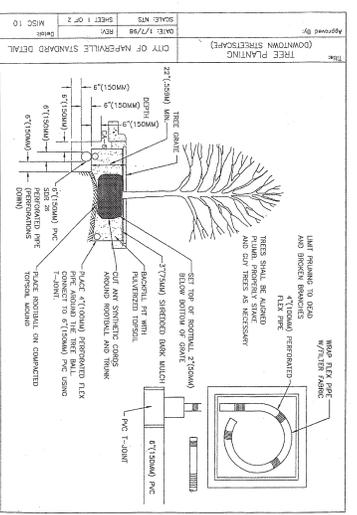
**1 Quick Coupler**  
 d14grr10c-gc  
 not to scale



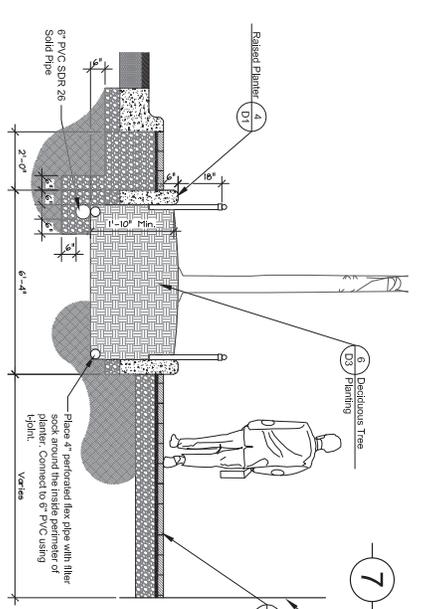
**4 Annual/Perennial/Groundcover Planting**  
 d4annual/perennial  
 1/2\"/>



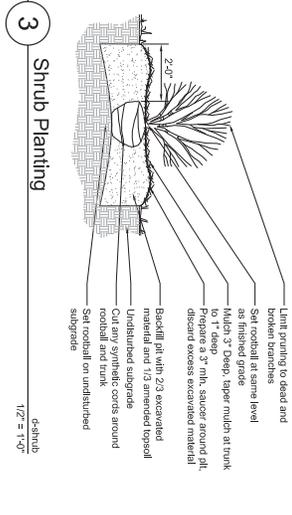
**7 NDS Drain and Grate**  
 NOT TO SCALE



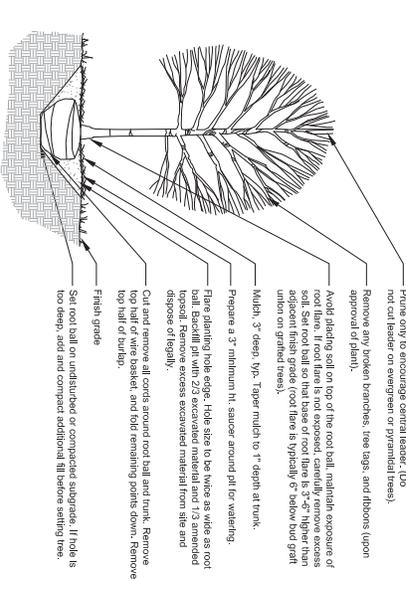
**2 Street Tree Planting in Tree Grate**  
 d4street-tree-planting  
 not to scale



**5 Streetscape and Planter Section**  
 D-5SIS-SEC  
 1/2\"/>



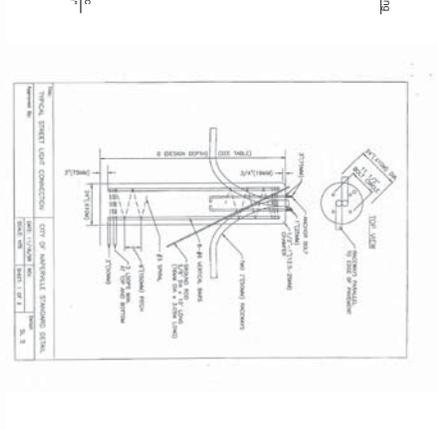
**3 Shrub Planting**  
 d4shrub  
 1/2\"/>



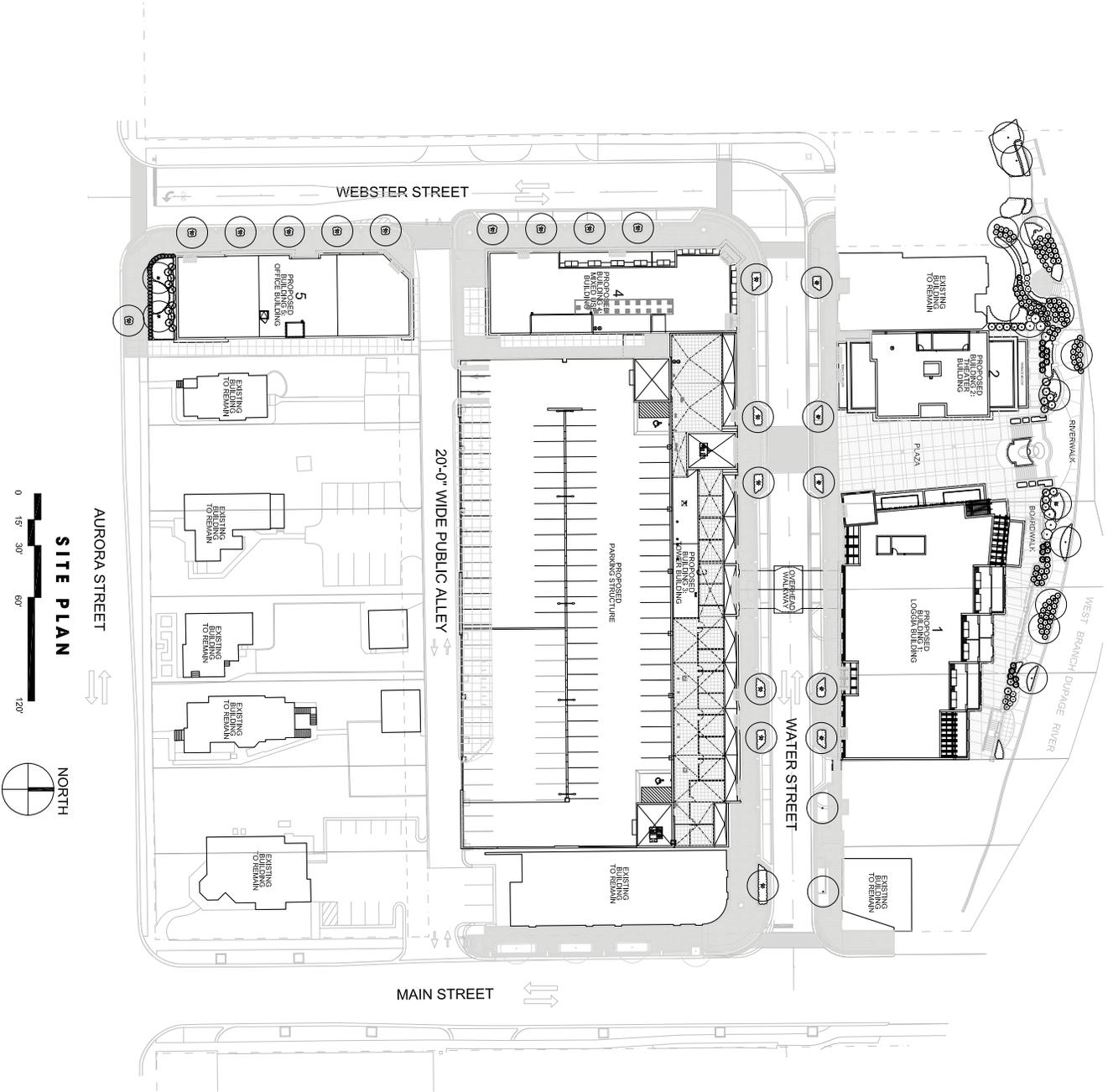
**6 Deciduous Tree Planting**  
 d4tree-dec  
 1/2\"/>

FOUNDATION DESIGN TABLE

| FOUNDATION TYPE | MINIMUM WIDTH | MINIMUM DEPTH | MINIMUM SPACING | MINIMUM COVER |
|-----------------|---------------|---------------|-----------------|---------------|
| CONCRETE        | 18\"/>        |               |                 |               |



**8 Street Light**  
 NOT TO SCALE



JOINT DEVELOPMENT BY:



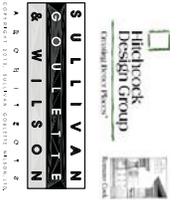
CONDOMINIUM OPTION

**SITE/FIRST FLOOR PLAN**

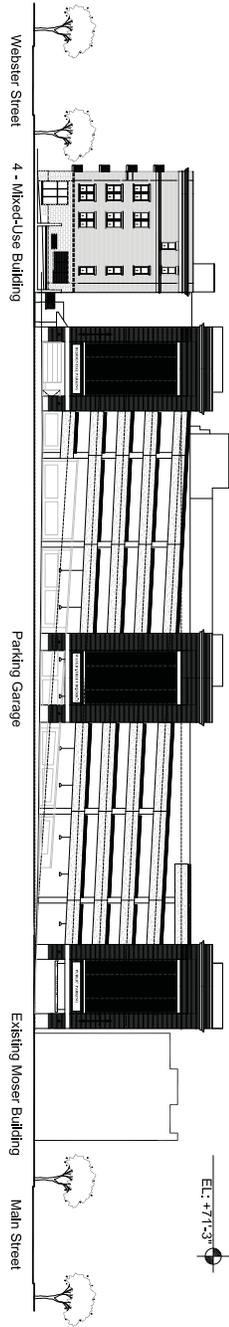
**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 60563

REVISED - JULY 25, 2010

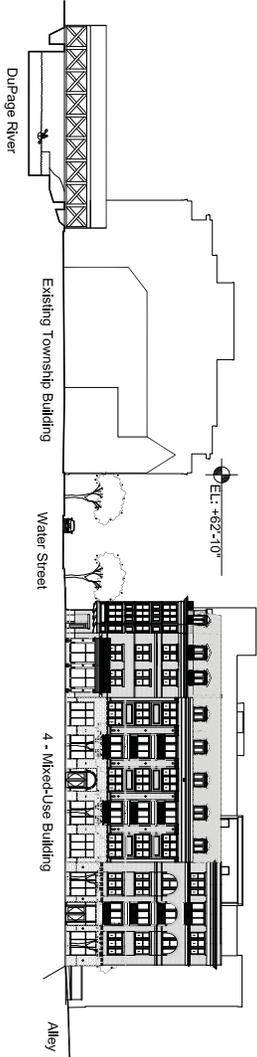
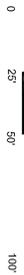
**FINAL - Plan Commission - 8/18/2010 - 97**



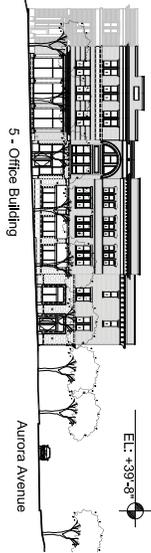
PC-3



**ALLEY ELEVATION**



**WEBSTER ST. ELEVATION**



CONDOMINIUM OPTION

**ALLEY ELEVATION / WEBSTER STREET ELEVATION**

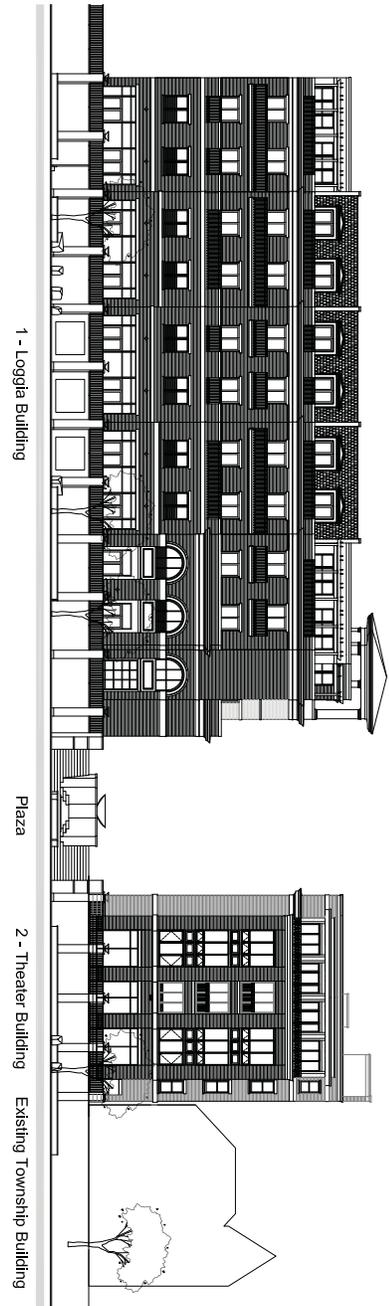
**FINAL - Plan Commission - 8/18/2010 - 98**

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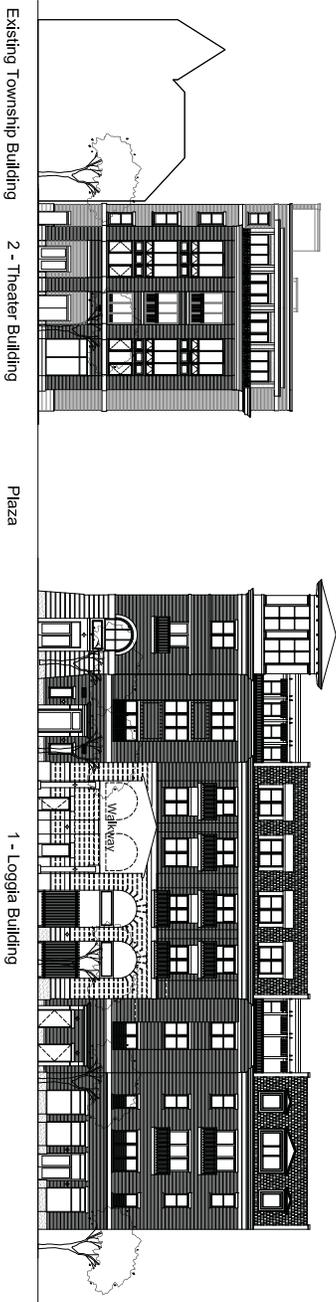


REVISED -  
JULY 25, 2010  
NAPERVILLE, ILLINOIS 60563  
**WATER STREET DISTRICT**





**DUPAGE RIVER ELEVATION**



**WATER ST. NORTH ELEVATION**



JOINT DEVELOPMENT BY :



CONDOMINIUM OPTION

**WATER STREET ELEVATION**

**FINAL - Plan Commission - 8/18/2010 - 99**

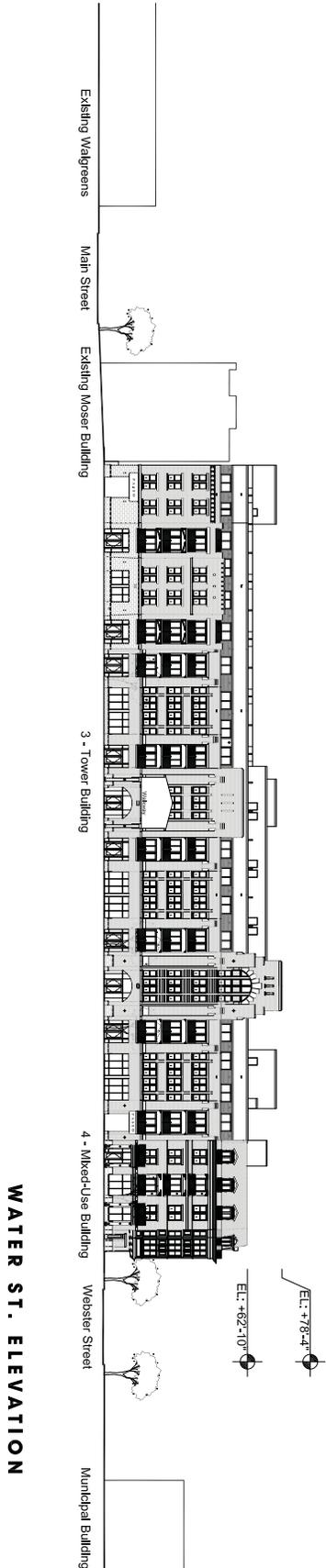
REVISED -  
JULY 25, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 60563



ARCHITECTS

PC-9



CONDOMINIUM OPTION

**WATER STREET ELEVATION**

**FINAL - Plan Commission - 8/18/2010 - 100**

REVISED -  
JULY 25, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 2

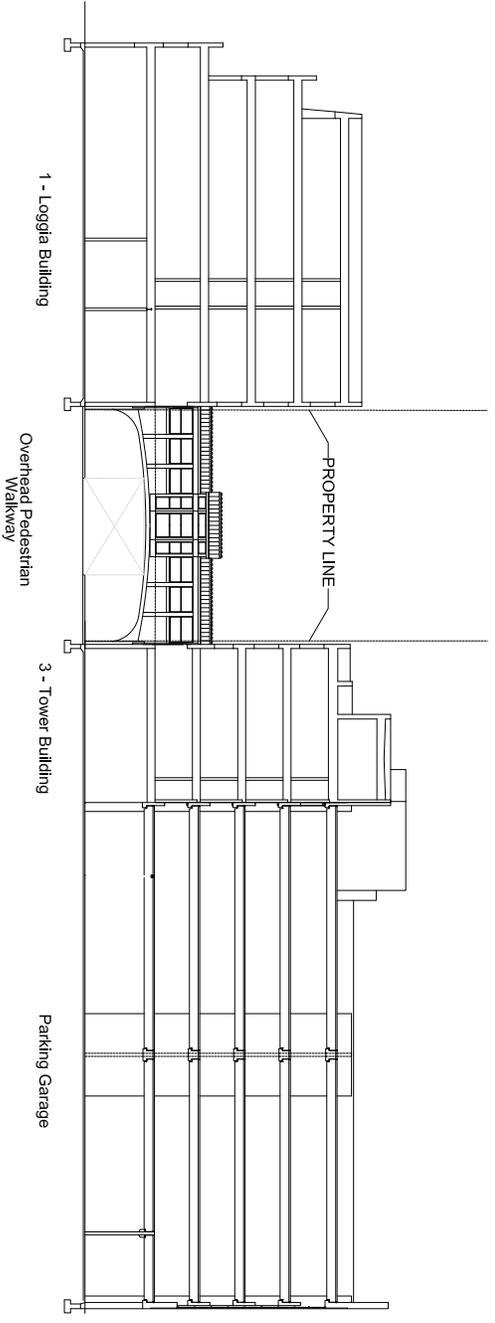
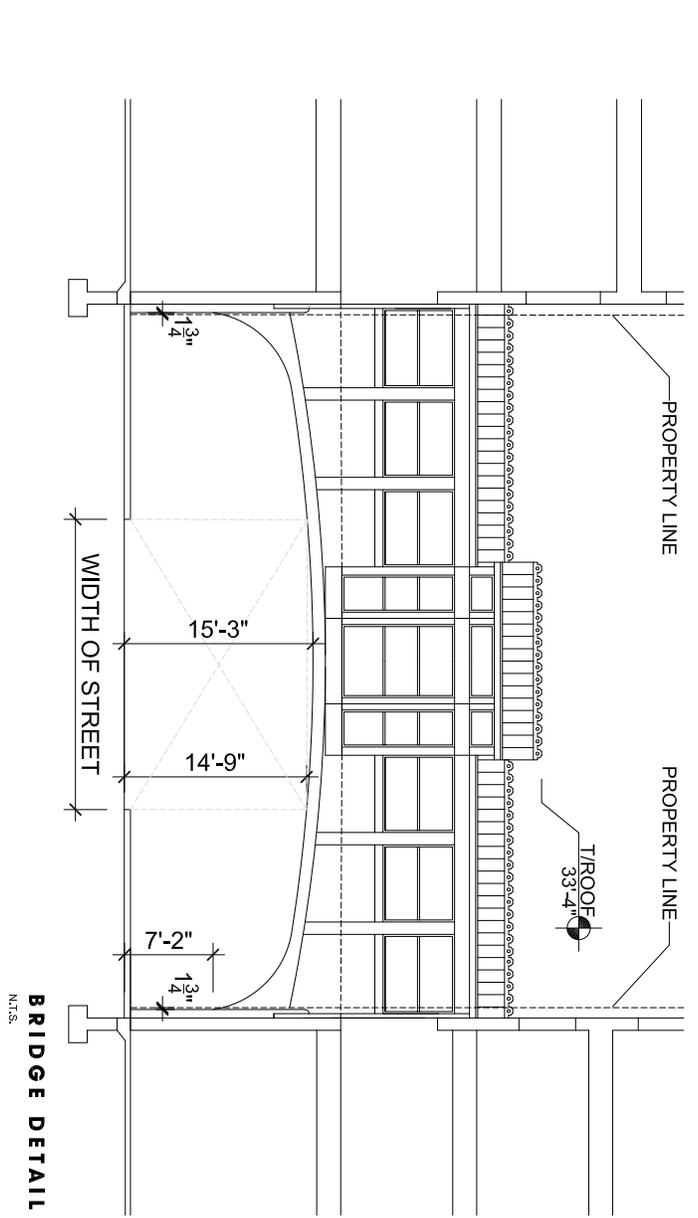


**SULLIVAN  
GOULLETTE  
& WILSON**  
ARCHITECTS  
1000 N. STATE STREET, SUITE 200  
NAPERVILLE, IL 60563

PC-9A

JOINT DEVELOPMENT BY :





JOINT DEVELOPMENT BY:



CONDOMINIUM OPTION

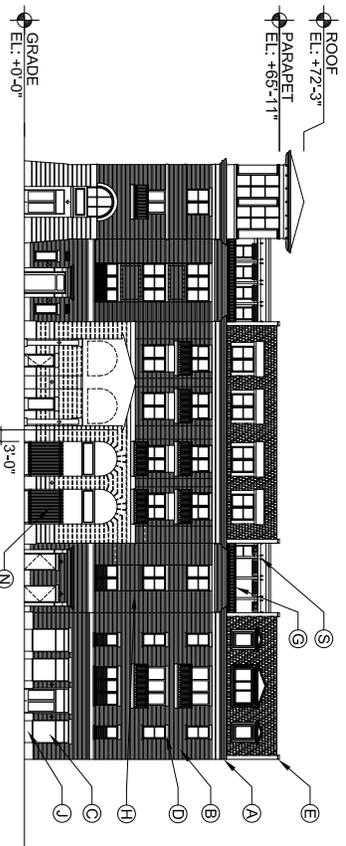
**WATER STREET ELEVATION**  
**FINAL - Plan Commission - 8/18/2010 - 101**

REVISED - JULY 29, 2010  
 WATER STREET DISTRICT  
 NAPERVILLE, ILLINOIS 6

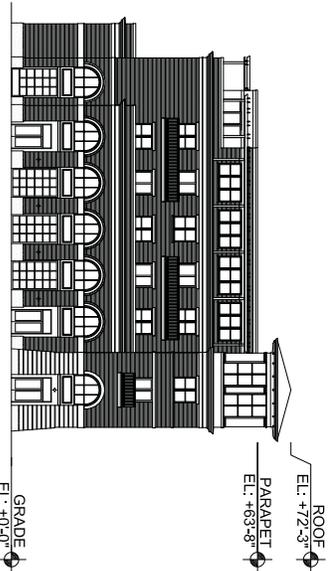
**SULLIVAN & WILSON**  
 ARCHITECTS  
 ARCHITECTS

**Hatchcock Design Group**  
 ENGINEERING ARCHITECTS

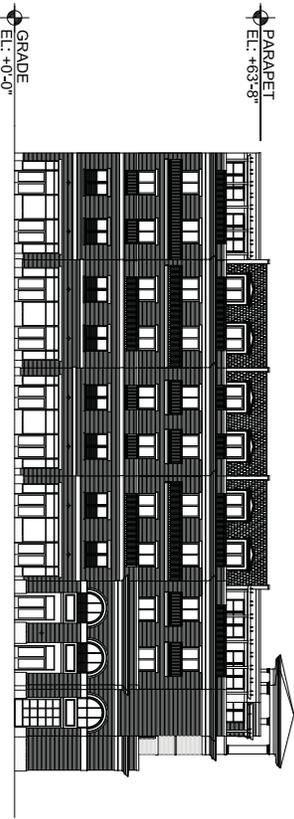
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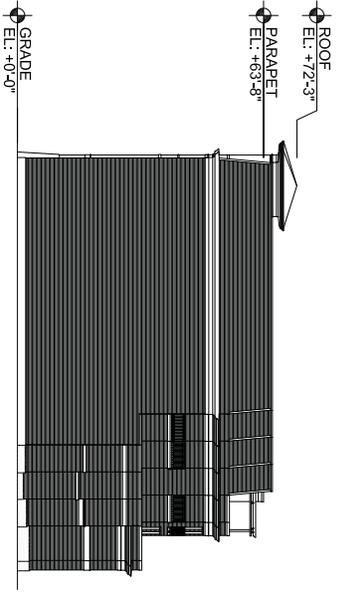
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



GROUND FLOOR PLAN

| ITEM                                      | OPTION   |
|---|--|
| A. CORNICE                                | 1. FYPON<br>2. SMOOTH STUCCO<br>3. CAST STONE  |
| B. MASONRY WALLS                          | 1. UTILITY FACE BRICK<br>2. MODULAR FACE BRICK<br>3. CAST STONE  |
| C. WINDOW WALLS                           | 1. CLEAR OR TINTED GLASS<br>2. PREFINISHED ALUMINIUM & VINYL FRAMES<br>3. GLASS SWING OR SLIDING DOORS |
| D. WINDOW / DOOR HEADER                   | 1. BRICK<br>2. CAST STONE  |
| E. PARAPET COPING                         | 1. CAST STONE<br>2. METAL CAP  |
| F. ROOF DECK PARTITIONS                   | 1. IPE<br>2. METAL   |
| G. BALCONY & GUARD RAILS                  | 1. PREFINISHED ALUMINIUM RAILS   |
| H. SPANDRELS                              | 1. BRICK<br>2. SYNTHETIC PLASTER<br>3. METAL<br>4. CAST STONE<br>5. HARD-PLANK                         |
| I. MANSARD ROOF                           | 1. RECYCLED RUBBER<br>2. RUBBER  |
| J. TENANT SPACE BULKHEADS                 | 1. CAST STONE<br>2. BRICK<br>3. CELLULAR PVC<br>4. METAL<br>5. HARD-PLANK<br>6. GLASS                  |
| K. TOWER BEACON                           | 1. GLASS BLOCK   |
| L. BALCONY WALL RECESSED                  | 1. HARD-PLANK<br>2. MASONRY<br>3. SYNTHETIC PLASTER  |
| M. FRAME WALLS                            | 1. HARD-PLANK<br>2. PREFINISHED<br>3. METAL ARCHITECTURAL PANELS<br>4. SYNTHETIC PLASTER               |
| N. ARCHITECTURAL MASONRY ORNAMENTATION    | 1. LIMESTONE<br>2. CAST STONE<br>3. SYNTHETIC PLASTER<br>4. FYPON                                      |
| O. AWNINGS                                | 1. CANVAS<br>2. METAL<br>3. VINYL<br>4. FIBERGLASS   |
| P. ELEVATOR OVER-RUN & STAIR TOWER BEYOND |  |
| Q. GAS METER                              |  |
| S. PERGOLA                                | 1. PAINTED WOOD<br>2. FIBERGLASS   |

JOINT DEVELOPMENT BY:



CONDOMINIUM OPTION

**BUILDING ONE: LOGGIA ELEVATIONS**

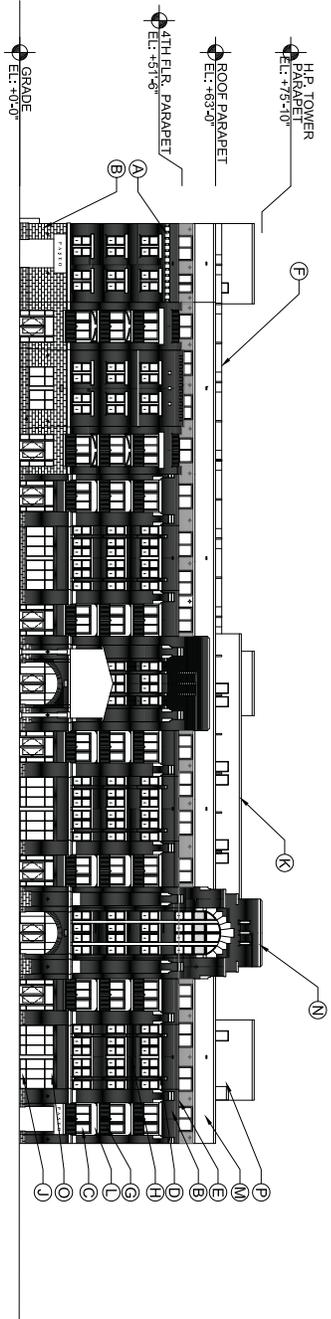
**FINAL - Plan Commission - 8/18/2010 - 102**

REVISED - JULY 25, 2010

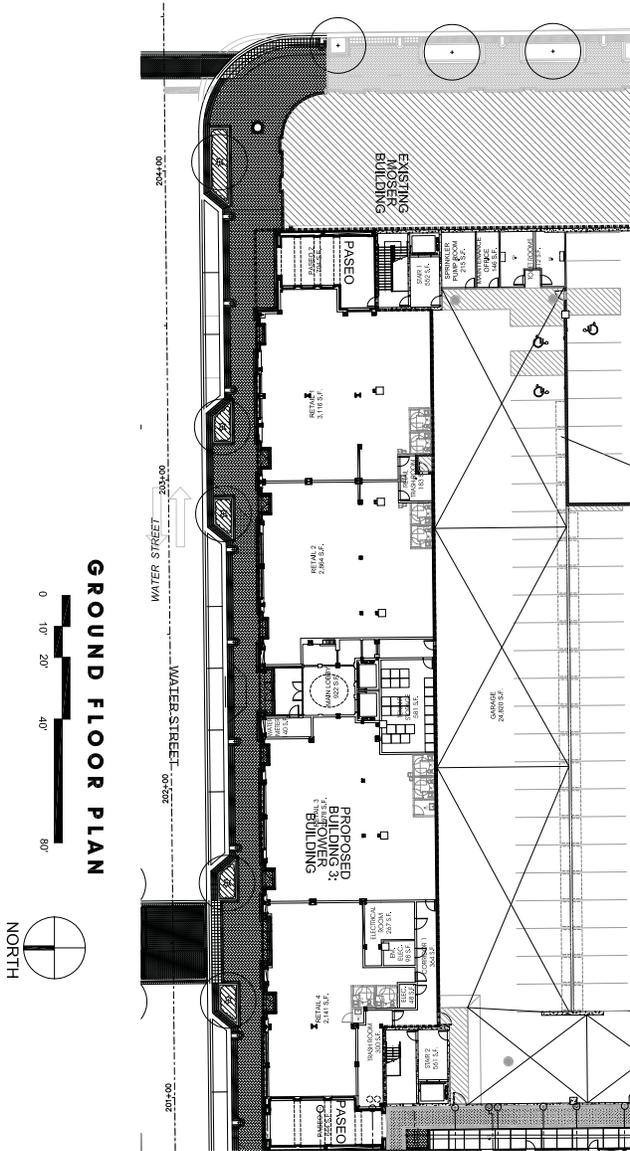
**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS



PC-22



NORTH ELEVATION



GROUND FLOOR PLAN

| ITEM                                      | OPTION   |
|---|--|
| A. CORNICE                                | 1. FP/PON<br>2. SMOOTH STUCCO<br>3. CAST STONE   |
| B. MASONRY WALLS                          | 1. UTILITY FACE BRICK<br>2. MODULAR FACE BRICK<br>3. CAST STONE  |
| C. WINDOW WALLS                           | 1. CLEAR OR TINTED GLASS<br>2. PREFINISHED ALUMINIUM & VINYL FRAMES<br>3. GLASS SWING OR SLIDING DOORS |
| D. WINDOW / DOOR HEADER                   | 1. BRICK<br>2. CAST STONE  |
| E. PARAPET COPING                         | 1. CAST STONE<br>2. METAL CAP  |
| F. ROOF DECK PARTITIONS                   | 1. IPE<br>2. METAL   |
| G. BALCONY & GUARD RAILS                  | 1. PREFINISHED ALUMINIUM RAILS   |
| H. SPANDRELS                              | 1. BRICK<br>2. SYNTHETIC PLASTER<br>3. METAL<br>4. CAST STONE<br>5. HARDI-PLANK<br>6. GLASS            |
| I. MANSARD ROOF                           | 1. RECYCLED RUBBER<br>2. RUBBER  |
| J. TENANT SPACE BULKHEADS                 | 1. CAST STONE<br>2. BRICK<br>3. CELLULAR PVC<br>4. METAL<br>5. HARDI-PLANK<br>6. GLASS                 |
| K. TOWER BEACON                           | 1. GLASS BLOCK   |
| L. BALCONY WALL RECESSED                  | 1. HARDI-PLANK<br>2. MASONRY<br>3. SYNTHETIC PLASTER   |
| M. FRAME WALLS                            | 1. HARDI-PLANK<br>2. PREFINISHED METAL ARCHITECTURAL PANELS<br>3. SYNTHETIC PLASTER                    |
| N. ARCHITECTURAL MASONRY ORNAMENTATION    | 1. LIMESTONE<br>2. CAST STONE<br>3. SYNTHETIC PLASTER<br>4. FP/PON                                     |
| O. AWNINGS                                | 1. CANVAS<br>2. METAL<br>3. VINYL<br>4. FIBERGLASS   |
| P. ELEVATOR OVER-RUN & STAIR TOWER BEYOND |  |
| Q. GAS METER                              |  |
| S. PERGOLA                                | 1. PAINTED WOOD<br>2. FIBERGLASS   |

JOINT DEVELOPMENT BY:



CONDOMINIUM OPTION

**BUILDING THREE: TOWER ELEVATIONS**

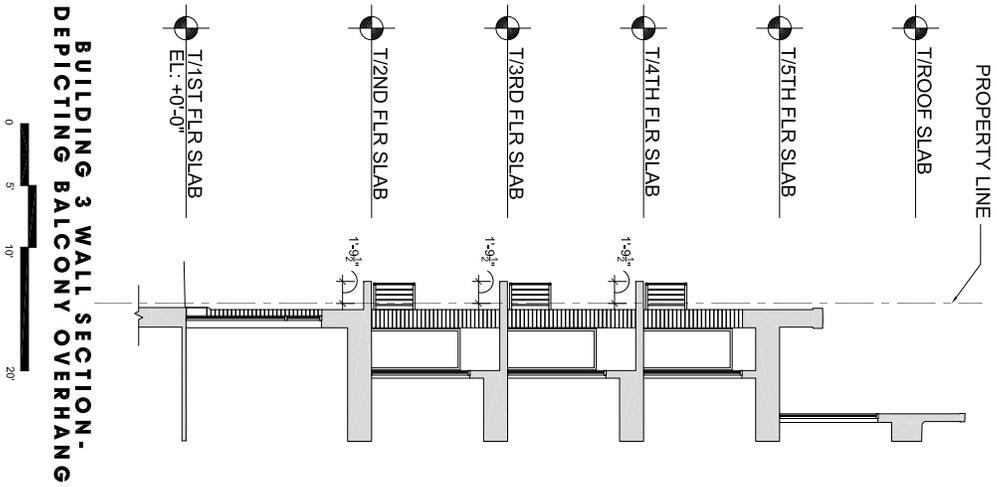
**FINAL - Plan Commission - 8/18/2010 - 103**

REVISED: JULY 29, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS &



PC-24



**BUILDING 3 WALL SECTION -  
DEPICTING BALCONY OVERHANG**

JOINT DEVELOPMENT BY:



HOTEL OPTION

**BUILDING THREE: GARAGE  
ELEVATIONS**

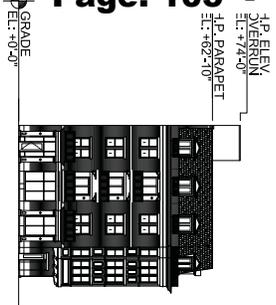
REVISED:  
JULY 23, 2010

**WATER STREET  
DISTRICT**  
NAPERVILLE, ILLINOIS 6

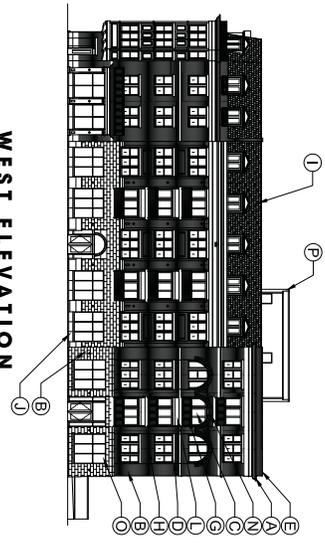


PC-24A

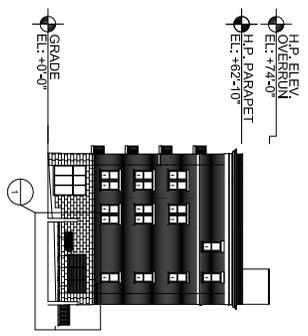
NORTH ELEVATION



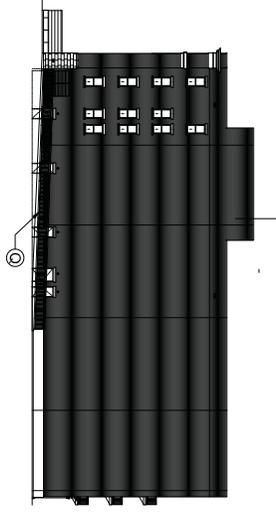
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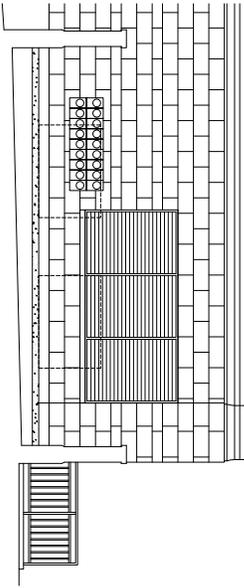
SOUTH ELEVATION



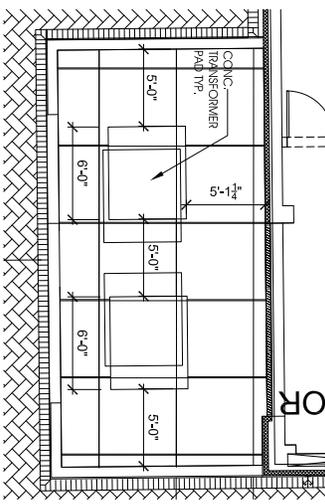
EAST ELEVATION



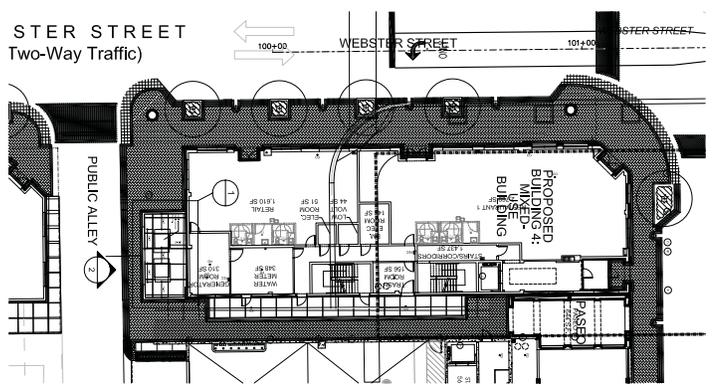
ENLARGED ENCLOSURE ELEVATION



ENLARGED ENCLOSURE PLAN



GROUND FLOOR PLAN



| ITEM                                      | OPTION   |
|---|--|
| A. CORNICE                                | 1. FYPON<br>2. SMOOTH STUCCO<br>3. CAST STONE  |
| B. MASONRY WALLS                          | 1. UTILITY FACE BRICK<br>2. MODULAR FACE BRICK<br>3. CAST STONE  |
| C. WINDOW WALLS                           | 1. CLEAR OR TINTED GLASS<br>2. PREFINISHED ALUMINIUM & VINYL FRAMES<br>3. GLASS SWING OR SLIDING DOORS |
| D. WINDOW / DOOR HEADER                   | 1. BRICK<br>2. CAST STONE  |
| E. PARAPET COPING                         | 1. CAST STONE<br>2. METAL CAP  |
| F. ROOF DECK PARTITIONS                   | 1. IPE<br>2. METAL   |
| G. BALCONY & GUARD RAILS                  | 1. PREFINISHED ALUMINIUM RAILS   |
| H. SPANDRELS                              | 1. BRICK<br>2. SYNTHETIC PLASTER<br>3. METAL<br>4. CAST STONE<br>5. HARD-PLANK                         |
| I. MANSARD ROOF                           | 1. RECYCLED RUBBER<br>2. RUBBER  |
| J. TENANT SPACE BULKHEADS                 | 1. CAST STONE<br>2. BRICK<br>3. CELLULAR PVC<br>4. METAL<br>5. HARD-PLANK<br>6. GLASS                  |
| K. TOWER BEACON                           | 1. GLASS BLOCK   |
| L. BALCONY WALL RECESSED                  | 1. HARD-PLANK<br>2. MASONRY<br>3. SYNTHETIC PLASTER  |
| M. FRAME WALLS                            | 1. HARD-PLANK<br>2. PREFINISHED METAL ARCHITECTURAL PANELS<br>3. SYNTHETIC PLASTER                     |
| N. ARCHITECTURAL MASONRY ORNAMENTATION    | 1. LIMESTONE<br>2. CAST STONE<br>3. SYNTHETIC PLASTER<br>4. FYPON                                      |
| O. AWNINGS                                | 1. CANVAS<br>2. METAL<br>3. VINYL<br>4. FIBERGLASS   |
| P. ELEVATOR OVER-RUN & STAIR TOWER BEYOND |  |
| Q. GAS METER                              |  |
| S. BERGOLA                                | 1. PAINTED WOOD<br>2. FIBERGLASS   |

CONDOMINIUM OPTION

**BUILDING FOUR: MIXED-USE ELEVATIONS**

**FINAL - Plan Commission - 8/18/2010 - 105**

JOINT DEVELOPMENT BY:



**M**  
MARQUETTE COMPANIES

REVISED -  
JULY 25, 2010

WATER STREET DISTRICT  
NAPERVILLE, ILLINOIS

**SULLIVAN**  
GOULLETTE  
& WILSON

ARCHITECTS

PC-25

REVISIONS

1. ADD CORNICE

2. ADD MASONRY WALLS

3. ADD WINDOW WALLS

4. ADD WINDOW / DOOR HEADER

5. ADD PARAPET COPING

6. ADD ROOF DECK PARTITIONS

7. ADD BALCONY & GUARD RAILS

8. ADD SPANDRELS

9. ADD MANSARD ROOF

10. ADD TENANT SPACE BULKHEADS

11. ADD TOWER BEACON

12. ADD BALCONY WALL RECESSED

13. ADD FRAME WALLS

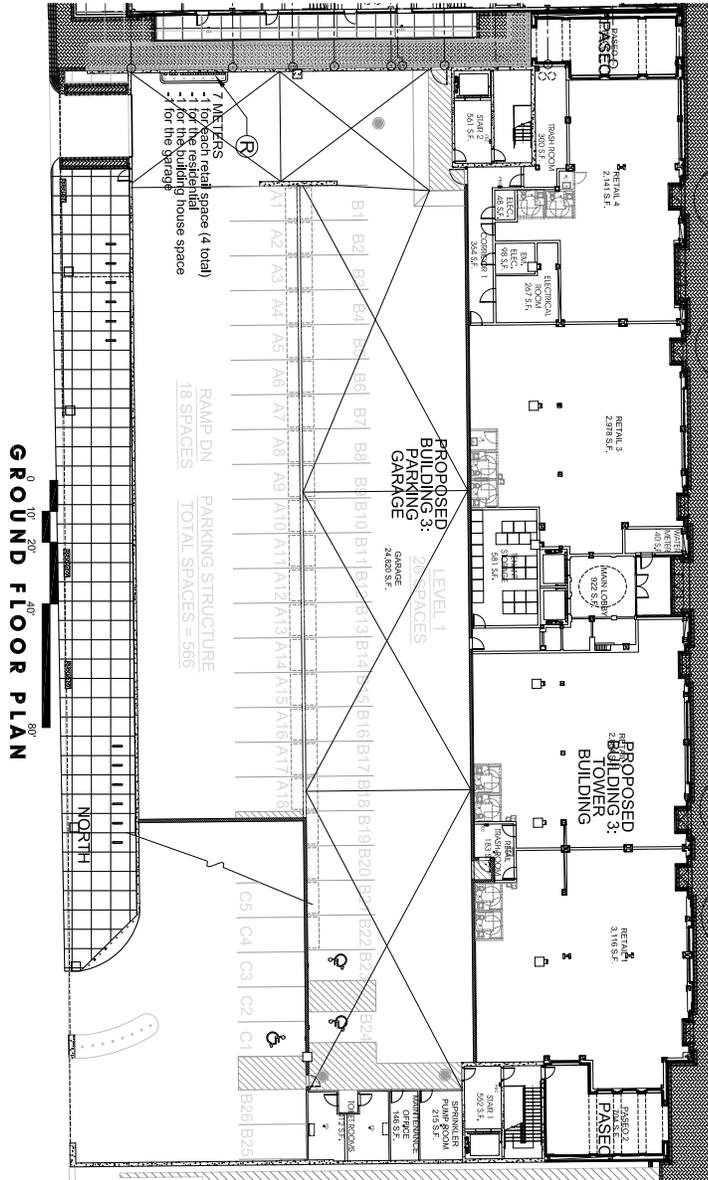
14. ADD ARCHITECTURAL MASONRY ORNAMENTATION

15. ADD AWNINGS

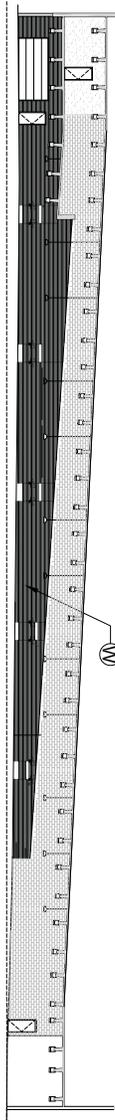
16. ADD ELEVATOR OVER-RUN & STAIR TOWER BEYOND

17. ADD GAS METER

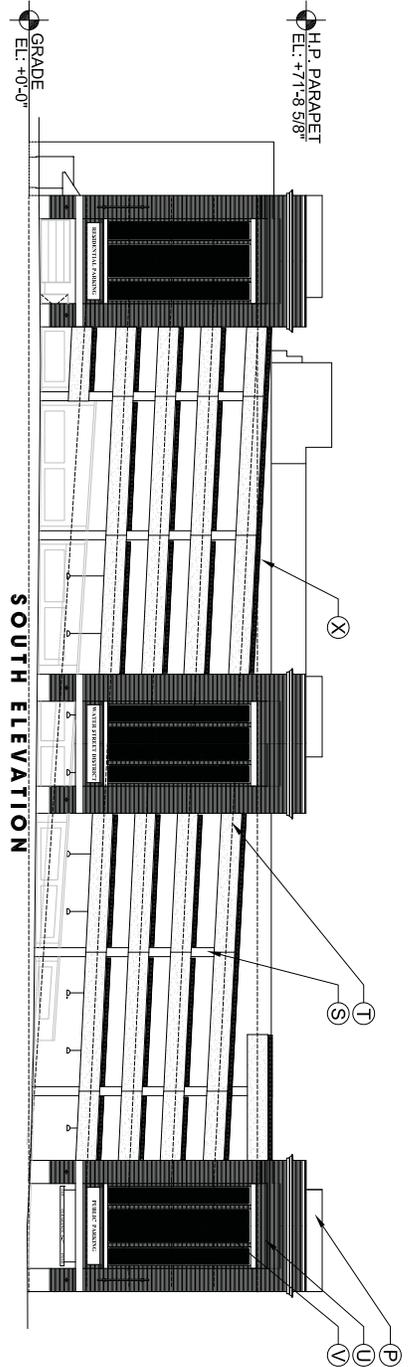
18. ADD BERGOLA



PARTIAL SOUTH ELEVATION - DEPICTING WALKWAY/ ART WALL AREA



SOUTH ELEVATION



| ITEM                                     | OPTION  |
|--|---|
| PARKING GARAGE                           |   |
| P. ELEVATOR OVERRUN & STAIR TOWER BEYOND |   |
| Q. GAS METER                             |   |
| R. ELECTRICAL METER                      |   |
| S. STRUCTURE                             | 1. EXPOSED PRE-CAST CONCRETE                              |
| T. SPANDRELS                             | 1. PRE-CAST CONCRETE W/ SANDBLASTED/ EXPOSED AGGREGATE    |
| U. FACADE                                | 1. EXPOSED PRE-CAST CONCRETE W/ STAINED BRICK FORM LINERS |
| V. WINDOW WALLS                          | 1. HOLLOW METAL FRAMES W/ OUT GLASS                       |
| W. ART WALL                              |   |
| X. GUARD RAIL                            | 1. PRE-FINISHED ALUMINUM RAIL                             |

CONDOMINIUM OPTION

**BUILDING THREE: GARAGE ELEVATIONS**

**FINAL - Plan Commission - 8/18/2010 - 106**

REVISED - JULY 23, 2010

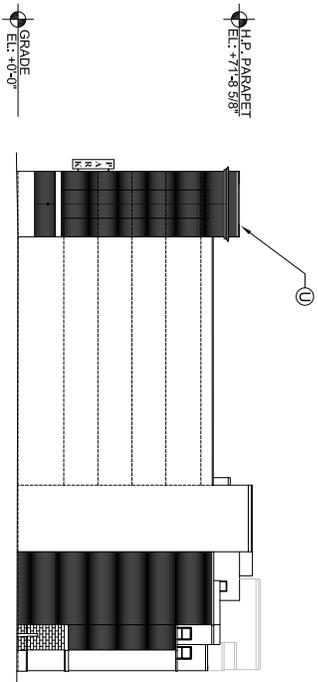
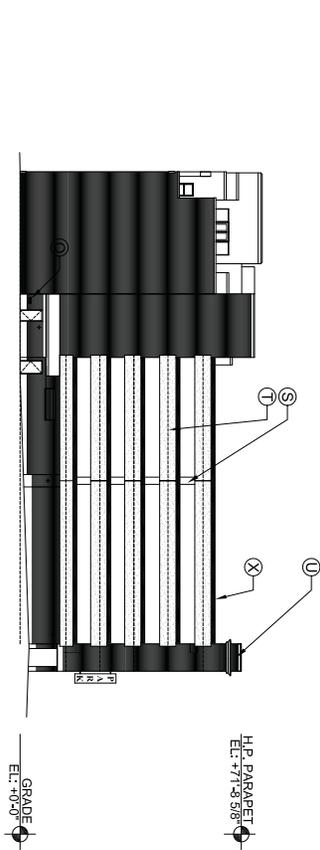
**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 2



PC-26A



JOINT DEVELOPMENT BY:



| ITEM                                     | OPTION  |
|--|---|
| PARKING GARAGE                           |   |
| P. ELEVATOR OVERRUN & STAIR TOWER BEYOND |   |
| Q. GAS METER                             |   |
| R. ELECTRICAL METER                      |   |
| S. STRUCTURE                             | 1. EXPOSED PRE-CAST CONCRETE                              |
| T. SPANDRELS                             | 1. PRE-CAST CONCRETE W/ SANDBLASTED/ EXPOSED AGGREGATE    |
| U. FACADE                                | 1. EXPOSED PRE-CAST CONCRETE W/ STAINED BRICK FORM LINERS |
| V. WINDOW WALLS                          | 1. HOLLOW METAL FRAMES W/ OUT GLASS                       |
| W. ART WALL                              |   |
| X. GUARD RAIL                            | 1. PRE-FINISHED ALUMINUM RAIL                             |

JOINT DEVELOPMENT BY:



CONDOMINIUM OPTION

**BUILDING THREE: GARAGE ELEVATIONS**

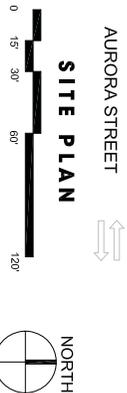
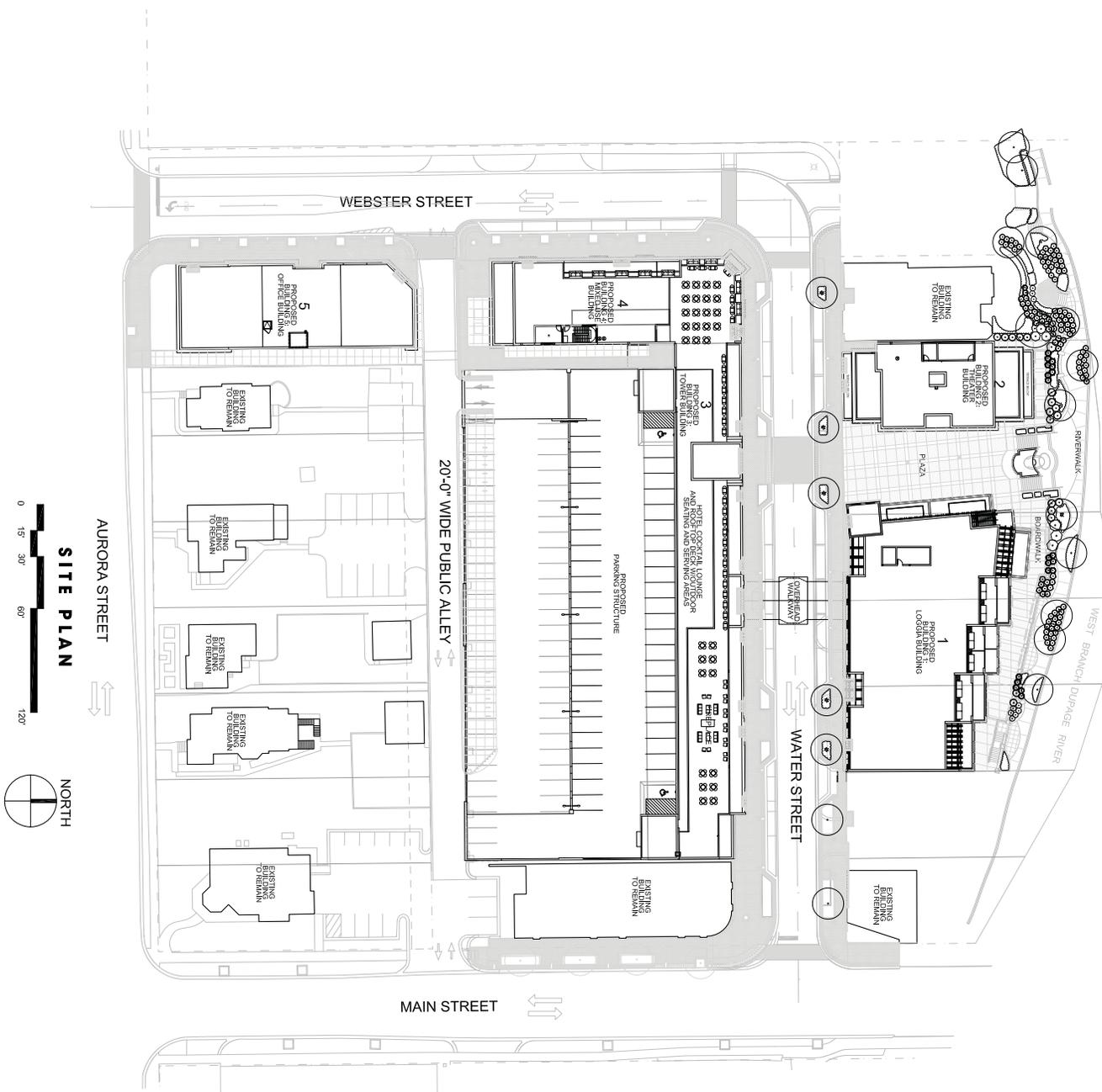
**FINAL - Plan Commission - 8/18/2010 - 107**

REVISED - JULY 29, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 6



PC-26B



**SITE PLAN**

AURORA STREET

WEBSTER STREET

20'-0" WIDE PUBLIC ALLEY

WATER STREET

MAIN STREET

JOINT DEVELOPMENT BY:

**M**  
**MARQUETTE COMPANIES**  
**MOSER**  
 ENTERPRISES, INC.

HOTEL OPTION  
**SITE/FIRST FLOOR PLAN**

**FINAL - Plan Commission - 8/18/2010 - 108**

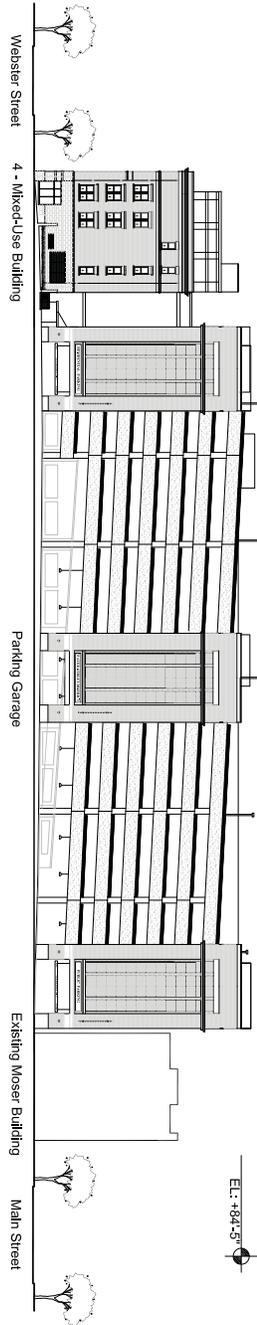
REVISED  
 JULY 23, 2010

**WATER STREET DISTRICT**  
 NAPERVILLE, ILLINOIS

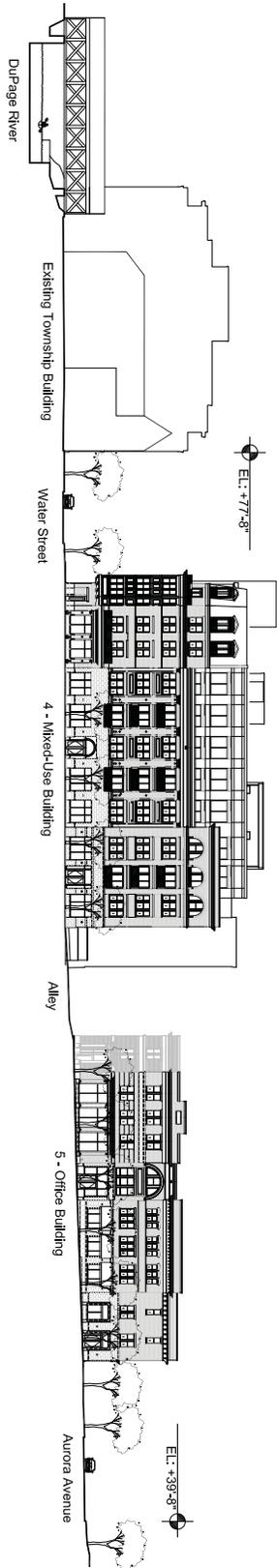
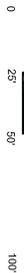
**SULLIVAN**  
**GOULLETTE**  
**& WILSON**  
 ARCHITECTS

**Hatchcock Design Group**  
 ARCHITECTS

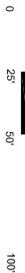
PC-3



**ALLEY ELEVATION**



**WEBSTER ST. ELEVATION**



JOINT DEVELOPMENT BY:



HOTEL OPTION

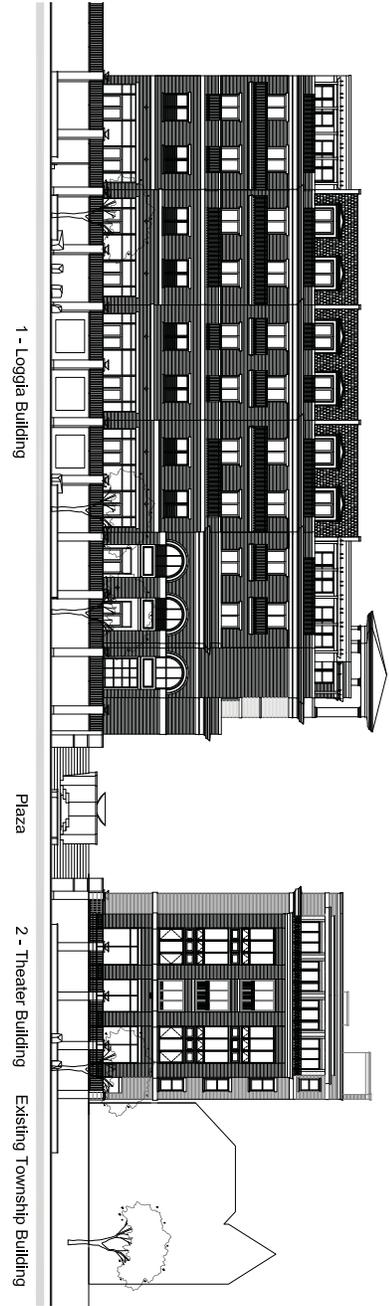
**ALLEY ELEVATION / WEBSTER STREET ELEVATION**

**FINAL - Plan Commission - 8/18/2010 - 109**

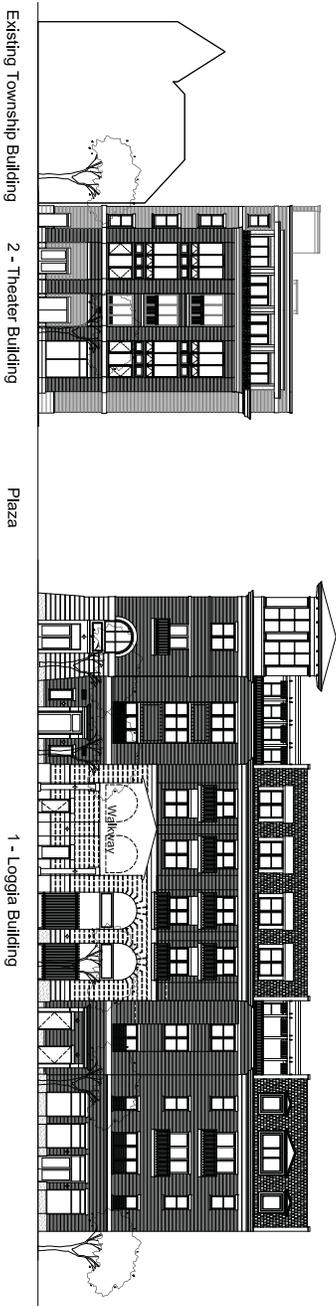
REVISED - JULY 23, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 2





DUPAGE RIVER ELEVATION



WATER ST. NORTH ELEVATION

JOINT DEVELOPMENT BY :



HOTEL OPTION

**WATER STREET ELEVATION**  
**FINAL - Plan Commission - 8/18/2010 - 110**

REVISED -  
 JULY 23, 2010

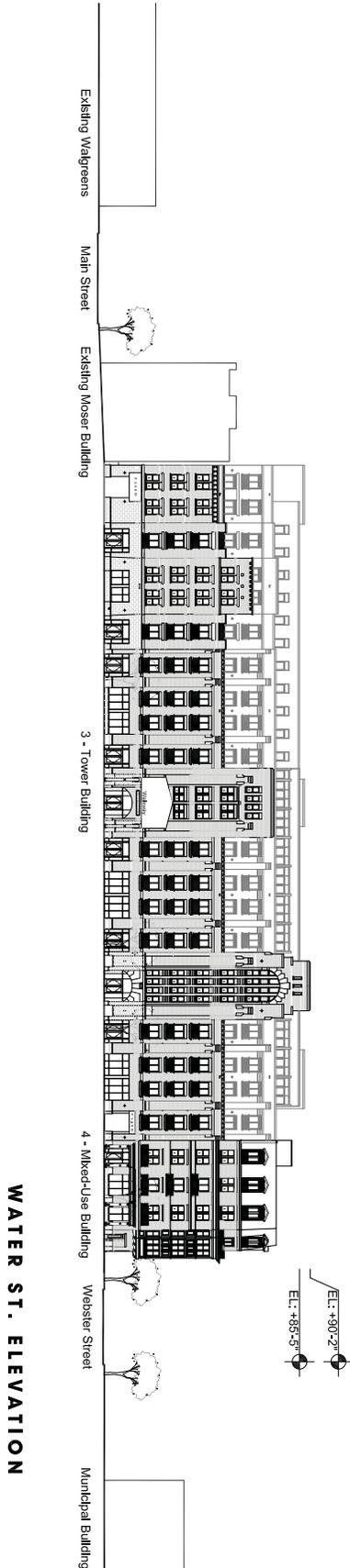
**WATER STREET DISTRICT**  
 NAPERVILLE, ILLINOIS 2



**SULLIVAN  
 GOULLETTE  
 & WILSON**  
 ARCHITECTS

ARCHITECTS  
 100 SOUTH MAIN STREET, SUITE 200  
 NAPERVILLE, ILLINOIS 60563

PC-9



**WATER ST. ELEVATION**

HOTEL OPTION

**WATER STREET ELEVATION**

**FINAL - Plan Commission - 8/18/2010 - 111**

REVISED -  
JULY 23, 2010

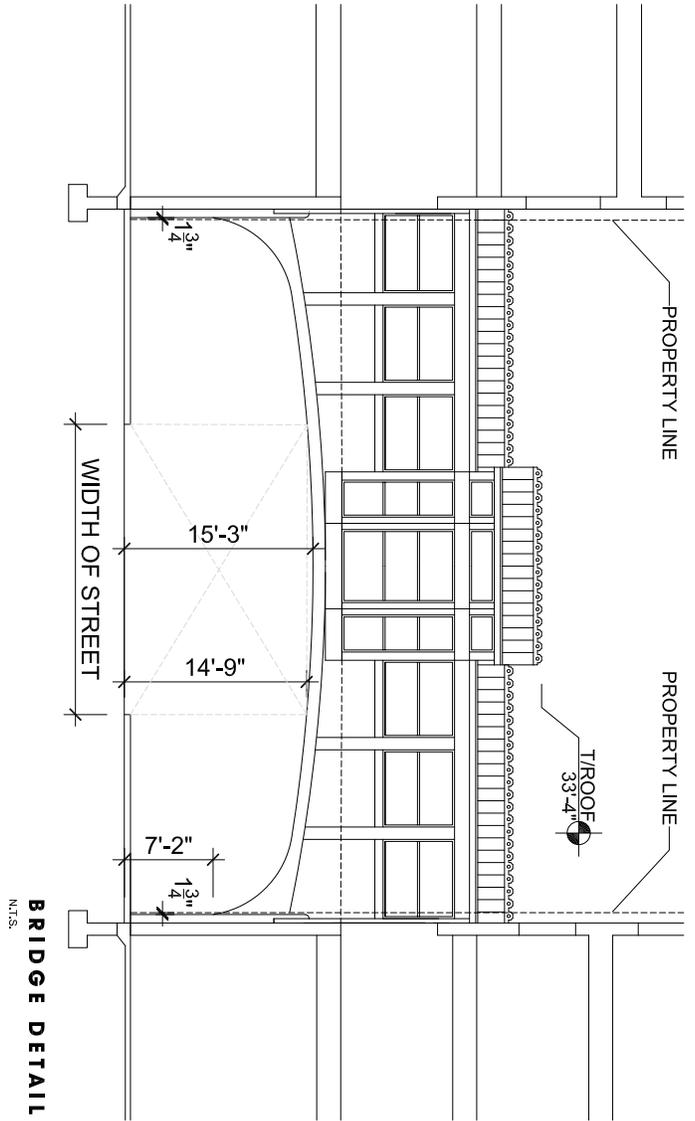
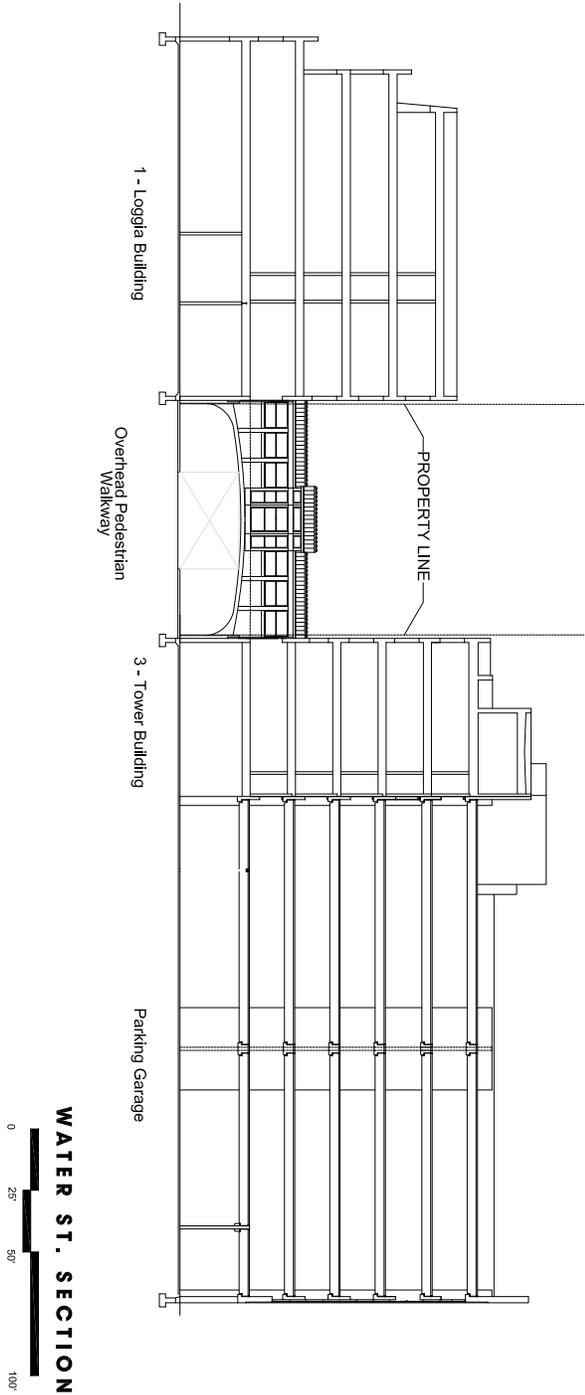
**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 2

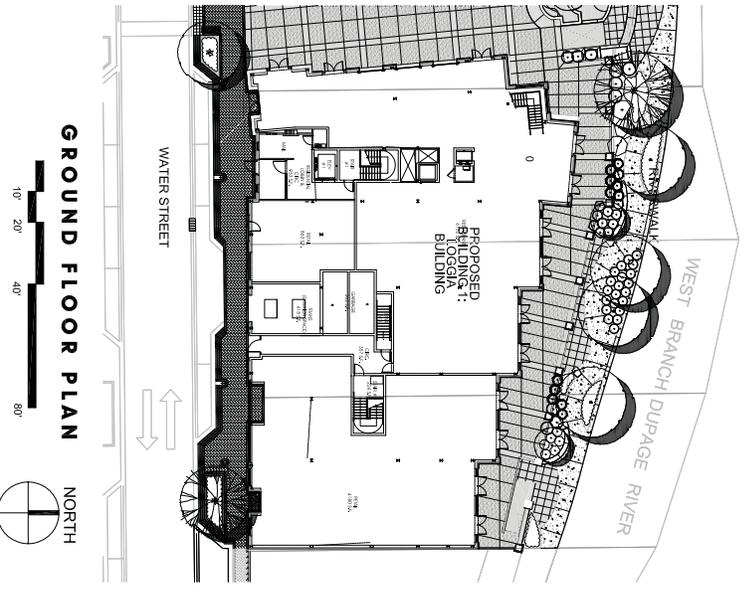
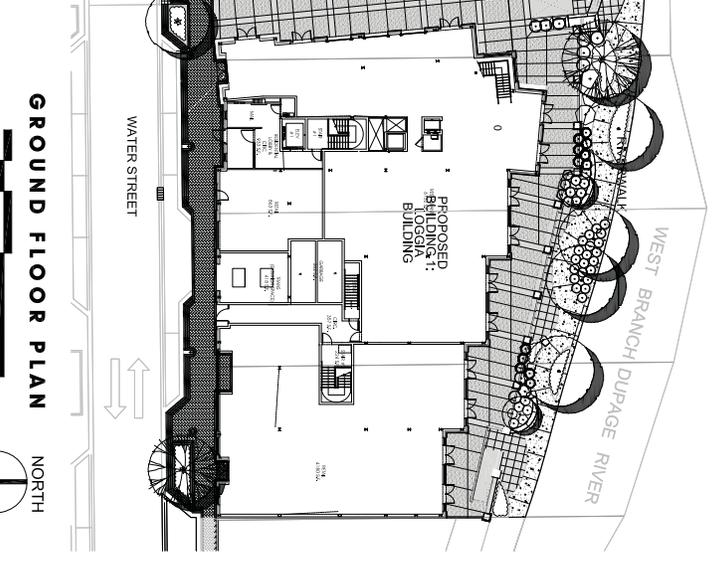
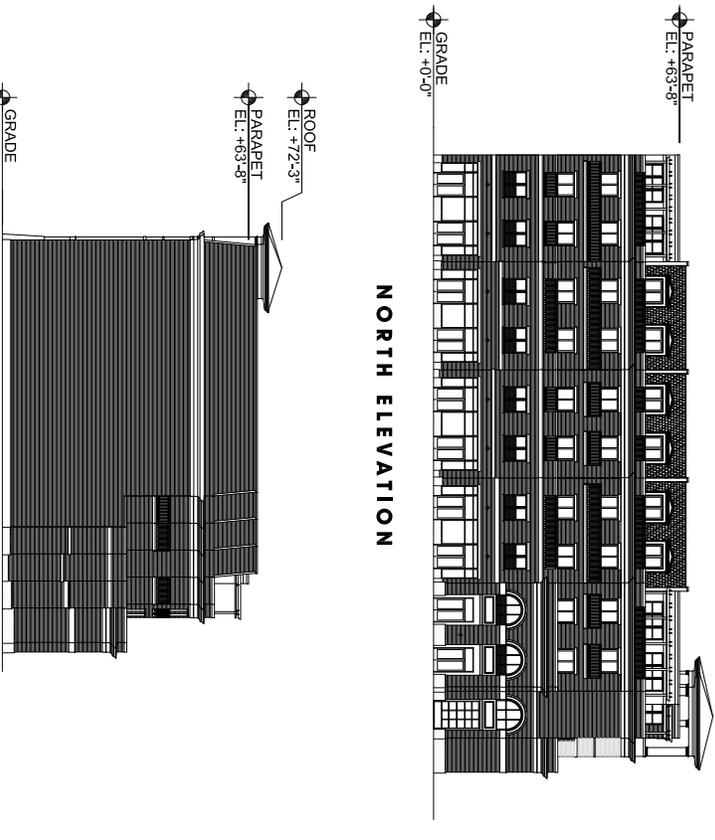
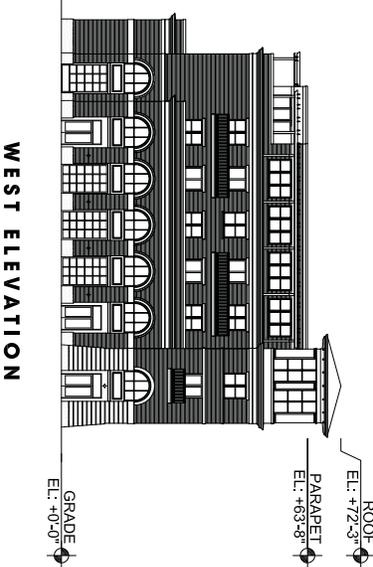
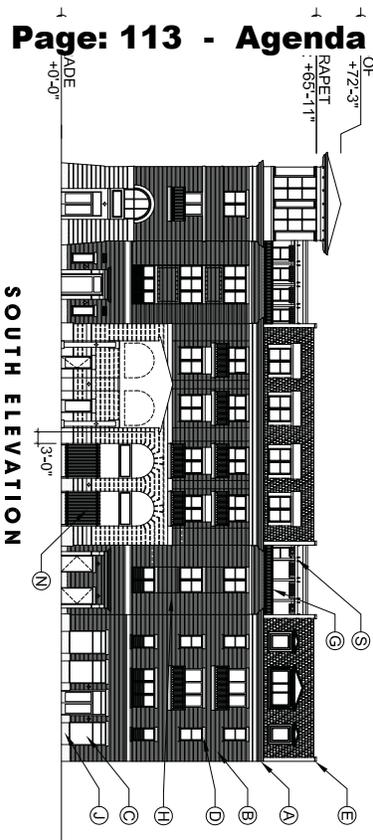


PC-9A

JOINT DEVELOPMENT BY:







| ITEM                                      | OPTION   |
|---|--|
| A. CORNICE                                | 1. FYPON<br>2. SMOOTH STUCCO<br>3. CAST STONE  |
| B. MASONRY WALLS                          | 1. UTILITY FACE BRICK<br>2. MODULAR FACE BRICK<br>3. CAST STONE  |
| C. WINDOW WALLS                           | 1. CLEAR OR TINTED GLASS<br>2. PREFINISHED ALUMINIUM & VINYL FRAMES<br>3. GLASS SWING OR SLIDING DOORS |
| D. WINDOW / DOOR HEADER                   | 1. BRICK<br>2. CAST STONE  |
| E. PARAPET COPING                         | 1. CAST STONE<br>2. METAL CAP  |
| F. ROOF DECK PARTITIONS                   | 1. IPE<br>2. METAL   |
| G. BALCONY & GUARD RAILS                  | 1. PREFINISHED ALUMINIUM RAILS   |
| H. SPANDRELS                              | 1. BRICK<br>2. SYNTHETIC PLASTER<br>3. METAL<br>4. CAST STONE<br>5. HARD-PLANK                         |
| I. MANSARD ROOF                           | 1. RECYCLED RUBBER<br>2. RUBBER  |
| J. TENANT SPACE BULKHEADS                 | 1. CAST STONE<br>2. BRICK<br>3. CELLULAR PVC<br>4. METAL<br>5. HARD-PLANK<br>6. GLASS                  |
| K. TOWER BEACON                           | 1. GLASS BLOCK   |
| L. BALCONY WALL RECESSED                  | 1. HARD-PLANK<br>2. MASONRY<br>3. SYNTHETIC PLASTER  |
| M. FRAME WALLS                            | 1. HARD-PLANK<br>2. PREFINISHED<br>3. METAL ARCHITECTURAL PANELS<br>4. SYNTHETIC PLASTER               |
| N. ARCHITECTURAL MASONRY ORNAMENTATION    | 1. LIMESTONE<br>2. CAST STONE<br>3. SYNTHETIC PLASTER<br>4. FYPON                                      |
| O. AWNINGS                                | 1. CANVAS<br>2. METAL<br>3. VINYL<br>4. FIBERGLASS   |
| P. ELEVATOR OVER-RUN & STAIR TOWER BEYOND |  |
| Q. GAS METER                              |  |
| S. PERGOLA                                | 1. PAINTED WOOD<br>2. FIBERGLASS   |

REVISED  
JULY 23, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS

HOTEL OPTION

**BUILDING ONE: LOGGIA ELEVATIONS**

**FINAL - Plan Commission - 8/18/2010 - 113**

JOINT DEVELOPMENT BY:



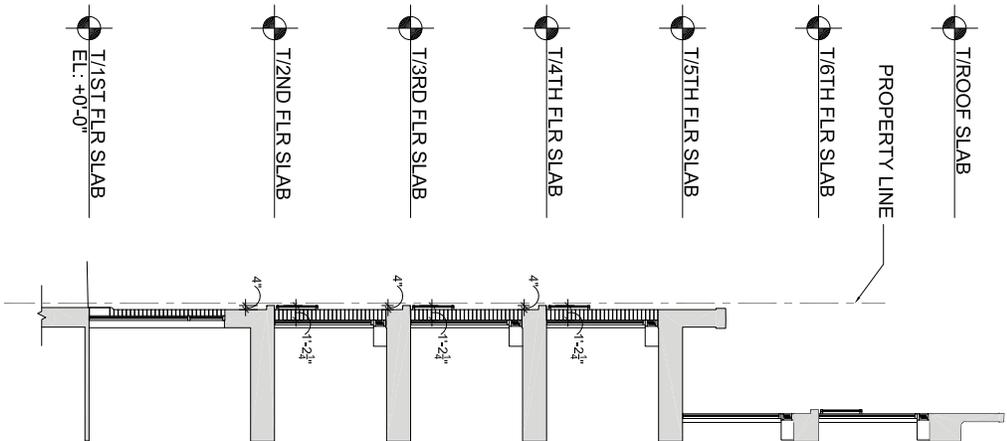
**MOSER ENTERPRISES, INC.**

**SULLIVAN**  
ARCHITECTS  
& WILSON

**Hatchcock Design Group**  
ARCHITECTS

**PC-22**





**BUILDING 3 WALL SECTION -  
DEPICTING BALCONY OVERHANG**



JOINT DEVELOPMENT BY:

**M**  
MARQUETTE COMPANIES

**MOSER**  
ENTERPRISES, INC.

HOTEL OPTION

**BUILDING THREE: GARAGE ELEVATIONS**

**FINAL - Plan Commission - 8/18/2010 - 115**

REVISED -  
JULY 23, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 6

**SULLIVAN**  
**GOULLETTE**  
**& WILSON**

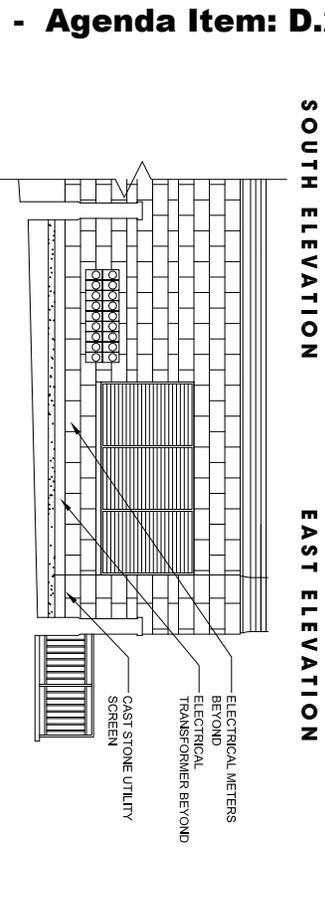
ARCHITECTS

**Hidcock Design Group**  
MEMBER FIRM ARCHITECTS

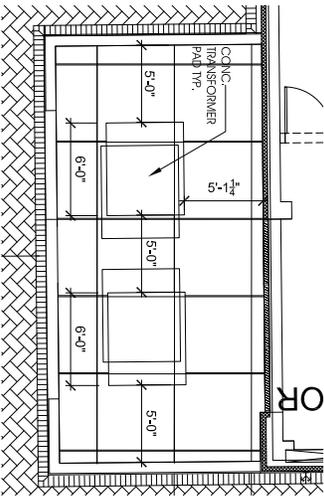
1000 N. STATE STREET, SUITE 100  
NAPERVILLE, IL 60563  
TEL: 630.251.1100  
WWW.HIDCOCKDESIGN.COM

PC-24A

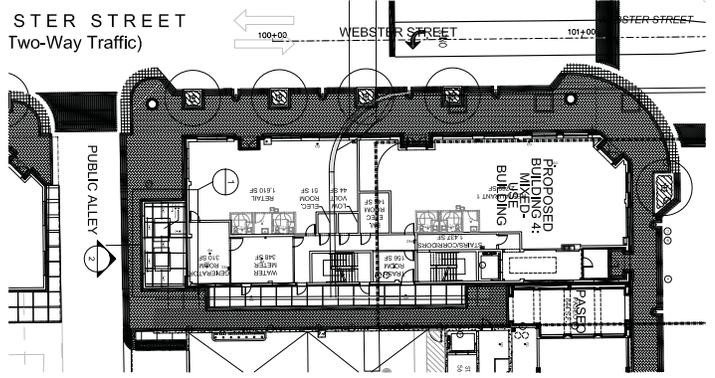
② ENLARGED ENCLOSURE ELEVATION



① ENLARGED ENCLOSURE PLAN



GROUND FLOOR PLAN  
0 10' 20' 40' 80'  
NORTH



| ITEM                                      | OPTION   |
|---|--|
| A. CORNICE                                | 1. FYPON<br>2. SMOOTH STUCCO<br>3. CAST STONE  |
| B. MASONRY WALLS                          | 1. UTILITY FACE BRICK<br>2. MODULAR FACE BRICK<br>3. CAST STONE  |
| C. WINDOW WALLS                           | 1. CLEAR OR TINTED GLASS<br>2. PREFINISHED ALUMINIUM & VINYL FRAMES<br>3. GLASS SWING OR SLIDING DOORS |
| D. WINDOW / DOOR HEADER                   | 1. BRICK<br>2. CAST STONE  |
| E. PARAPET COPING                         | 1. CAST STONE<br>2. METAL CAP  |
| F. ROOF DECK PARTITIONS                   | 1. IPE<br>2. METAL   |
| G. BALCONY & GUARD RAILS                  | 1. PREFINISHED ALUMINIUM RAILS   |
| H. SPANDRELS                              | 1. BRICK<br>2. SYNTHETIC PLASTER<br>3. METAL<br>4. CAST STONE<br>5. HARD-PLANK                         |
| I. MANSARD ROOF                           | 1. RECYCLED RUBBER<br>2. RUBBER  |
| J. TENANT SPACE BULKHEADS                 | 1. CAST STONE<br>2. BRICK<br>3. CELLULAR PVC<br>4. METAL<br>5. HARD-PLANK<br>6. GLASS                  |
| K. TOWER BEACON                           | 1. GLASS BLOCK   |
| L. BALCONY WALL RECESSED                  | 1. HARD-PLANK<br>2. MASONRY<br>3. SYNTHETIC PLASTER  |
| M. FRAME WALLS                            | 1. HARD-PLANK<br>2. PREFINISHED METAL ARCHITECTURAL PANELS<br>3. SYNTHETIC PLASTER                     |
| N. ARCHITECTURAL MASONRY ORNAMENTATION    | 1. LIMESTONE<br>2. CAST STONE<br>3. SYNTHETIC PLASTER<br>4. FYPON                                      |
| O. AWNINGS                                | 1. CANVAS<br>2. METAL<br>3. VINYL<br>4. FIBERGLASS   |
| P. ELEVATOR OVER-RUN & STAIR TOWER BEYOND |  |
| Q. GAS METER                              |  |
| S. BERGOLA                                | 1. PAINTED WOOD<br>2. FIBERGLASS   |

REVISED  
JULY 23, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS

HOTEL OPTION

**BUILDING FOUR: MIXED-USE ELEVATIONS**

**FINAL - Plan Commission - 8/18/2010 - 116**

JOINT DEVELOPMENT BY:

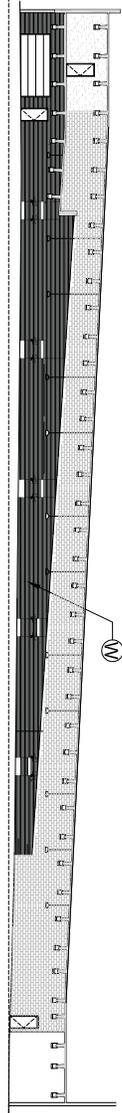
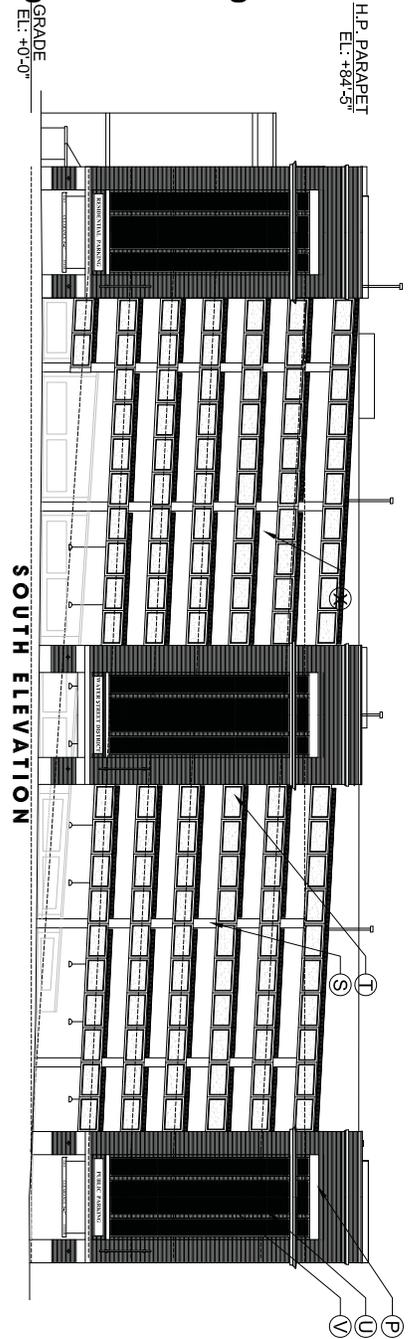


**M**  
MARQUETTE COMPANIES

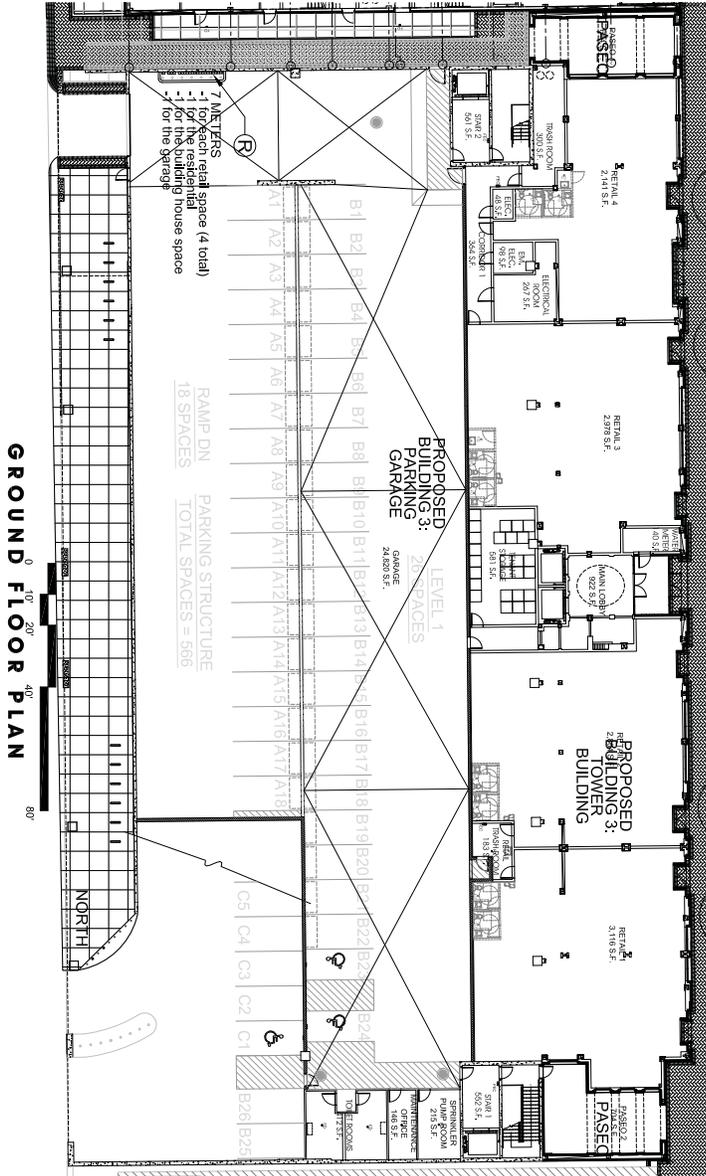
**SULLIVAN & WILSON**  
ARCHITECTS

**Hidcock Design Group**  
ENGINEERING ARCHITECTS

PC-25



PARTIAL SOUTH ELEVATION - DEPICTING WALKWAY/ ART WALL AREA



GROUND FLOOR PLAN

| ITEM                                     | OPTION  |
|--|---|
| PARKING GARAGE                           |   |
| P. ELEVATOR OVERRUN & STAIR TOWER BEYOND |   |
| Q. GAS METER                             |   |
| R. ELECTRICAL METER                      |   |
| S. STRUCTURE                             | 1. EXPOSED PRE-CAST CONCRETE                              |
| T. SPANDRELS                             | 1. PRE-CAST CONCRETE W/ SANDBLASTED/ EXPOSED AGGREGATE    |
| U. FACADE                                | 1. EXPOSED PRE-CAST CONCRETE W/ STAINED BRICK FORM LINERS |
| V. WINDOW WALLS                          | 1. HOLLOW METAL FRAMES W/ OUT GLASS                       |
| W. ART WALL                              |   |
| X. GUARD RAIL                            | 1. PRE-FINISHED ALUMINUM RAIL                             |

JOINT DEVELOPMENT BY:



HOTEL OPTION

**BUILDING THREE: GARAGE ELEVATIONS**

**FINAL - Plan Commission - 8/18/2010 - 117**

REVISED: JULY 23, 2010

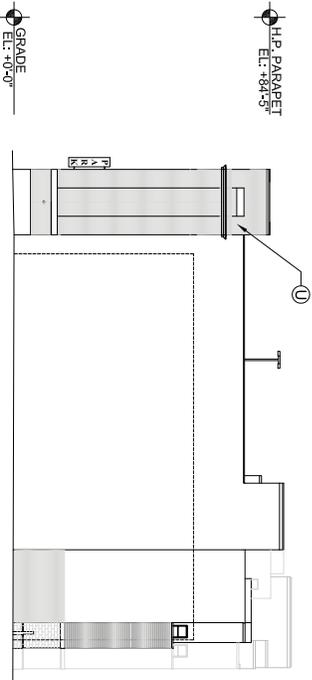
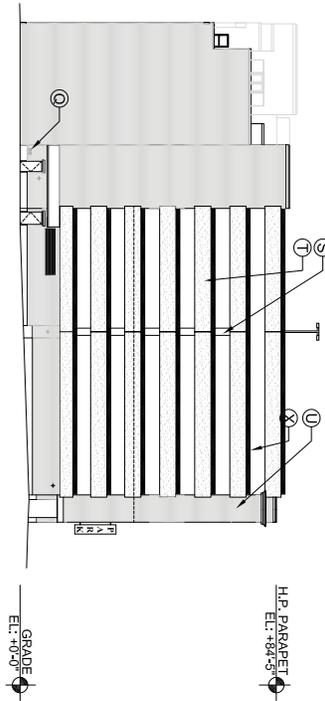
**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 6

**Hidcock Design Group**  
 ARCHITECTS  
 100 NORTH STATE STREET, SUITE 200  
 NAPERVILLE, ILLINOIS 60563

**SULLIVAN GOULETTE & WILSON**  
 ARCHITECTS  
 100 NORTH STATE STREET, SUITE 200  
 NAPERVILLE, ILLINOIS 60563

PC-26A





| ITEM                                     | OPTION  |
|--|---|
| PARKING GARAGE                           |   |
| P. ELEVATOR OVERRUN & STAIR TOWER BEYOND |   |
| Q. GAS METER                             |   |
| R. ELECTRICAL METER                      |   |
| S. STRUCTURE                             | 1. EXPOSED PRE-CAST CONCRETE                              |
| T. SPANDRELS                             | 1. PRE-CAST CONCRETE W/ SANDBLASTED/ EXPOSED AGGREGATE    |
| U. FACADE                                | 1. EXPOSED PRE-CAST CONCRETE W/ STAINED BRICK FORM LINERS |
| V. WINDOW WALLS                          | 1. HOLLOW METAL FRAMES W/ OUT GLASS                       |
| W. ART WALL                              |   |
| X. GUARD RAIL                            | 1. PRE-FINISHED ALUMINUM RAIL                             |

HOTEL OPTION

**BUILDING THREE: GARAGE ELEVATIONS**

**FINAL - Plan Commission - 8/18/2010 - 118**

JOINT DEVELOPMENT BY:




REVISED -  
JULY 23, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 6



Hidcock Design Group  
EMERSON TRUST BUILDINGS



SULLIVAN GUILLETTE & WILSON  
ARCHITECTS

PC-26B



**WATER ST. NORTH SIDE ELEVATION**



**WATER ST. SOUTH SIDE ELEVATION**

JOINT DEVELOPMENT BY:



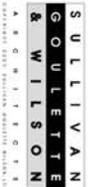
HOTEL OPTION

**WATER STREET ELEVATION**

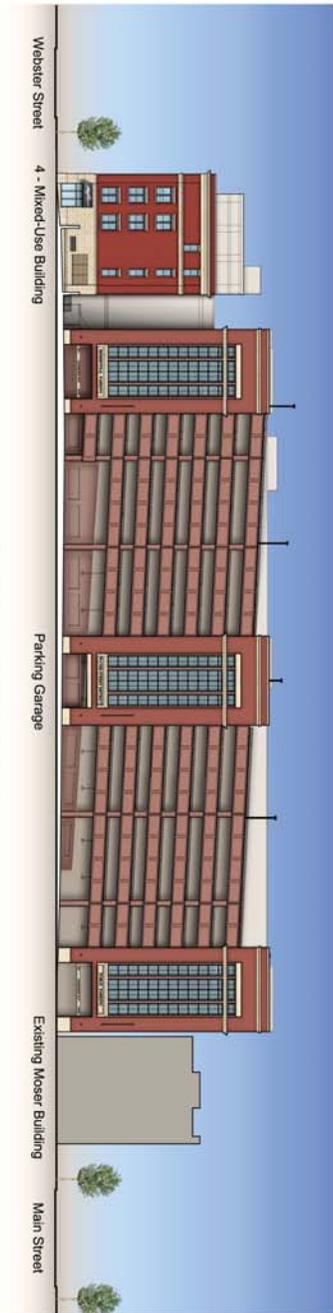
**FINAL - Plan Commission - 8/18/2010 - 119**

PROJECT #10-10006  
 REVISED - JULY 29, 11

**WATER STREET DISTRICT**  
 NAPERVILLE, ILLINOIS



PC-9a



**ALLEY ELEVATION**

0 25 50 100'



**WEBSTER ST. ELEVATION**

0 25 50 100'

JOINT DEVELOPMENT BY:

**M**  
MARQUETTE COMPANIES



HOTEL OPTION

**ALLEY ELEVATION / WEBSTER STREET ELEVATION**

**FINAL - Plan Commission - 8/18/2010 - 120**

PROJECT #10-10001  
REVISED: JULY 23, 2010

**WATER STREET DISTRICT**  
NAPERVILLE, ILLINOIS 6



PC-5