



**NAPERVILLE PLANNING AND ZONING COMMISSION
COUNCIL CHAMBERS – MUNICIPAL CENTER
FINAL AGENDA
05/16/2012 - 7:00 p.m.**

CALL TO ORDER:

A. ROLL CALL

B. APPROVE MINUTES

1. Approve the minutes of the May 2, 2012 Planning and Zoning Commission meeting.

C. OLD BUSINESS

1. PZC Case # 12-1-016 The Oaks at Naperville Crossings - Continued from April 4, 2012
Petitioner: Lennar Multifamily Investors, LLC, 14120 Ballantyne Corporate Place, Charlotte, #400, NC 28277
Location: West of Route 59 and north of 95th Street

Request: Conduct the public hearing for a request for approval of a preliminary plat of subdivision, a rezoning to R3 (Medium Density Multi-family District), a major change to the Naperville Crossings PUD and a deviation from Section 6-9-5:1 (Schedule of Off-Street Loading Requirement) in order to develop 298 multi-family dwelling units on Lots 14 and 15 in Naperville Crossings.

Official Notice: Published in the Naperville Sun on Sunday, March 18, 2012

D. PUBLIC HEARINGS

1. PZC Case # 12-1-037 Nascar Car Wash at Cantore Place
Petitioner: 1093, LLC., 2121 Oneida Street, Suite 402, Joliet, IL 60435
Location: Northwest corner of Cantore Road and Forgue Road, commonly known as Lot 5 in Cantore Place

Request: Conduct the public hearing for a request for approval of a conditional use for an automobile service station and car wash in the

AGENDA
NAPERVILLE PLANNING AND ZONING COMMISSION
05/16/2012 - 7:00 p.m. - COUNCIL CHAMBERS
Page 2

B2 (Community Shopping Center District), a major change to the Cantore PUD, and a final PUD plat in order to develop a car wash and lube facility, known as Nascar Car wash, on Lot 5 in Cantore Place.

Official Notice: Published in the Naperville Sun on Sunday, April 29, 2012.

2. PZC Case # 12-1-057 Northwest Water Tower -2820 W. Diehl Road
Petitioner: City of Naperville Department of Public Utilities, Water and Wastewater
Location: 2820 W. Diehl Road

Request: Conduct the public hearing for the annexation and zoning, preliminary/final plat of subdivision, conditional use, and associated variances for an existing water tower located at 2820 W. Diehl Road.

Official Notice: Published in the Naperville Sun on Sunday, April 29, 2012

- E. REPORTS AND RECOMMENDATIONS**
- F. CORRESPONDENCE**
- G. NEW BUSINESS**
- H. ADJOURNMENT**

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the Accessibility Coordinator at least 48 hours in advance of the scheduled meeting. The Accessibility Coordinator can be reached in person at 400 S. Eagle Street, Naperville, IL., via telephone at 630-420-6725 or 630-305-5205 (TDD) or via e-mail at manningm@naperville.il.us. Every effort will be made to allow for meeting participation.



**NAPERVILLE PLANNING AND ZONING COMMISSION
DRAFT MINUTES OF MAY 2, 2012**

Call to Order

7:02 p.m.

A. Roll Call

Present: Frost, Coyne, Gustin, Herzog, Meyer, Messer, Trowbridge, Williams
Absent: Bruno
Student Members:
Staff Present: Planning Team – Ying Liu, Tim Felstrup
Engineering – Trude Terreberry

B. Minutes

Approve the minutes of April 18, 2012.

Motion by: Meyer
Second by: Gustin

Approved
(8 to 0)

C. Old Business

D. Public Hearings

**D1. Case #12-1-047
Aquatic Visions**

The petitioner is requesting a variance in order to have window signage that covers more than fifty (50) percent of the window-surface area of Suite 109 at 2695 Forgue Drive.

Terreberry, Engineering Services Team, gave an overview of the request.

- The petitioner indicated the sign was installed for safety reasons due to a recent break-in incident. The Police Department indicated that there is no criminal record associated with the subject property or the surrounding commercial development.
- The building code does not prevent people from blocking their windows. However, window signage is subject to the 50% requirement.

Michael Elmore, Aquatic Visions, spoke on behalf of the petitioner.

- The proposed signage is to improve the appearance of the storefront.
- Window covering is to protect the fish tank behind the window.
- The false dry wall serves the purpose of blocking the sun light.

Planning and Zoning Commission inquired about

- Whether the “window-surface area” includes the door and transom.
- What would be considered window signage? Staff responded that a blank film or generic graphic patterns covering the window are not considered

signage. However, if the graphics are associated with the logo or products/services of the business, they are considered signage. A graphic pattern of fish would be considered a sign.

- Whether the false wall behind the window violates the building code. Staff responded that it doesn't violate the building code.
- The purpose of requiring 50% of the windows free of signage. Staff indicated that the purpose is to prevent sign clutter.
- Whether the proposed sign should be considered a wall sign.
- Whether the fish tank can be relocated away from the window in the store. The petitioner responded no.
- Whether the regulations are different for signage inside the window.

Public Testimony: None

Planning and Zoning Commission closed the public hearing.

Planning and Zoning Commission Discussion:

- Coyne – Likes the design of the sign. However, concerned that this sign would set a precedent.
- Gustin – Agrees with Coyne. Suggests that the petitioner change the sign to a generic pattern and remove the text. Feels that a fish pattern is generic.
- Messer – It is an eye-catching sign. Agrees that a fish pattern is generic. Would like the petitioner to modify the sign.
- Trowbridge – Agrees with Gustin and Messer. Suggests that the petitioner reduce the sign to 50% of the window area and remove the text.
- Herzog – The sign is well-designed. However, the sign creates signage clutter on the storefront. Would prefer a blank covering for the window.

Planning and Zoning Commission moved to recommend approval of PZC 12-1-047 for a variance in order to have window signage that covers more than fifty (50) percent of the window-surface area of Suite 109 at 2695 Forgue Drive.

Motion by: Gustin

Seconded by: Trowbridge

The Planning and Zoning Commission moved to amend the main motion to approve window signage to cover 100% of the window-surface area subject to the condition that the text of the sign be removed and the graphic provide a fish and coral pattern similar to the existing design. Not Approved (2 to 6)

Motion by: Gustin

Seconded by: Messer

Ayes: Gustin, Messer

Nays: Coyne, Frost, Meyer, Trowbridge, Williams, Herzog

The Planning and Zoning Commission voted on the main motion.

Not Approved
(0 to 8)

**D2. Case #12-1-051
Midwest Title Loans**

The petitioner requests a variance in order to replace the face panels on an existing, nonconforming pole sign without bringing the sign into compliance with the current monument-sign regulations for the property located at 905 E. Ogden Avenue.

Felstrup, Planning Services Team, gave an overview of the request.

Kevin Booker, Vertex Signs, spoke on behalf of the petitioner

- The customer has leased the building with the assumption that the sign could be reused.
- The ability to use the existing sign is critical to their business.
- Proposes to use the sign for a definite period of time and then comply with the code requirement once the business is established.
- The measurement of the property frontage is more than 100' which allows for a freestanding sign.

Planning and Zoning Commission inquired about:

- The goal of the Ogden Avenue Corridor Study is to beautify the corridor and provide a connection to the Downtown area.
- Temporary use of the existing sign is subject to the City Council's consideration.
- Whether the business is a national business. The petitioner indicated yes, and there are about 600 stores nationwide.
- Whether the design and colors of the proposed sign can be improved. Petitioner indicated that the design of the sign is the business' national model.

Public Testimony: None

Planning and Zoning Commission closed the public hearing.

Planning and Zoning Commission Discussion:

- Coyne – The sign is in conflict with the Ogden Avenue Corridor Study which is intended to improve the appearance of the Ogden Avenue Corridor.
- Gustin – Agrees with Coyne. Doesn't think it is an appealing sign.
- Messer – Concurs with other commissioners.
- Meyer – The sign is in conflict with the recommendations of the Ogden Avenue Corridor Study.

Planning and Zoning Commission moved to recommend approval of PZC 12-1-051 for a variance to allow replacement of the face panels on an existing, nonconforming pole sign without bringing the sign into compliance with the current monument-sign regulations for the property located at 905 E. Ogden Avenue.

Motion by: Meyer
Seconded by: Williams

Not Approved
(0 to 8)

**D3. Case #12-1-043
719 Prairie Avenue**

The petitioner requests a variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District: Yard Requirements) of the Naperville Municipal Code to reduce the 30’ front yard setback requirement as well as reduce the 15’ corner side yard setback in order to construct a covered front porch at a distance of 26’ from the front lot line and 9.83’ from the corner side yard lot line for the property located at 719 Prairie Avenue.

Felstrup, Planning Services Team, gave an overview of the request.

Adam Someren, Casa by Charleston, spoke on behalf of the petitioner.

- The proposed wrap-around front porch greatly improves the home’s appearance.
- The design of the front porch is consistent with the style and size of the surrounding homes in the area.
- Presented the exterior elevations of the home.
- The width of the porch has been reduced to save a tree in the front yard.

Planning and Zoning Commission inquired about

- Whether changing the orientation of the house from Prairie Avenue to Columbia Street will affect the determination of the front yard for the property. Staff responded that the determination of the front yard is not dependent upon the orientation of the home.
- Whether a variance is required for the current encroachment of the existing home.
- Whether a variance was approved for the current encroachment of the home.
- How much of the front porch is in the setback. The petitioner indicated about 4’ of the porch is in the setback and this additional width allows the porch to be more usable.

Public Testimony: None

Planning and Zoning Commission inquired about

- Whether the porch encroachment would create a safety concern for vehicles travelling along Columbia Street. Staff responded that the proposed porch maintains a 25’ setback from the street and is out of the

sight triangle. Staff doesn't believe it will be a problem.

Planning and Zoning Commission closed the public hearing.

Planning and Zoning Commission Discussion:

- Gustin – The hardship of the case is that the existing home can't be shifted. Will support the variance based on the hardship. The proposal will be a wonderful addition to the home.
- Messer – Commends the owner for trying to work with the existing home rather than tearing it down.
- Williams – The proposed addition is excellent. Believes the impact on the surrounding properties is minimal. Commends the petitioner for trying to stay with the home and preserve the tree in the front yard. Williams also noted that the current encroachment doesn't give the permission to new encroachment.

Planning and Zoning Commission moved to recommend approval of PZC #12-1-043 for a variance from Section 6-6B-7:1 (R1B Low Density Single-Family Residence District: Yard Requirements) of the Naperville Municipal Code to reduce the 30' front yard setback requirement as well as reduce the 15' corner side yard setback in order to construct a covered front porch at a distance of 26' from the front lot line and 9.83' from the corner side yard lot line for the property located at 719 Prairie Avenue.

Motion by: Trowbridge
Seconded by: Williams

Approved
(8 to 0)

**D4. Case #12-1-045
30 S. Ellsworth St.**

The petitioner requests a variance to reduce the 25' front yard setback requirement in order to construct a new single-family structure 19.75' from the front lot line and a covered front porch 15.75' from the front lot line for the property located at 30 S. Ellsworth Street.

Liu, Planning Services Team, gave an overview of the request.

Paul Nordini, Owner and Petitioner, spoke on behalf of the petitioner

- Provided an overview of the history of the property and the reasons why construction was stopped in 2010.
- Wishes to redevelop the property to conform to its original design.
- Reviewed the historical function of a summer kitchen. The proposed summer kitchen is part of the home.
- The home was designed based on the historical footprint of the original home, which is smaller than the current footprint of the existing structure.
- The proposed encroachment in the setback is in keeping with the adjacent structures. Without the variance, the home would appear out of

place.

Planning and Zoning Commission inquired about

- Reasons to stop construction in 2012.
- Comparison of the footprint of the proposed structure and the existing structure.
- The necessity for the setback variance since it is new construction.
- The function of a summer kitchen.
- The status of the litigation between the petitioner and his construction load lender.
- The timeline for completion of the project. The petitioner indicated that he hopes to finish the project by next Spring.

Public Testimony: None

Planning and Zoning Commission inquired about:

- What is a Certificate of Appropriateness (COA).
- The mission of the Historic District. Staff indicated that the purpose of the city's historic preservation regulations and guidelines is to preserve the character and appearance of the Historic District, rather than the materials.

Planning and Zoning Commission closed the public hearing.

Planning and Zoning Commission Discussion:

- Coyne – The proposed home is in keeping with the surrounding properties.
- Gustin – The existing structure is a dilapidated. Gustin is leaning toward approving the variance in order to allow consistency with the adjacent homes.
- Messer – As the PZC representative on the Historic Preservation Commission, Messer reviewed the rationale of the Historic Preservation Commission for approving the COA and the variance. Although the HPC didn't want to see the structure to be demolished, they felt that the proposed structure is appropriate in terms of its size and its compatibility with the adjacent properties.
- Herzog – Appreciate Messer's explanation on the HPC's decision, which provides contexts for the case. Will support the case for reasons noted by the other Commissioners.

Planning and Zoning Commission moved to recommend approval of PZC #12-1-045 for a variance to reduce the 25' front yard setback requirement in order to construct a new single-family structure 19.75' from the front lot line and a covered front porch 15.75' from the front lot line for the property located at 30 S. Ellsworth Street.

Motion by: Williams
Seconded by: Meyer

Approved
(8 to 0)

D5. Case #12-1-023
First Community
Bank of Joliet

The petitioner requests approval for five zoning variance, a subdivision deviation and a landscape variance in order to add a drive-through facility for the building located at 24 W. Gartner Road.

Liu, Planning Services Team, gave an overview of the request.

Kathy West, Attorney, Dommermuth, Brestal, Cobine & West, Ltd. Spoke on behalf of the petitioner

- The proposed drive-through matches the footprint of the previous drive-through and does not increase the encroachment into the required setbacks.
- The proposed variances will not have a negative impact on the surrounding areas.
- The petitioner made the effort to reach out to the adjacent residential community. No oppositions were heard.
- City staff reviewed the sight line for the fencing on top of the retaining wall and found the proposed fence acceptable.
- If noise ever becomes a problem, the speaker system volume at the drive-up window can be adjusted.

Planning and Zoning Commission inquired about:

- Whether the limits of the previous drive-through coincide with the existing retaining wall.
- The rationale for requiring a bypass lane. Staff indicated that a bypass lane is required to improve circulation of the site as well as to provide a means of escape in case of an accident.
- Whether the reduced widths of the drive-through lanes are sufficient. The commission noted that the cars traveling through the drive-through are at a low speed.
- Whether the retaining wall provides sufficient separation between the street and the drive-through.
- The location of the columns for the portico above the drive-up window. Staff clarified that they are pilasters affixed to the wall.
- The commission observed that existing building protrudes into the setbacks and the parking lot to the north of the subject property is very close to Washington Street.
- Whether Washington Street has changed since the previous drive-through was removed.
- Concerned with traffic exiting the drive-through turning left into the drive aisle. Recommends limiting the exit to right-turn only. David Zientek, Ruettiger, Tonelli and Associates, Inc. spoke on behalf of the petitioner and indicated that the distance between the drive-through exit

and the Washington Street curb line is 55' – 60'.

- Busy hours of the shopping center.

Public Testimony: None

Planning and Zoning Commission closed the public hearing.

Planning and Zoning Commission Discussion:

- Coyne – Supports the project.
- Gustin – The elevation changes are a wonderful enhancement to the building. Supports the variances as they are consistent with the previous use. Still concerned with the left turn movement of the exiting traffic from the drive-through.
- Herzog – Appreciates the redesign of the building. The proposal is just to recreate what was originally there. The proposal is well-thought through.
- Meyer – The redesign of the building is outstanding.
- Williams – The project is very well-done. The shopping center is busy seven days a week. But feels that the proposed use can be handled by the existing facilities.

Planning and Zoning Commission moved to recommend approval of PZC #12-1-023 for a number of zoning/landscaping variances and a subdivision deviation as detailed in the staff report dated May 2, 2012 to allow the construction of a drive-through facility for the building located at 24 W. Gartner Road.

Motion by: Williams
Seconded by: Messer

Approved
(8 to 0)

E. Reports and Recommendations

F. Correspondence

G. New Business

H. Adjournment

9:20 p.m.



Naperville

PLANNING AND ZONING COMMISSION AGENDA ITEM

PZC CASE: 12-1-016 **AGENDA DATE:** 5/16/2012
SUBJECT: The Oaks at Naperville Crossings
 Petitioner: Lennar Multifamily Investors, LLC, 14120 Ballantyne Corporate Place, Charlotte, #400, NC 28277

LOCATION: West of Route 59 and north of 95th Street

Correspondence New Business Old Business Public Hearing

SYNOPSIS:

The petitioner requests approval of the following for Lots 14 and 15 in Naperville Crossings:

1. A preliminary plat of subdivision to consolidate Lots 14 and 15 into one lot.
2. A rezoning from B2 (Community Shopping Center District) to R3 (Medium Density Multi-family District).
3. A major change to the Naperville Crossings Planned Unit Development and approval of a preliminary PUD plat to allow for the development of 298 multi-family dwelling units.
4. A deviation from Section 6-9-5:1 (Schedule of Off-Street Loading Requirement) to waive the off-street loading requirements.

PLANNING AND ZONING COMMISSION ACTION PREVIOUSLY TAKEN:

Date	Action
4/4/2012	The Planning and Zoning Commission opened the public hearing and continued the case to May 16, 2012 per the request of the petitioner. Please note: the petitioner has modified the proposed development since the April 4, 2012 meeting; the total number of units has been reduced and a parking variance has been eliminated.

ACTION REQUESTED/RECOMMENDED THIS MEETING:

Conduct the public hearing.

PREPARED BY: Ying Liu, AICP, Planning Services Team

EXISTING ZONING, LAND USE, AND LOCATION:

The subject property, known as Lots 14 and 15 in Naperville Crossings, is generally located west of Route 59 and north of 95th Street. Adjacent to the east side of the subject property is Showplace Drive, a private drive in the Naperville Crossings development. The property consists of 24.91 acres and is part of the Naperville Crossings Planned Unit Development (PUD) that is zoned B2 (Community Shopping Center District). The controlling site plan for the

The Oaks at Naperville Crossings – PZC 12-1-016

May 16, 2012

Page 2 of 4

Naperville Crossings PUD originally designated the site for an age-restricted community, consisting of a senior living multi-family building and 65 townhome units.

RELATIONSHIP TO THE OFFICIAL PLAN OF THE CITY OF NAPERVILLE:

The Southwest Community Area Plan (2002) identifies that future use of the property as “Medium Density Residential (up to 8 units per acre)”. The proposed multi-family development is consistent with the recommended future land use.

PLANNING SERVICES TEAM REVIEW:

The petitioner, Lennar Multifamily Investors, LLC, proposes to construct a multi-family rental community, known as The Oaks at Naperville Crossings, on Lots 14 and 15 in Naperville Crossings, which includes 13 apartment buildings, 298 dwelling units, 600 garage and surface parking spaces, as well as site amenities (e.g. a club house, parks, walking trails).

Plat of Subdivision

The petitioner requests approval of a preliminary plat of subdivision in order to consolidate Lots 14 and 15 into one lot. The lot consolidation would facilitate master planning of the development and allow the flexibility to locate buildings and parking lots throughout the site.

Rezoning

The subject property was originally planned for multi-family and attached single-family residential uses as part of the overall Naperville Crossings PUD, although the underlying zoning is B2. In order to align the proposed multi-family residential use of the property with the underlying zoning district, the petitioner requests to rezone Lots 14 and 15 to R3 (Medium Density Multi-family District). The proposed R3 zoning is consistent with the zoning designation of Lot 12 in Naperville Crossing (currently improved with Fire Station #10) as well as the adjacent Heatherstone townhome development.

Major Change to the PUD

The proposed multi-family development represents a major change to the original planned use of the subject property. Instead of an age-restricted community (i.e., senior apartments and townhomes), the petitioner is proposing non age-restricted apartment units in order to meet the rising market demand for rental housing.

The Statement of Intent and Concept for the Naperville Crossings PUD indicates that the development will be “a commercial and residential community which meets the needs of the larger community that surrounds it as contemplated by the Master Plan of Naperville.” Site design and landscaping plans associated with the PUD further express the intent of a pedestrian friendly, cohesive, mixed use site. Staff finds the proposed multi-family development is consistent with the concept and intent of the Naperville Crossings PUD as well as the criteria for PUD approval. The proposed residential use would complement the adjacent existing and planned commercial uses and transform Naperville Crossings into a true mixed-use development as originally envisioned.

The Oaks at Naperville Crossings – PZC 12-1-016

May 16, 2012

Page 3 of 4

The proposed PUD plat and landscape plan meets the design standards and criteria for PUD's.

- In addition to 298 apartment units in 13 buildings, the development includes a club house/pool, parks, pedestrian linkage throughout the development and to adjacent land uses, and retention ponds improved with walking trails, overlooks, decorative retaining walls and railings, and landscaping.
- The development provides 43.2% (10.77 acres) of the overall site as common open area and site amenities, exceeding the 35% minimum requirement for multi-family PUD's.
- Substantial landscaping treatments are incorporated along the White Eagle Club property lines, Showplace Drive and the movie theatre parking lot, in compliance with Section 5-10-3 (Landscaping and Screening) of the Municipal Code.
- A single centrally located trash compactor is provided inside a masonry building instead of locating multiple trash enclosures throughout the development. Curb-side trash pickups will be provided by the management company to serve the residents.
- The development completes the Streetscape along Showplace Drive to include on-street parking, parkway trees and a 5' wide sidewalk.

Amendment to the Annexation Agreement

In conjunction with the Major Change to the PUD, the petitioner seeks an amendment to the Naperville Crossings Annexation Agreement to remove Provision S25.0 (Age Restricted Developments) of the First Amendment to the Annexation Agreement (Attachment 2), which stipulates that all residential portions of the development shall be operated as age-restricted communities and an age-restricted covenant shall be recorded simultaneously with recordation of the PUD plat. Correspondingly, the petitioner agrees to also amend S20.0 (School Donation) to require school donation by payment of fees-in-lieu of land contribution in accordance with Section 7-3-5 (Dedication of Park Lands and School Sites or for Payment of Fees in Lieu of) of the Municipal Code. Such amendments to the Annexation Agreement are subject to the review and approval of the City Council only, but are noted here for the Planning and Zoning Commission's information.

Although the Annexation Agreement stipulates age-restricted development on the subject property, the 2002 Southwest Community Area Plan places no age restriction for the residential portion of Naperville Crossings and the Southwest Community Area Scorecard anticipated student generation from the site. The proposed multi-family development is consistent with recommendations of the Comprehensive Master Plan.

Building Design

The proposed buildings and structures are highly appointed residential style structures that incorporate exterior materials including stone, fiber cement shake siding and fiber cement clapboard siding, all in compliance with the 50% masonry requirement for multi-family buildings. The three-story apartment buildings are 39.75'- 42.2' in height, in compliance with the 43' maximum height requirement in the R3 District. To soften the overall massing of the community, the buildings utilize vertical masonry elements and strong horizontal banding and material separations to break up the building façades. In addition, balconies with detailed columns, large windows and patio doors, and garage doors with design features are provided to add architectural interests to the buildings. Three variations (Types A1, A2 and A3) of the

The Oaks at Naperville Crossings – PZC 12-1-016

May 16, 2012

Page 4 of 4

design theme are applied to accommodate buildings of different scales as well as to avoid monotony. Staff finds that the proposed buildings and accessory structures comply with the Naperville Building Design Guidelines.

Loading Deviation

A deviation is requested to waive the off-street loading requirements for the development. One loading space is required for each of the multi-family buildings exceeding 30,000 square feet of gross floor area. The petitioner indicated that truck traffic would be prohibited within the development and therefore the use of loading berths is both undesirable and unnecessary. As is the practice in most multi-family developments, residents would use the parking lot for loading and unloading.

Conclusion

The Oaks at Naperville Crossings are consistent with intent and concept of the Naperville Crossings PUD as well as the design standards and criteria for PUD's. The petitioner has provided responses to the criteria for approving the aforementioned requests in the attached Development Petition. Staff concurs with the petitioner's findings.

ACTION REQUESTED:

Conduct the public hearing.

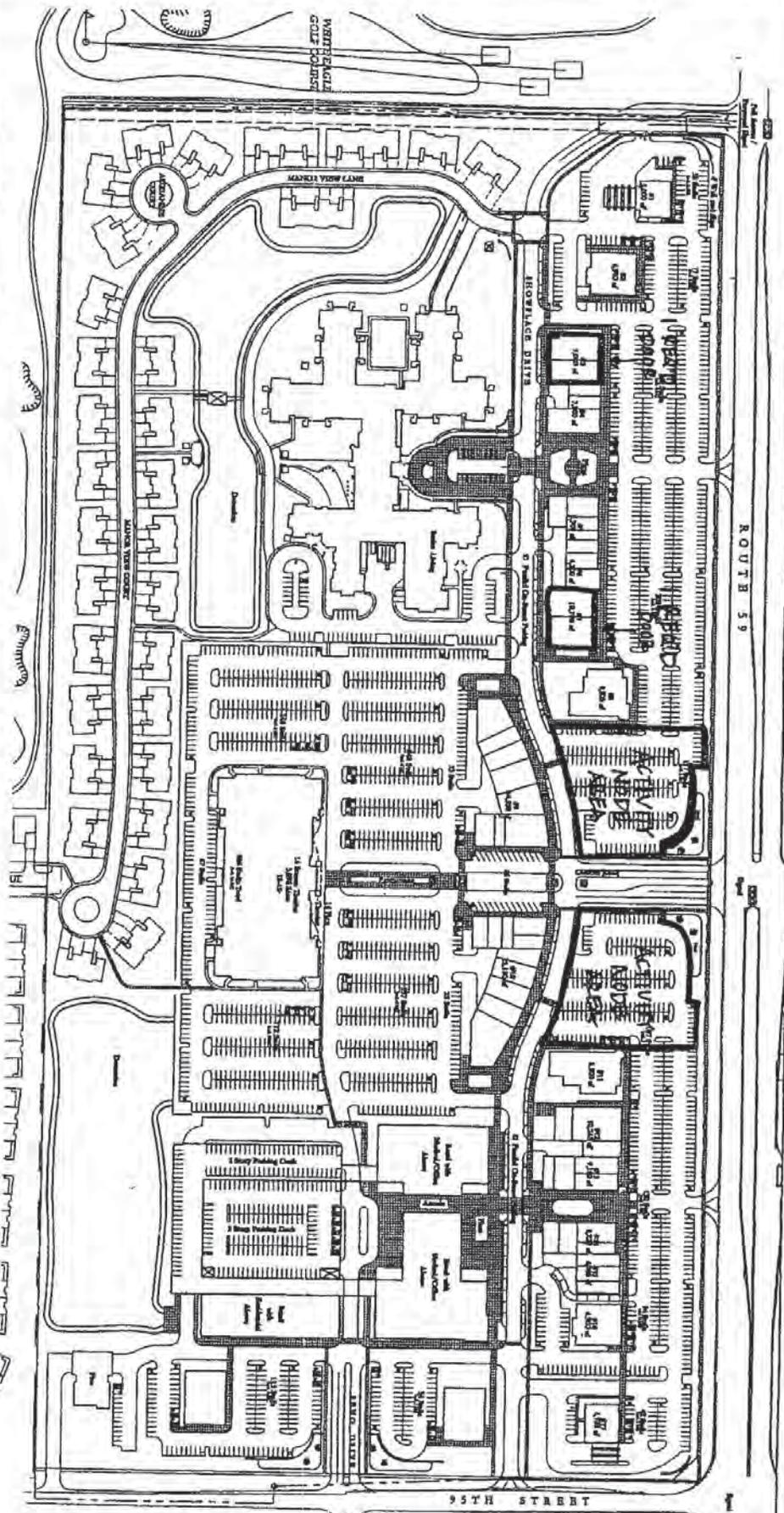
ATTACHMENTS:

1. The Oaks at Naperville Crossings – Controlling Site Plan for the Naperville Crossings PUD – PZC 12-1-016
2. The Oaks at Naperville Crossings – First Amendment to the Annexation Agreement – PZC 12-1-016
3. The Oaks at Naperville Crossings – Development Application – PZC 12-1-016
4. The Oaks at Naperville Crossings – Petition – PZC 12-1-016
5. The Oaks at Naperville Crossings – Legal Description – PZC 12-1-016
6. The Oaks at Naperville Crossings – Preliminary Subdivision Plat – PZC 12-1-016
7. The Oaks at Naperville Crossings – Preliminary PUD Plat – PZC 12-1-016
8. The Oaks at Naperville Crossings – Preliminary Landscape Plan – PZC 12-1-016
9. The Oaks at Naperville Crossings – Open Space Exhibit – PZC 12-1-016
10. The Oaks at Naperville Crossings – Building Elevations – PZC 12-1-016
11. The Oaks at Naperville Crossings – Letter from Prudential Real Estate Investors – PZC 12-1-016
12. The Oaks at Naperville Crossings – Petitioner's Letter Re Outreach to Neighboring Communities – PZC 12-1-016
13. The Oaks at Naperville Crossings – Letter from the Park District – PZC 12-1-016
14. The Oaks at Naperville Crossings – Letters from Residents – PZC 12-1-016

R2005 211710

Area	Footage	Perch
Subdiv	3,700 sf	77
total lot statement	158,238 sf	1,095
Developer share	75	4.9
Contractor share	24	1.4
Share	187,994 sf	1,277
Share	40,000 sf	144
Share	227,994 sf	93

Not including total road parking on adjacent lots
Not including cross-feeding benefit



Naperville Crossings 021416
JAN 16, 2007

MIDAMERICA
DEVELOPMENT PARTNERS, LLC

Site Plan
Plan 35A



HKM ARCHITECTS + PLANNERS, INC.
15 SOUTH VILLAGE AVENUE WASHINGTON HEIGHTS SUITE 2000 CHICAGO

EXHIBIT E-1a

Handwritten initials and the number 19.

Created 3/23/04, Last Revised 5/13/04

PROPERTY ADDRESS:

P.I.N. 01-04-400-003

RETURN TO:

CITY Clerk

Post Office Box 3020

Naperville, IL 60566-7020

**FIRST AMENDMENT TO THE NAPERVILLE CROSSINGS
ANNEXATION AGREEMENT**

THIS AMENDMENT is made and entered into this 6th day of April, 2004, by and between the CITY OF NAPERVILLE, DuPage and Will Counties, an Illinois Municipal Corporation, with offices at 400 South Eagle Street, Naperville, Illinois 60540, (hereinafter referred to as the "CITY") and 5995 Venture LLC, with offices at 2333 N Harlem Avenue, Chicago, Illinois, 60707 and Midco Town Center LLC, with offices at Two Mid-America Plaza, Suite 604, Oak Brook Terrace, Illinois, 60181, (hereinafter referred to as the "OWNER and DEVELOPER")

WITNESSETH

WHEREAS, OWNER is the owner of record of the property legally described on Exhibit A, attached hereto and made a part hereof (hereinafter referred to as the "SUBJECT PROPERTY"), and

WHEREAS, the CITY and the OWNER and DEVELOPER hereto mutually desire to modify the terms of the Annexation Agreement, and

WHEREAS all statutory and ordinance notice and public hearing requirements have been satisfied

NOW, THEREFORE, in consideration of the mutual promises and agreements set forth herein, the parties agree as follows

EXHIBIT C

SECTION 1: The above-stated Recitals are a material part of this First Amendment and are hereby incorporated in this section by reference

SECTION 2: The Annexation Agreement for Naperville Crossings dated February 23, 2004, shall remain in full force and effect, except as modified by this First Amendment, in accordance with the following sections

SECTION 3: The Annexation Agreement for Naperville Crossings dated February 23, 2004 is hereby amended by deleting the stricken language and adding the underlined language as follows

S12.0 FIRE STATION SITE ON LOT 12.

S12 1 The OWNER and DEVELOPER agree to deed lot ~~10~~ 12 to the CITY for the purpose of a fire station at no cost to the CITY prior to approval of a Final PUD Plat for any site specific development within the SUBJECT PROPERTY The deed shall contain the following restriction If lot ~~10~~ 12 does not develop as a CITY fire station within 20 years of this agreement, then lot ~~10~~ 12 shall revert to the OWNER and DEVELOPER Any fire station that shall be developed on the property shall be of the same or greater quality constructed by the CITY at its various fire station locations The fire station shall meet the architectural standards established in this agreement for the overall development of the SUBJECT PROPERTY

S12 2 The OWNER and DEVELOPER agree to complete all initial public improvements other than the construction of the fire station on lot ~~10~~ 12 as will be shown on the approved final engineering and will install seed or sod prior to deeding it to the CITY

S12 3 The OWNER and DEVELOPER and the CITY agree to consider a maintenance agreement for the maintenance of lot ~~10~~ 12 until the lot is developed as a fire station or deeded back to the OWNER and DEVELOPER

S20.0 SCHOOL DONATION.

S20 1 ~~The school donation for the SUBJECT PROPERTY shall be calculated based on the total number of bedroom counts The school donation for the subject property shall be calculated and paid prior to recording of the Final PUD Plat for the SUBJECT PROPERTY and shall be based upon the school donation ordinance of the CITY in effect at that time Subject to compliance with Section S25 0 of this agreement, the required school donation for the~~ SUBJECT PROPERTY is hereby waived

S20 2 ~~The Owner acknowledge that the school donation established herein is done so pursuant to City of Naperville ordinance and Code provisions and agree that payment of said amount shall not be paid under protest~~ The OWNER and DEVELOPER acknowledge that if the requirements of Section S25 0 are not adhered to at any point in the utilization of the SUBJECT PROPERTY, the OWNER or DEVELOPER shall meet the required school donation by payment of the cash in-lieu-of-land contribution, which shall be calculated in accordance with Section 7-3-5 (Dedication of Park Lands and School Sites or for Payment or Fees in Lieu Of) of the Naperville Municipal Code in effect at the time that the SUBJECT PROPERTY is determined to be non-compliant with Section S25 0 of this agreement and shall be based upon the total number of bedrooms included within the SUBJECT PROPERTY Said cash-in-lieu-of-land contribution shall be paid within 30 days of determination of non-compliance with Section S25 0 of this agreement

S22.0 CONSISTENCY WITH APPROVED PLANS.

S22 1 The OWNER and DEVELOPER intend to develop the SUBJECT PROPERTY substantially in accordance with the following plans

S22 1 1 ~~Preliminary~~ Final Subdivision Plat and Amended Preliminary PUD Plat for the overall development, prepared by Intech Consultants, Inc , dated October 30, 2003, and with a revised date of ~~January 6, 2004~~ May 7, 2004, attached hereto and incorporated herein by reference as **EXHIBIT "D"**.

S22 1 2 ~~Preliminary~~ Final Site Plan (Plan B) for the overall development, prepared by HKM Architects and Planners, Inc , dated February 11, 2004, ~~February 13, 2004 and February 17, 2004~~ with a revised date of May 10, 2004, attached hereto and incorporated herein by reference as **EXHIBIT "E₁"**.

S22 1 3 ~~Preliminary~~ Site Plan Details for the overall development, prepared by HKM Architects and Planners, Inc , dated February 11, 2004, with a revised date of May 10, 2004 attached hereto and incorporated herein by reference as **EXHIBIT "E₂ - E₆"**.

S22 1 4 Streetscape Plan for Showcase Drive, prepared by Hitchcock Design Group, dated March 23, 2004, with a revised date of May 10, 2004 attached hereto and incorporated herein by reference as **EXHIBIT "E₇ - E₈"**.

S22 1 35 * * *

87

S24.0 LANDSCAPING PLANS

S24 1 * * *

S24 2 The Final Landscaping Plan for ~~Lot 6 and 7 (Movie Theater and Senior Housing)~~ the Movie Theater and Carriage Club (depicted as Lots 7, 14, and 15 on EXHIBIT "D") shall be in substantial conformance with the Preliminary Landscaping Plan attached hereto and incorporated herein by reference as EXHIBIT "K" The remaining lots shall submit a Final Landscaping Plan to the Plan Commission and City Council for approval at the time of Final PUD Platting

S24 3 Green Space Plan, prepared by Rolf Campbell & Associates, dated October 27, 2003, with a revised date of March 23, 2004, with a revised date of May 10, 2004 attached hereto and incorporated herein by reference as EXHIBIT "L".

S25.0 AGE RESTRICTED DEVELOPMENTS.

S25 1 The OWNER and DEVELOPER agree that ~~lot 7/Carriage Club of Naperville~~ all residential portions of the SUBJECT PROPERTY shall be operated as an age restricted ~~community~~ communities in compliance with all applicable State and Federal laws (Illinois Human Rights Act 775 ILCS 5/3 – 106, Federal Housing for Older Persons Act 42 USCA 3607)

S25 2 The OWNER and DEVELOPER shall submit language to the CITY imposing the age-restricted covenant for approval prior to the time of Final PUD approval The restriction shall be in the form of a covenant running with the land, which shall be recorded simultaneously with recordation of the final PUD plat for ~~lot 7~~ any portion of the SUBJECT PROPERTY to be developed with residential uses Said covenant shall be included on the final plat for ~~lot 7~~ any portion of the SUBJECT PROPERTY to be developed with residential uses

A 8

IN WITNESS WHEREOF, the parties set their hands and seals as of the date first written above

CITY OF NAPERVILLE

By A. George Pradel
A George Pradel
Mayor

Attest
By Suzanne L Gagner
Suzanne L Gagner
City Clerk

State of Illinois)
)
County of DuPage)

The foregoing instrument was acknowledged before me by A George Pradel, Mayor, and Suzanne L Gagner, City Clerk, this 21st day of May, 2004, A D



Josephine A. Kuffner
Notary Public

-seal-

OWNER and DEVELOPER

5995 Venture LLC
2333 N Harlem Avenue
Chicago, Illinois, 60707

By Stephen J. Subach Sr.
[name] Stephen J. Subach Sr.
[title] managing member

Attest
By [Signature]
[name]
[title]

State of Illinois)
County of COOK)

The foregoing instrument was acknowledged before me by STEPHEN J. SUBACH, SR.
MANAGING MEMBER, this
14th day of May, 2004, A D



Patricia N. Martini
Notary Public

-seal-

6/0

OWNER and DEVELOPER

Midco Town Center, LLC

By Michael D. Firsel
[name] MICHAEL D. FIRSEL
[title] MANAGER

Attest [Signature]
By _____
[name]
[title]

State of Illinois)
County of Cook)

The foregoing instrument was acknowledged before me by MICHAEL D. FIRSEL,
MANAGER, and _____, this
14th day of May, 2004, A D



Patricia N. Martini
Notary Public

-seal-

(This instrument was prepared by The City of Naperville, 400 S Eagle Street, Naperville,
Illinois, 60540)

7 11

Naperville Crossings
LEGAL DESCRIPTION

The East ½ of Southeast ¼ of Section 4, Township 37 North, Range 9 East of the Third Principal Meridian, Excepting therefrom that part conveyed to the State of Illinois by Trustee's Deed recorded March 22, 1995 as Document No R95-18000, in Will County, Illinois

PIN 01-04-400-003

*southwest corner of 95th St.
and Rd. 59, Naperville, IL 60564*

FINAL SUBDIVISION PLAN & AMENDED PRELIMINARY PLANNED UNIT DEVELOPMENT PLAN FOR NAPERVILLE CROSSINGS NAPERVILLE, ILLINOIS

2041 OF THE EAST HALF OF THE THIRD PRINCIPAL MERIDIAN WILL COUNTY ILLINOIS

OWNER'S CERTIFICATE MICO TOWN CENTER LLC

THIS IS TO CERTIFY THAT MICO TOWN CENTER LLC IS THE OWNER OF THE PROPERTY DESCRIBED AS

THAT PART OF THE EAST HALF OF THE THIRD PRINCIPAL MERIDIAN... TOWNSHIP 31 NORTH RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN... THE PROPERTY DESCRIBED AS FOLLOWS COMMENCING AT THE NORTHWEST CORNER OF THE APPROXIMATE SOUTHWEST QUARTER AND SOUTHWEST QUARTER SAID LINE ALSO BEING THE CENTER LINE OF 81'10" STREET BEARING NORTH 89° 44' 27" WEST 100.00 FEET TO THE POINT OF BEGINNING... THE OWNER HAS CAUSED THE ABOVE DESCRIBED PROPERTY TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED

DATED THIS 21st DAY OF August AD 2012 BY [Signature] ATTEST [Signature]

STATE OF ILLINOIS NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE MICO TOWN CENTER LLC

THIS IS TO CERTIFY THAT MICO TOWN CENTER LLC IS THE OWNER OF THE PROPERTY DESCRIBED AS

CERTAIN MORTGAGE DATED MAY 14, 2010... THE PROPERTY DESCRIBED AS FOLLOWS COMMENCING AT THE NORTHWEST CORNER OF THE APPROXIMATE SOUTHWEST QUARTER AND SOUTHWEST QUARTER SAID LINE ALSO BEING THE CENTER LINE OF 81'10" STREET BEARING NORTH 89° 44' 27" WEST 100.00 FEET TO THE POINT OF BEGINNING... THE OWNER HAS CAUSED THE ABOVE DESCRIBED PROPERTY TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED

DATED THIS 21st DAY OF August AD 2012 BY [Signature] ATTEST [Signature]

STATE OF ILLINOIS NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE MICO TOWN CENTER LLC

THIS IS TO CERTIFY THAT MICO TOWN CENTER LLC IS THE OWNER OF THE PROPERTY DESCRIBED AS

THAT PART OF THE EAST HALF OF THE THIRD PRINCIPAL MERIDIAN... TOWNSHIP 31 NORTH RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN... THE PROPERTY DESCRIBED AS FOLLOWS COMMENCING AT THE NORTHWEST CORNER OF THE APPROXIMATE SOUTHWEST QUARTER AND SOUTHWEST QUARTER SAID LINE ALSO BEING THE CENTER LINE OF 81'10" STREET BEARING NORTH 89° 44' 27" WEST 100.00 FEET TO THE POINT OF BEGINNING... THE OWNER HAS CAUSED THE ABOVE DESCRIBED PROPERTY TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED

DATED THIS 21st DAY OF August AD 2012 BY [Signature] ATTEST [Signature]

STATE OF ILLINOIS NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE MICO TOWN CENTER LLC

THIS IS TO CERTIFY THAT MICO TOWN CENTER LLC IS THE OWNER OF THE PROPERTY DESCRIBED AS

CERTAIN MORTGAGE DATED MAY 14, 2010... THE PROPERTY DESCRIBED AS FOLLOWS COMMENCING AT THE NORTHWEST CORNER OF THE APPROXIMATE SOUTHWEST QUARTER AND SOUTHWEST QUARTER SAID LINE ALSO BEING THE CENTER LINE OF 81'10" STREET BEARING NORTH 89° 44' 27" WEST 100.00 FEET TO THE POINT OF BEGINNING... THE OWNER HAS CAUSED THE ABOVE DESCRIBED PROPERTY TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED

DATED THIS 21st DAY OF August AD 2012 BY [Signature] ATTEST [Signature]

STATE OF ILLINOIS NOTARY PUBLIC

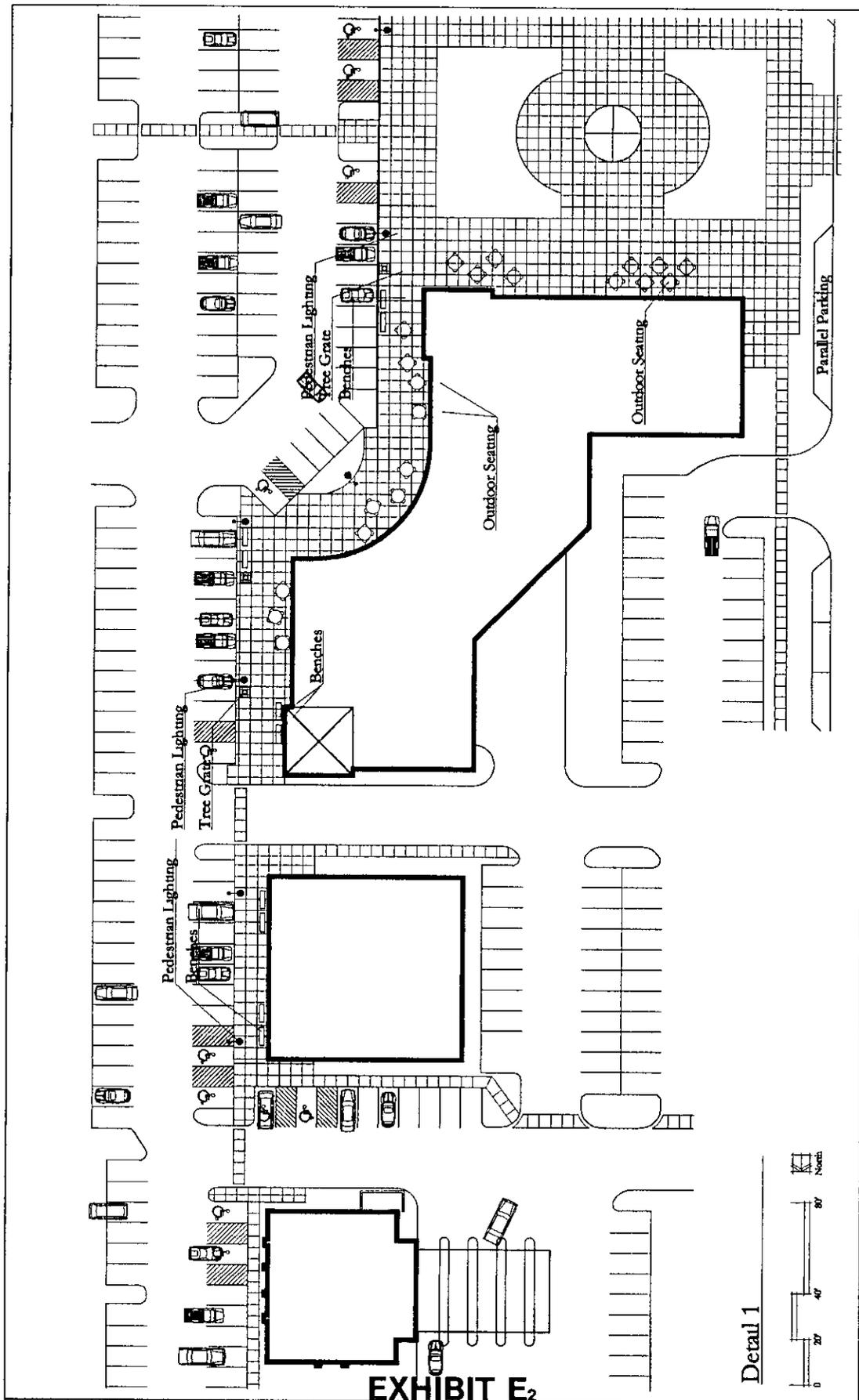
SCHOOL DISTRICT SUBDIVISION AGREEMENT... THE UNDERSIGNED BEING DULY SWORN UPON HIS OATH DEPOSES AND STATES AS FOLLOWS... I, [Name], being of legal age and of sound mind and memory, do hereby certify that I am the owner of the property described in the foregoing instrument and that I have executed the same for the purposes and purposes therein set forth and I have not executed any other instrument which purports to convey or encumber the same in any way.

SCHOOL DISTRICT SUBDIVISION AGREEMENT... THE UNDERSIGNED BEING DULY SWORN UPON HIS OATH DEPOSES AND STATES AS FOLLOWS... I, [Name], being of legal age and of sound mind and memory, do hereby certify that I am the owner of the property described in the foregoing instrument and that I have executed the same for the purposes and purposes therein set forth and I have not executed any other instrument which purports to convey or encumber the same in any way.

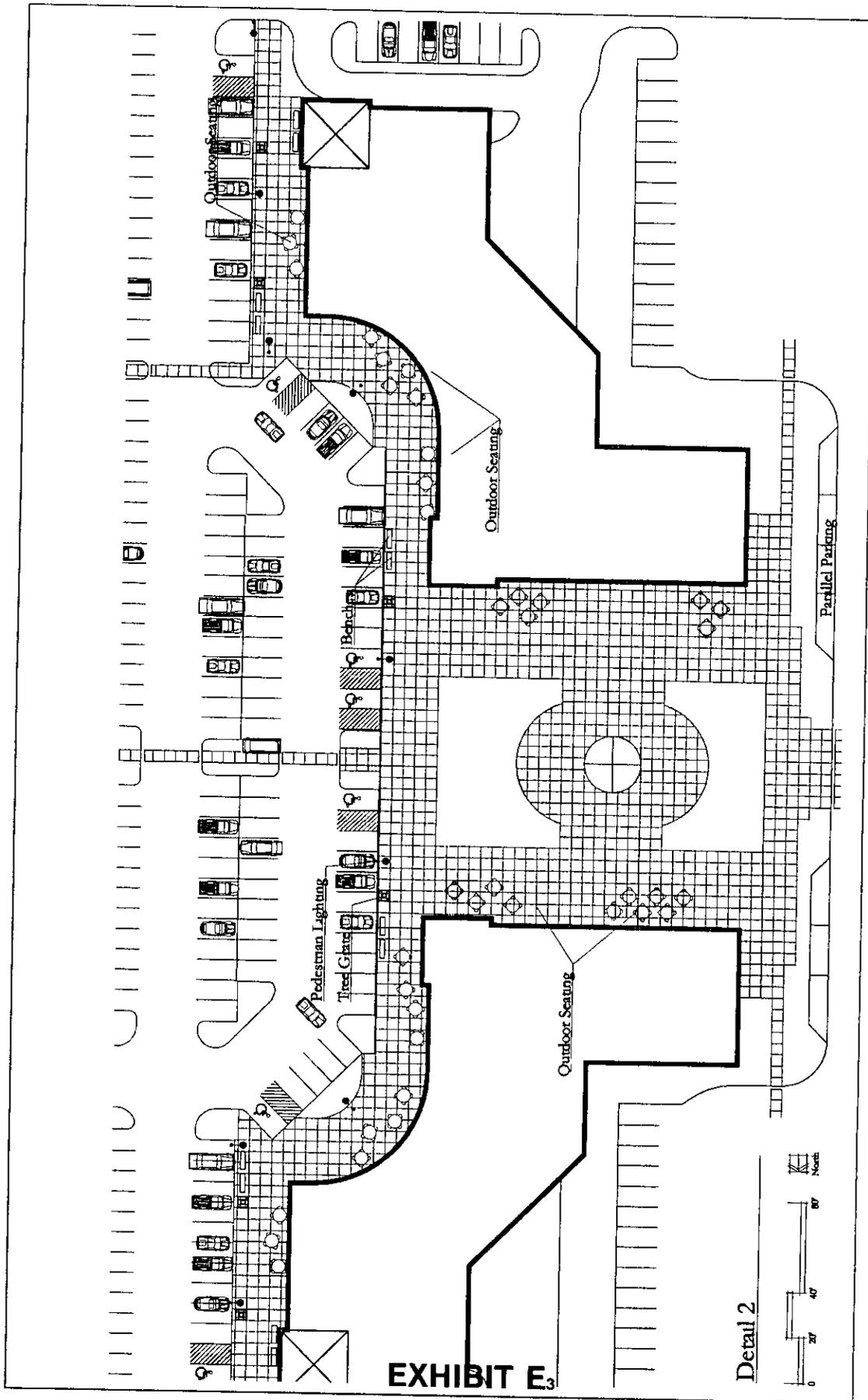
SCHOOL DISTRICT SUBDIVISION AGREEMENT... THE UNDERSIGNED BEING DULY SWORN UPON HIS OATH DEPOSES AND STATES AS FOLLOWS... I, [Name], being of legal age and of sound mind and memory, do hereby certify that I am the owner of the property described in the foregoing instrument and that I have executed the same for the purposes and purposes therein set forth and I have not executed any other instrument which purports to convey or encumber the same in any way.

SCHOOL DISTRICT SUBDIVISION AGREEMENT... THE UNDERSIGNED BEING DULY SWORN UPON HIS OATH DEPOSES AND STATES AS FOLLOWS... I, [Name], being of legal age and of sound mind and memory, do hereby certify that I am the owner of the property described in the foregoing instrument and that I have executed the same for the purposes and purposes therein set forth and I have not executed any other instrument which purports to convey or encumber the same in any way.





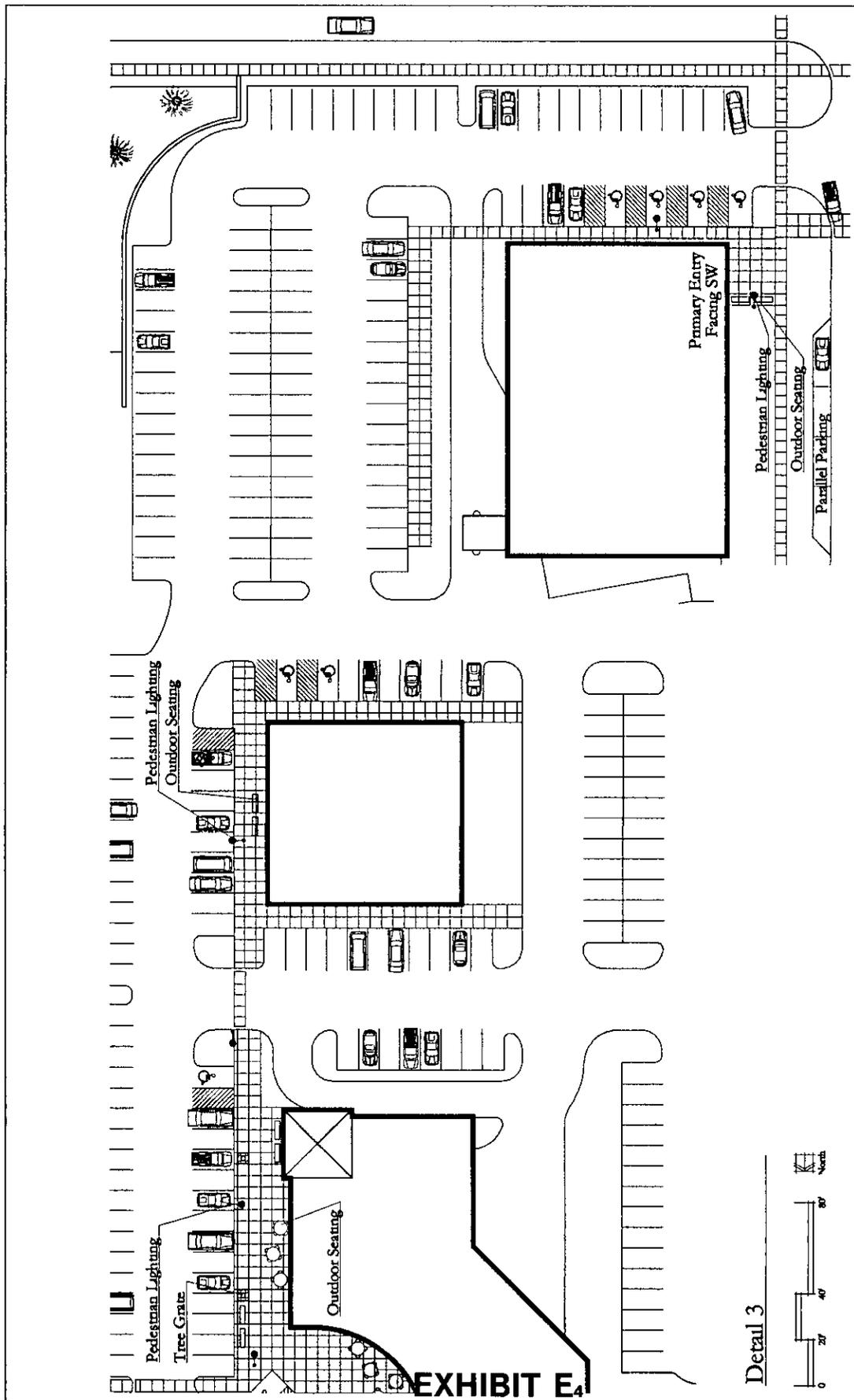
Naperville Crossings 08.10.04 Job No. 0079
Mid-America Investment & Development Company
HKS ARCHITECTS + PLANNERS, INC 6 SOUTH OAK AVENUE WILMINGTON, MASSACHUSETTS 01897 603.655.8200



Naperville Crossings 2011.04.01
 2011.04.01.0001

Mid-America Investment & Development Company

HK/M ARCHITECTS + PLANNERS, INC.
 1 EASTVIEW AVENUE WILMINGTON, MASSACHUSETTS 01897



Naperville Crossings EST. 1984
100 W. 31ST ST. **Mid-America Investment & Development Company** **H.K.M. ARCHITECTS + PLANNERS, INC.** 1 EIGHTH AVENUE | WESTON, ILLINOIS 60150 | 630.334.8200

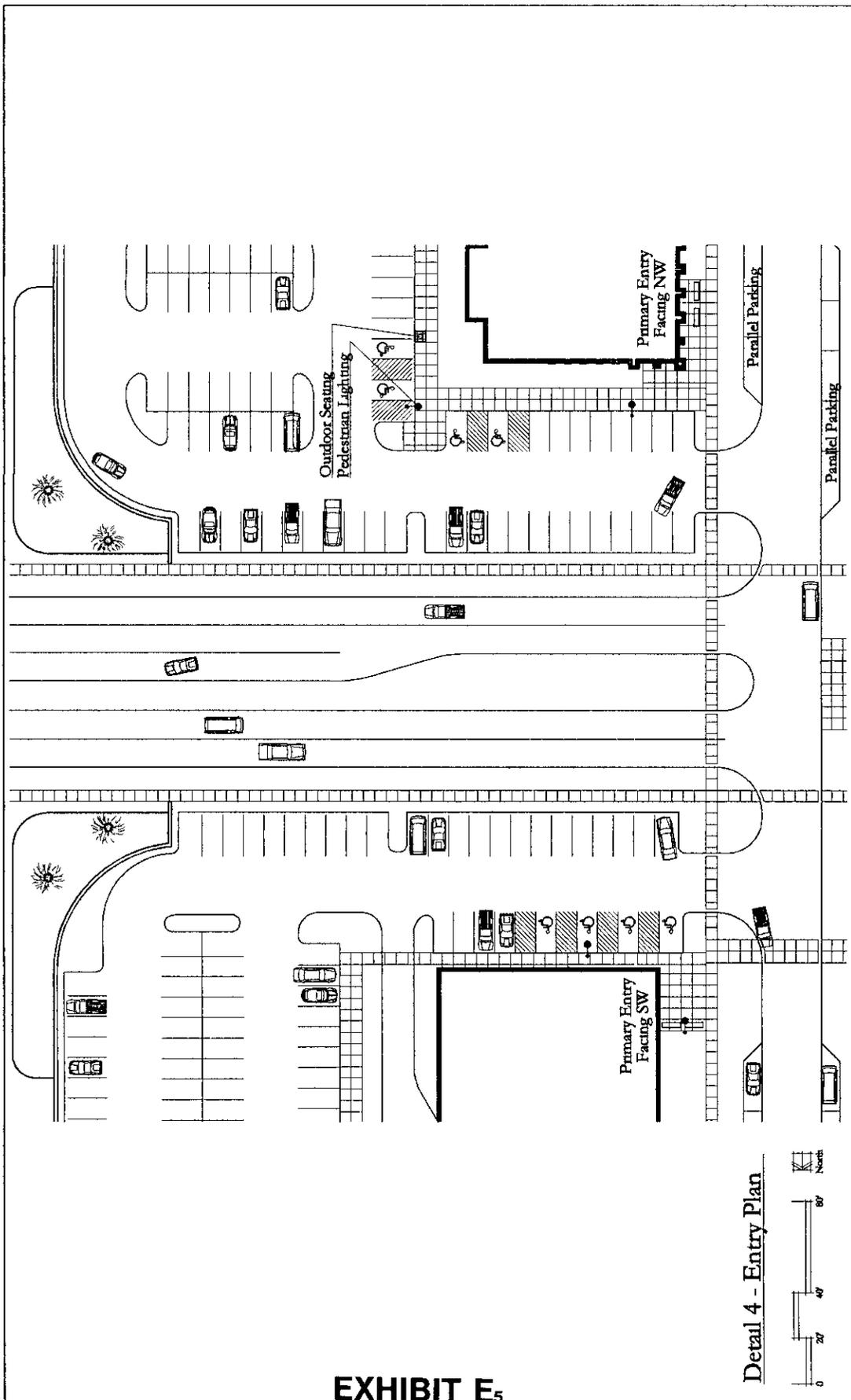


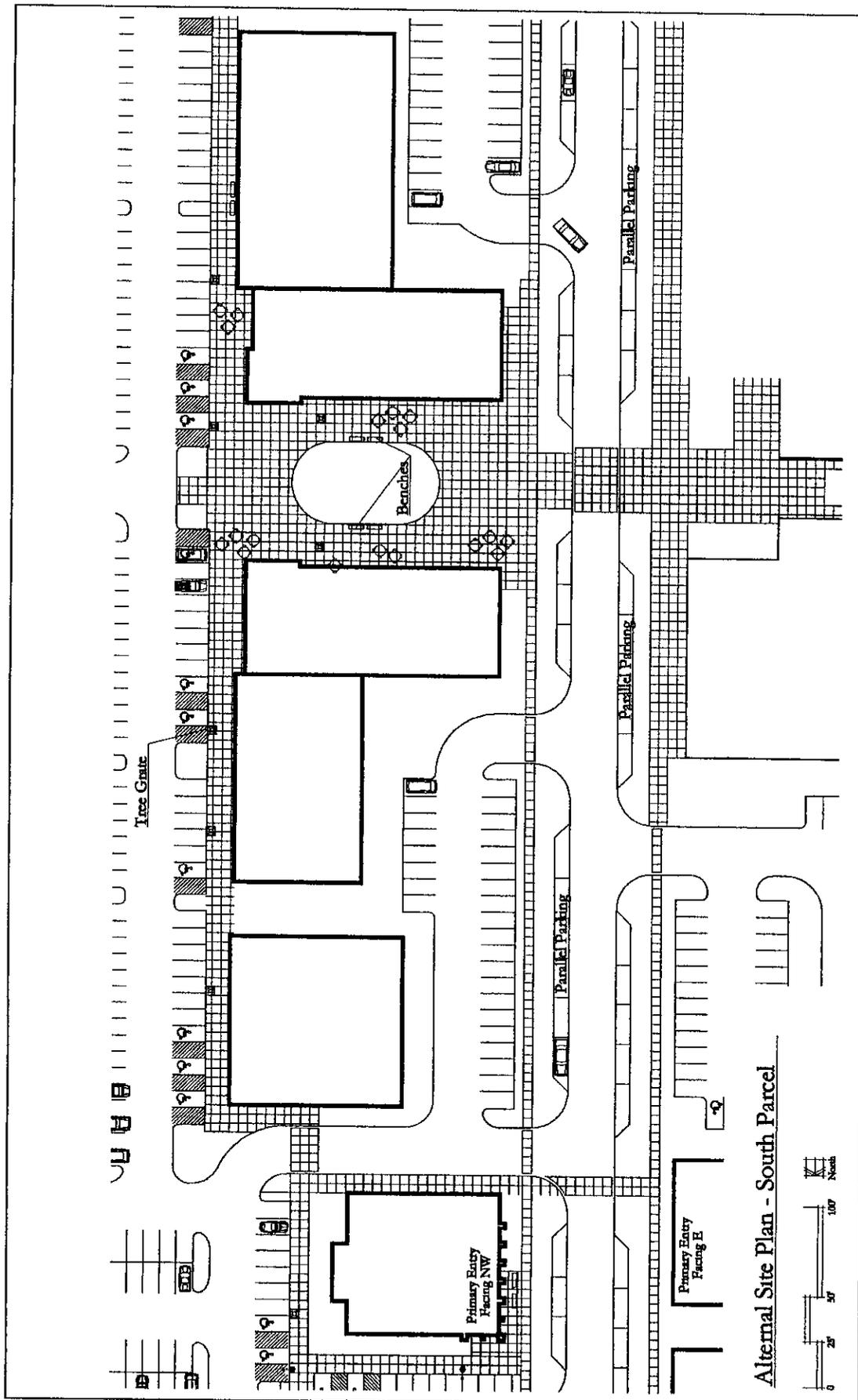
EXHIBIT E₅

Detail 4 - Entry Plan

Naperville Crossings REV. 10/04 JOB NO. 0009

Mid-America Investment & Development Company

HKIM ARCHITECTS + PLANNERS, INC. 18 SOUTHVALE AVENUE CHICAGO, ILLINOIS 60605 0004



Alternat Site Plan - South Parcel



Naperville Crossings DEVELOPER
Mid-America Investment & Development Company

HKM ARCHITECTS + PLANNERS, INC. REGISTERED ARCHITECTS
 1000 N. WASHINGTON ST., SUITE 1000, CHICAGO, IL 60610

EXHIBIT E₆

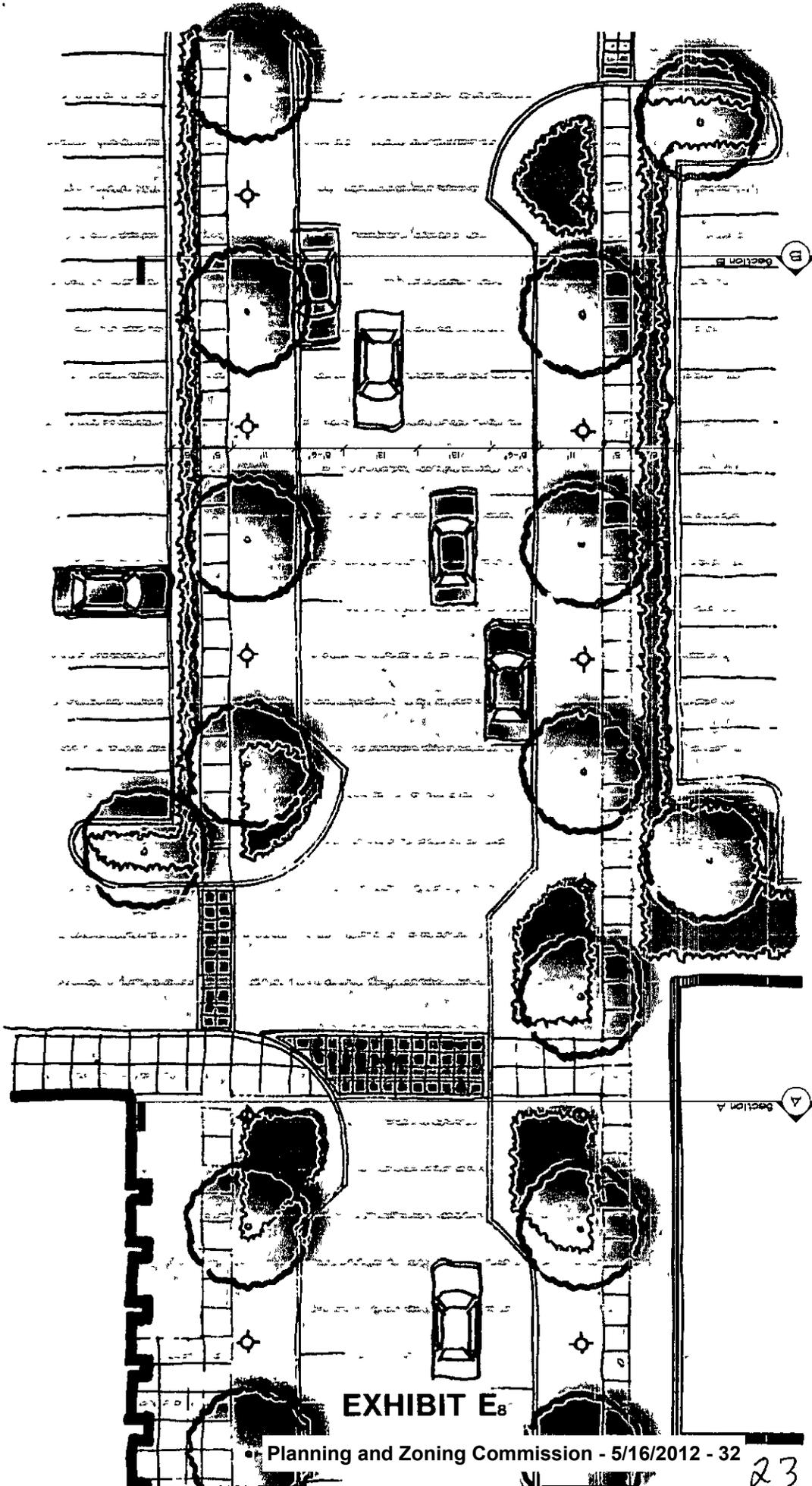


EXHIBIT E8

Showplace Drive Streetscape

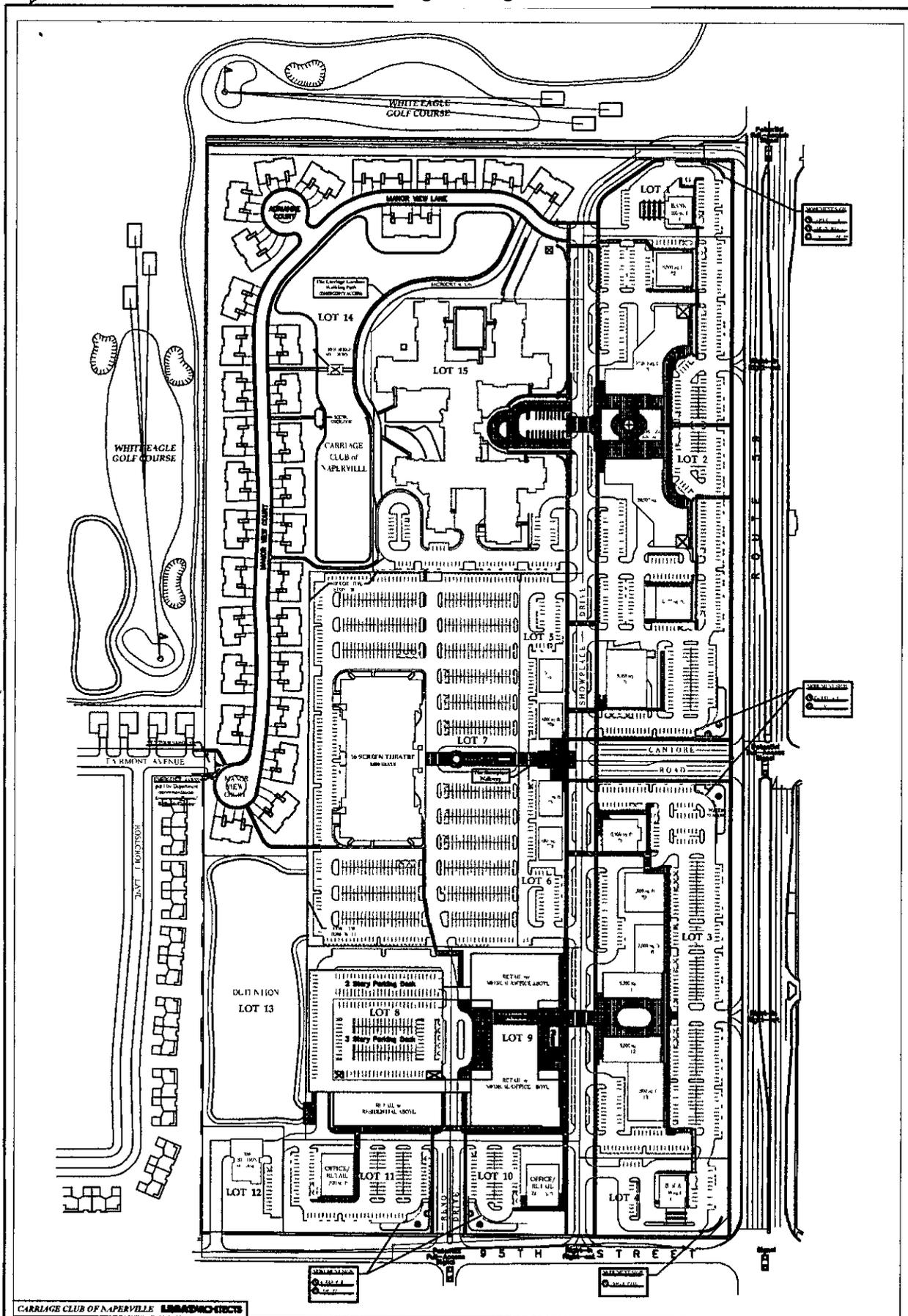
naperville crossings
 Typical Cross Sections

Prepared by
5895, LLC

Prepared by
 Hitchcock
 Design Group
 Creating Smarter Places

Scale in Feet
0 10 20 30

Revised May 10, 2012
 MA 01824 01
 200
 Copyright ©



CARRIAGE CLUB OF NAPERVILLE LANDSCAPE ARCHITECTS

Rolf C Campbell & Associates
 101 Waukegan Rd. - Suite 1000
 Lake Bluff, Illinois 60044
 PHONE: (847) 235 1000 FAX: (847) 715-1946

FINAL SITE PLAN
NAPERVILLE CROSSINGS
 NAPERVILLE ILLINOIS

ARCHITECTS + PLANNERS, INC.
 1000 W. WASHINGTON ST. SUITE 1000
 CHICAGO, ILLINOIS 60606
 Mid-America Investment & Development Company

INSIDE OUTLINE
 1/4" = 1' - 0"
 ORIGINAL SCALE 1" = 100'

Revisions	
MARCH	19 2004
MARCH	26 2004
MAY	19 2004
OCTOBER 27 2005	

EXHIBIT-L

**CITY OF NAPERVILLE
TRANSPORTATION, ENGINEERING AND DEVELOPMENT
BUSINESS GROUP
APPLICATION FOR DEVELOPMENT APPROVAL**

DEVELOPMENT NAME: The Oaks at Naperville Crossing

Date of Submission: February 3, 2012

I. APPLICANT/PETITIONER:

Name: Lennar Multifamily Investors, LLC

Address: 14120 Ballantyne Corporate Place, Charlotte, #400, NC 28277

Contact Person: Todd Farrell

Telephone Number: 704-749-5265

Relationship of Applicant to Subject Property: Contract Purchaser

II. OWNER OF THE PROPERTY:

Name: First National Bank of Brookfield

Address: 9136 Washington Ave., Brookfield, Illinois 60513

Phone: 708-485-2770

Is this development within the City limits?

- Yes.
- Under review by another governmental agency and requires review due to 1.5 mile jurisdictional requirements.
- No, requesting annexation.

Are there electors living on the property: N/A

III. ACTION REQUESTED:

<input checked="" type="checkbox"/>	Annexation Agreement Amendment	<input checked="" type="checkbox"/>	Rezoning (Exhibit 1
<input checked="" type="checkbox"/>	Conditional Use (Exhibit 3)	<input type="checkbox"/>	Site Plan Review
<input checked="" type="checkbox"/>	Preliminary PUD Plat (Exhibit 2)	<input type="checkbox"/>	Final PUD Plat
<input type="checkbox"/>	Major Change to a Conditional Use	<input type="checkbox"/>	Minor Change to a Conditional Use
<input checked="" type="checkbox"/>	Major Change to a Planned Unit Development (Exhibit 2)	<input type="checkbox"/>	Minor Change to a Planned Unit Development
<input checked="" type="checkbox"/>	Preliminary Plat of Subdivision	<input type="checkbox"/>	Final Plat of Subdivision
<input type="checkbox"/>	Subdivision Waiver	<input checked="" type="checkbox"/>	Zoning Variance(s) (Exhibit 5)

IV. APPLICANT'S/PETITIONER'S STAFF:

Attorney: Rosanova & Whitaker, Ltd. Vince Rosanova	Telephone Number: 630-355-4600 Vince@rw-attorneys.com
Engineer: Intech Consultants Ed Seifert	Telephone Number: 630-964-5656 seifert@intechconsultants.com
Landscape: Hitchcock Design Group Geoff Roehll	Telephone Number: 630-961-1787 groehll@hitchcockdesigngroup.com
Architect: BSB Design, Inc. Joe Safin	Telephone Number: 847-705-2200 jsafin@bsbdesign.com

V. PROJECT DATA:

1. Location: Lots 14 & 15 in Naperville Crossings, 95th St. & Route 59.
County: Will
Township: Wheatland
PIN#: 07-01-04-410-056; -057
2. General Description of the Site: The Subject Property consists of 24.91 acres, is unimproved and vacant.
3. Existing Zoning on the Site: B-2 PUD
4. Existing Land Use: Vacant and unimproved.
5. Existing Utility Service: Water, electric, gas and sewer are available.
6. Acreage of Site: Approximately 24.91 acres
7. List Controlling Ordinance and Agreements (zoning, annexation ordinances, SIA, site plans, preliminary/final PUD plats, etc.): Naperville Crossings Annexation Agreement & Amendments, Subdivision Plat and PUD Plan, Naperville Crossings PUD Ordinances and associated design guidelines and private Covenants, Conditions and Restrictions governing the development and use of property in Naperville Crossings.
8. Character of Surrounding Area:

	ZONING	JURISDICTION	EXISTING LAND USE	ADOPTED CITY PLAN
North	R-1A	Naperville	White Eagle G.C.	Golf Course
South	B-2 PUD	Naperville	Movie Theatre	Commercial
East	B-2 PUD	Naperville	Retail & Vacant	Commercial
West	R-1A	Naperville	White Eagle G.C.	Golf Course

VI. PROPOSED DEVELOPMENT:

1. Type of Development:

Residential Commercial Office
 Industrial Other

2. Proposed Zoning: R-3

3. Description of Proposal: Petitioner seeks to consolidate Lots 13 & 14 to construct and manage a 366 unit apartment community on the subject property.

4. Description of Building (Including number of buildings, façade materials, square feet of each building/use, maximum height):

The proposed development will consist of: a) nine 3-story buildings along the west and north property lines, each with a height of 42.5 feet (Type A); and b) four 4-story buildings, centrally located, each with a height of 52 feet (Type B). Each Type A building will consist of 22 units with between 4 and 6 attached garages. The Type B buildings will consist of 42 units with 14 attached garages. The building styling will be an eclectic variety of materials including brick, cement board, accents and trims, and in some cases stone. The buildings will feature a three-color palette including masonry color, base siding color, and accent siding color combinations.

A clubhouse will be located in the front of the development and will match the character and quality of the Type A and B buildings.

5. General Land Use Data:

	Resid.	Comm.	Office	Indust.	R.O.W.	Park	School	Private	Other	Total
No. of Acres	24.91									24.91
% of Total	100%									100%

*Please explain:

7. Description of any Non-Residential, Commercial or Industrial portion of the Development: N/A

8. Variances from the Underlying zoning Regulations: (i.e. parking, setbacks, density, height/bulk, etc.:

a. Parking (Title 6, Chapter 9.3): To reduce the required parking from 2:1 (732 Spaces) to 1.93:1 (707 Spaces). To ensure sufficient parking,

Petitioner will provide 104 tandem parking spaces which will bring the parking to 2.2:1 (811 Spaces)

- b. Parking (Title 6, Chapter 9.2.4.2.1): To permit parking spaces to be located in the front yard setback along Showplace Drive.
- c. Parking (Title 6, Chapter 9.5): To reduce the required off-street loading requirement from 3 to 0. All internal streets are private with ample area for residents to move in or out.
- d. Clubhouse Building Height (Title 6, Chapter 6.2.10 (3)): To permit a clubhouse facility to be constructed to 30' in height to the ridge in lieu of the code's 18' height limitation.
- e. Detention Basin (Design Manual Section 2.5.4.5): To permit retaining walls to be located in the detention basins up to 6' in height.

9. Variances from the Subdivision Regulations: None

10. Variances from the Landscape Regulations: None

11. Conditional Use: Apartment Building Height (Title 6, Chapter 6E-8): To permit the four centrally located Type B buildings to be built to a height of 52'.

VII. SCHOOL AND PARK DONATION REQUIREMENTS:

- 1. Required School Donation: Cash
- 2. Required Park Donation: Cash

VIII. PRIVATE FACILITIES

1. Private open space and recreational facilities include: Outdoor common areas and recreational facilities and a clubhouse facility with an outdoor pool.

Which will be maintained by: ___ The City of Naperville
 ___ Business
 X Other (Private Association)

2. Outlots and/or detention/retention facilities include (size, number and location): Detention is existing in a centrally located wet bottom basin per prior approved engineering plans.

Which will be maintained by: ___ The City of Naperville
 ___ Homeowners Association
 X Other (Private Association)

3. Detention, retention, open space/recreation and school uses within the development:

	Private – Homeowners Association (acres)*	Public – To be Dedicated (acres)	Other (acres)*	Total (acres)
Open Space*	9.5 Acres			
a. Park Site	(See Below)			
b. Common Areas*				
c. Private Facility				
Sub-total				
School Site				
Total	38%			

*Please Explain:

Total Open Space Allocation:

Community Club Area (excluded Building)	0.56 Ac.
Pocket Parks	0.75 Ac.
Perimeter Landscape Areas	0.54 Ac.
Interior Landscape Areas	1.08 Ac.
Detention Feature/Amenity (Central)	3.04 Ac.
Detention Feature/Amenity (SW)	1.53 Ac.

Detention Areas will be enhanced with seating/viewing areas, landscape plantings and hardscape materials.

Respectfully Submitted,
Rosanova & Whitaker, Ltd., Authorized Agent

By: *V.M.D.*
Vincent M. Rosanova

STATE OF ILLINOIS)
 COUNTY OF DUPAGE)
 CITY OF NAPERVILLE)

The forgoing petition was acknowledged before me by **Vincent M. Rosanova** on the 3rd day of February, 2012.



By: *Connie S. Kubajak*
 NOTARY PUBLIC

STATE OF ILLINOIS)
)
COUNTY OF DUPAGE)
)
CITY OF NAPERVILLE)

**REVISED - PETITION TO THE NAPERVILLE CITY COUNCIL AND PLAN
COMMISSION FOR ENTITLEMENTS REGARDING LOTS 14 AND 15 IN THE
NAPERVILLE CROSSINGS SUBDIVISION**

THE UNDERSIGNED Petitioner, Lennar Multifamily Investors, LLC, a Delaware limited liability company (hereinafter “the Petitioner”) respectfully petitions the City of Naperville to re-subdivide Lots 14 & 15 in the Naperville Crossings Subdivision into one buildable lot (Lot 20), approve a major change to the Naperville Crossings Planned Unit Development allowing for a highly appointed 298-unit apartment community on the northwestern 24.91-acre portion of the subdivision, approve a preliminary planned unit development plat for Lot 20, approve a rezoning of the Subject Property from B-2 PUD to R-3 PUD, approve an annexation agreement amendment eliminating the existing age restriction, grant an off-street loading variance, grant a detention basin design variance to permit the use of retaining walls in the centrally located detention facility, and such other variances, departures or deviations as may be necessary to develop the property legally described on **Exhibit A** (“Subject Property”), and as depicted on the plans submitted herewith pursuant to the appropriate provisions of the Naperville Municipal Code, as amended (hereinafter the “Code”).

In support of this Petition, the Petitioner represents to the City of Naperville as follows:

1. The Petitioner, Lennar Multifamily Investors, LLC, 201 S. Tryon, Suite 1050, Charlotte, NC 28202 is the Petitioner and contract purchaser of the Subject Property. First National Bank of Naperville, a branch of First National Bank of Brookfield, 9136 Washington Avenue, Brookfield, Illinois 60513, is the owner of the Subject Property (hereinafter the

“Owner”).

2. The Subject Property consists of Lots 14 and 15 in the Naperville Crossings Subdivision and consists of approximately 24.91 acres generally located west of Illinois Route 59 and north of 95th Street in Naperville, Illinois.

3. The existing land uses surrounding the Subject Property are as follows:

- a. North: R-1A – White Eagle Golf Course & Subdivision
- b. East: B-2 PUD – Retail & Vacant
- c. South: B-2 PUD – Movie Theatre
- d. West: R-1A – White Eagle Golf Course & Subdivision

4. The Subject Property is located in Will County, Illinois, and is unimproved.

5. The Petitioner seeks approval of a Plat of Resubdivision to consolidate Lots 14 and 15 into one developable lot to be known as Lot #20.

6. The Petitioner seeks approval of a Major Change to the existing Naperville Crossings Planned Unit Development and approval of a Preliminary PUD Plat to permit the development of a 298-unit apartment community.

7. The Petitioner seeks approval of a rezoning of the Subject Property from B-2 PUD to R-3 PUD to allow for residential development of the Subject Property.

8. The Petitioner seeks approval of an Annexation Agreement Amendment allowing the Subject Property to be utilized as a non-age restricted community.

9. The Petitioner seeks approval of a deviation from the City’s off-street loading requirements to reduce the number of off-street loading spaces from 3 to 0.

10. The Petitioner seeks approval of a deviation to permit decorative retaining walls up to seven feet (7') in height along the perimeter of the centrally located detention basin in the limited locations as shown on the Landscape Plan.

11. The proposed entitlement requests meet all City and State requirements for the development of property and will facilitate the beneficial use of the Subject Property as stated below.

12. The requested Major Change to the existing Naperville Crossings Planned Unit Development meets the requirements for a Major Change under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. *The design of the planned unit development presents an innovative and creative approach to the development of land and living environments.*

The proposed development will consist of a 298-unit "Class A" apartment community which will provide an additional housing opportunity to an underserved segment of Naperville's population known as "Renters by Choice" who are predominantly young professionals or empty nesters looking to avoid the struggles of home ownership, but requiring an upscale living environment and associated amenities in close proximity to a variety of retail and convenience uses. To this end, extensive care was taken in the development of the site plan to fit the proposed development within the existing Naperville Crossings Subdivision.

As the Subject Property is bounded to the west and north sides by the White Eagle Golf Course, the AMC movie theatre and retail to the south and east, and is occupied by an existing detention basin located in the center of the Subject Property, the site presents many design obstacles. As a result the site plan includes a complimentary use of multiple building types and innovation in site design. To properly address the proximity to the White Eagle Golf Course, the Petitioner is proposing only three-story buildings (Type A-1, A-2, and A-3), consisting of

twenty-two (22) (A-1 & A-2) to twenty-four units (A-3) each which will be restricted to a maximum height of forty-two and a half feet (42.5'). In addition to the existing landscape buffers adjacent to the golf course, the Petitioner will be adding landscape treatments along the golf course property lines to enhance the view to the site.

The buildings will evoke a residential character and will be constructed utilizing 360 degree architecture. The building style is an eclectic variety of materials including brick, cement board, accents and trims. The use and proportion of architectural materials will be consistent on all four sides of each building. To soften the overall massing of the community, two- and three-story elements will be subtly used throughout the development. The color styling will feature a three-color palette including masonry color, base siding color, and accent siding color combinations. The use of vertical and layered masonry elements and strong horizontal banding and material separations will bring importance to the design of the buildings and community. The buildings will also feature strong integrated balcony designs with detailed columns, attached garages, large windows and patio doors.

A clubhouse facility will be located off the Showplace Drive entrance greeting visitors and residents upon entry into the community. The clubhouse will serve as a recreational, social and information/leasing center which will feature an outdoor pool looking over the green space and the detention feature, a community room, and an exercise room. The clubhouse will be of the same character in quality and design as the adjacent buildings.

The site will be heavily landscaped in accordance with City requirements, including substantial landscape treatments along the White Eagle Property line, Showplace Drive, and the movie theatre. Each building will be complimented with foundation plantings to further enhance the look of the development. Extensive landscape treatments, architectural retaining walls, a

pocket park and pedestrian paths will enhance the centrally located detention basin, which will create an additional community amenity. The addition of a bridge across the detention basin will increase connectivity within the site and will add to the upscale feel of the development.

To further enhance the Naperville Crossings “Lifestyle” or “New Urbanism” theme it was important to provide ample pedestrian and bicycle access to the Subject Property and maximize connection points to the existing commercial component of Naperville Crossings. Therefore, multiple pedestrian access points to the commercial areas have been established along with extensive interior walkways and an abundance of bicycle parking areas.

To avoid a proliferation of unsightly dumpsters throughout the development, a trash compactor will be located at the interior of the property, hidden from sight by a masonry building.

- b. The planned unit development meets the requirements and standards of the planned unit development regulations.*

The proposed Major Change to the Planned Unit Development will allow the Petitioner to utilize the Subject Property to an extent that is compatible with the surrounding environment and to its highest and best use. The proposed planned unit development meets the requirements and standards of the planned unit development regulations as follows:

- (i) Ownership and Control: The proposed development meets the ownership and control requirements.
- (ii) Area, Lot Width, Yard, and Height/Bulk Requirements: The proposed development meets the applicable standards of the underlying zoning district as depicted on the PUD Plat.
- (iii) Common Open Space: Common open space was master planned as part of the development improvements for Naperville Crossings. In addition to

the overall Naperville Crossings open space, the Petitioner will be providing 10.77 acres (approximately 43%) open space amenities on the site.

- (iv) Landscaping, Screening, and Tree Preservation: A landscape plan has been submitted in compliance with the City's requirements for landscaping and screening on the Subject Property.
- (v) Lighting: The proposed development will comply with the City's exterior lighting regulations.
- (vi) Pedestrian and Bicycle Circulation: The provisions pertaining to Pedestrian and Bicycle Circulation will be met and exceeded.
- (vii) Relationship to Adjoining Land: The proposed use is consistent with the mixed-use concept of the Naperville Crossings Planned Unit Development and will enhance the viability of the commercial uses within the development.
- (viii) Density Bonuses: No Density bonuses are requested. The requested 298-unit community is less than the formerly approved 384-unit active adult and assisted living community.
- (ix) Park and School Sites: Park and School donations will be required as part of this development.
- (x) Public Improvements. All public improvements have been provided for as part of the Naperville Crossings PUD, including signalized access points at Route 59 and 95th Street and a dedication of land which is now home to Fire Station No. 10.

- c. The physical design of the planned unit development efficiently utilizes the land and adequately provides for transportation and public facilities while preserving the natural features of the site.*

There are no existing natural features on the site. The existing site consists of roughly graded and unsightly vacant land, large dirt stockpiles and an existing detention basin. The proposed plan incorporates the existing detention basin by turning it into a community amenity, and maximizes connectivity to the existing retail component of Naperville Crossings, supporting the viability of the overall development. Overall, the proposed development greatly enhances the Subject Property and efficiently utilizes residential property which has been vacant and underperforming for many years. By providing adequate pedestrian access, the need for vehicular travel will be minimized.

- d. Open Space, outdoor common area, and recreational facilities are provided.*

Open space, outdoor common areas, and recreational facilities will comprise a significant component of the proposed setting for the Naperville Crossings Planned Unit Development. The Petitioner is proposing 10.77 acres (43%) of open space. A clubhouse area, featuring a recreational room, community room and outdoor pool, will be included as part of the development. Many additional recreational areas and amenities such as water features, park areas, walkways, sitting areas and a gazebo will be complimented by extensive landscaping and contribute to the active urban lifestyles of the target residents.

- e. The modifications in design standards from the subdivision control regulations and the waivers in bulk regulations from the zoning regulations fulfill the intent of those regulations.*

The petitioner is not seeking any modifications in design standards from the subdivision control regulations or waivers in bulk regulations from the zoning regulations.

- f. The planned unit development is compatible with the adjacent properties and nearby land uses.*

The proposed use of the Subject Property is consistent with the proposed mixed-use development of Naperville Crossings. Naperville Crossings was conceptualized as a mixed-use development with a combination of retail, service commercial uses, professional and medical office uses and residential uses. The retail commercial component of the development is partially developed along Illinois Route 59. The secondary commercial and residential components of the development have stalled over the past seven years. The proposed development would create a beneficial use of the Subject Property that will provide an underserved segment of the housing market and also provide a boost to the existing commercial uses, which will be consistent with the character and intent of the planned unit development. The proposed community will bring approximately 585 additional patrons to the development and thereby support the viability of the commercial portions of Naperville Crossings.

g. The planned unit development fulfills the objectives of the comprehensive plan and planning policies of the City.

The proposed development is consistent with the overall Naperville Crossings Planned Unit Development, which anticipated a mixed-use development. In addition, the proposed development is consistent with the formerly approved residential component on the Subject Property, the only difference being that this development will not be age restricted. Since the original entitlement of the Subject Property not one senior developer has had any interest in this site. Since then, several other age restricted communities have been constructed in Naperville, including Monarch Landing and the nearby Carillon Club. Existing age restricted developments have adequate capacity to serve existing and future demands.

13. The requested Rezoning from B-2 PUD to R-3 PUD meets the requirements for a Rezoning under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. *The amendment promotes the public health, safety, comfort, convenience, and general welfare and complies with the policies and official land use plan and other official plans of the City.*

The amendment will promote the public health, safety, comfort, convenience, and general welfare in many ways. First, the amendment will provide for the development of additional housing opportunities to those who currently reside in Naperville or wish to reside in Naperville. It will also provide an opportunity for those seeking an upscale rental opportunity, within walking distance of necessities such as pharmacies, grocery stores, retail and dining and entertainment venues, to be able to enjoy such a lifestyle. The amendment will also provide for a community inclusive of recreational activities, including a clubhouse, pool, walkways and parks. In addition, the amendment will provide for the development of unsightly and underperforming land to be utilized for its highest and best use which will in turn support the adjacent commercial development and enhance the City's retail and property tax bases. The proposed amendment is also in conformance with the City's official plans in that the Naperville Crossings Planned Unit Development has always been intended to be a mixed-use development.

- b. *The trend of development in the area of the Subject Property is consistent with the requested amendment.*

The adjacent White Eagle Golf Course has existed for over twenty years, and a residential use is certainly in harmony neighboring a golf course. Over the past seven years the adjacent retail has filled in sporadically. As the Naperville Crossings Planned Unit Development has always been intended as a mixed-use development, the trend of development in the area is consistent with the requested residential component.

- c. *The requested zoning classification permits uses which are more suitable than the uses permitted under the existing zoning classification.*

The existing zoning classification, B-2 PUD, is appropriate for commercial uses. There

are an abundance of vacant commercial lots in Naperville Crossings with superior frontage and access currently available. The Subject Property is somewhat secluded in the far northwestern corner of the planned unit development and is not desirable for commercial development. In addition, the intent of the Subject Property, as evidenced by the Naperville Crossings Planned Unit Development, is for residential purposes. Therefore, a rezoning to R-3 PUD is necessary to achieve the highest and best use of the Subject Property.

- d. The property cannot yield a reasonable return if permitted to be used only under the conditions allowed under the existing zoning classification.*

The Subject Property is not viable as a commercial property. It is intended and highest and best use is as a residential community, in conformance with the Naperville Crossings Planned Unit Development. Under its current zoning designation, the Subject Property has remained vacant and unimproved.

- e. The Subject Property has not been utilized under the existing zoning classification for a substantial period of time.*

At all times the Subject Property has remained vacant under its current zoning classification.

- f. The amendment, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property.*

The amendment will actually have a very positive effect on the essential character of the neighborhood and will benefit the adjacent property. The proposed development plans will actually bring the Naperville Crossings mixed-use intent to fruition, which will not only provide additional housing opportunities, but will also have a positive effect on the sustainability of the adjacent commercial uses. The net result will be increased viability to Naperville Crossings in its entirety and an enhanced retail and property tax base for the City. In addition, the Petitioner has designed the site in a manner which takes the concerns of the adjacent golf course into

consideration by limiting the building heights, incorporating 32.25' setbacks along the golf course, not locating any detached garages adjacent to the golf course, and providing additional landscape screening along the golf course. The proposed residential use will also serve as a buffer for the golf course from the commercial uses and Route 59.

14. The requested deviation to reduce the required loading spaces from 3 to 0 meets the requirements for a deviation under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. *The requested deviation will not undermine the intent and purpose of the underlying zoning district; will not be a detriment to the provision of municipal services and infrastructure and will contribute to a planned unit development which offers a superior level of design, amenity enhancement, and environmental benefits.*

The intent of the off-street loading requirement is to avoid loading occurring on publicly owned right-of-ways. All internal roadways and parking areas on the Subject Property shall be private and under the exclusive control of the Petitioner. As a residential community, truck traffic within the development will be prohibited, and the use of a loading berth is both undesirable and unnecessary. As is the practice in most all multifamily developments, residents will use common hallways and the elevators to move in and out of their units. To that end, there is sufficient area adjacent to each building to accommodate all move in/out activities. The inclusion of three loading berths would have an impractical and unsightly effect on the residential character of the neighborhood. In addition, any deliveries to the clubhouse would be minor in nature and could be accommodated by car or van. Therefore, the Petitioner's request to eliminate loading berths would have a positive aesthetic effect on the development and overall community and contribute to a planned unit development which offering a superior level of design, amenity enhancement, and environmental benefits.

15. The requested deviation to permit decorative retaining walls up to seven (7) feet in height along the perimeter of the centrally located detention basin meets the requirements for a deviation under the Naperville Municipal Code, and is appropriate based upon the following factors:

- a. *The requested deviation will not undermine the intent and purpose of the underlying zoning district; will not be a detriment to the provision of municipal services and infrastructure and will contribute to a planned unit development which offers a superior level of design, amenity enhancement, and environmental benefits.*

The Petitioner seeks a deviation from the City's "Design Manual For Public Improvements" to permit non-terraced retaining walls in the residential development. As the centrally located detention pond has already been constructed and serves other properties within the Naperville Crossings Subdivision, the Petitioner was challenged to incorporate the existing basin into its development plans. In addition, to utilize the existing basin, the Petitioner desires to turn the basin into a community amenity, including adjacent parks, walking paths, a gazebo, a bridge, and extensive landscape treatments. As specified on the Preliminary Engineering Plan the Petitioner seeks to utilize non-terraced retaining walls ranging from 3' to 7' which will enhance both the function and aesthetics of the primary detention basin. In addition to the retaining walls, the detention basin will be heavily landscaped and include a safety ledge feature as required by the City of Naperville. As a result, the requested deviation will not be a detriment to the provision of municipal services and infrastructure and will contribute to a planned unit development which offers a superior level of design, amenity enhancement, and environmental benefits.

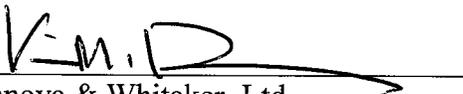
WHEREFORE, by reason of the foregoing, the undersigned Petitioner requests the City Council and Plan Commission take the necessary steps to: 1) approve a Plat of Resubdivision to

consolidate Lots 14 and 15; 2) grant a major change to the Naperville Crossings Planned Unit Development and approve a Preliminary Planned Unit Development Plat for the Subject Property; 4) grant a variance to eliminate the requirement for off-street loading; 6) grant a variance to permit retaining walls to be utilized in the detention basin; 8) grant a annexation agreement amendment eliminating the age restricted use of the Subject Property; and 9) grant such other variances, departures, deviations or other relief which is deemed necessary to approve the development of the Subject Property as depicted on the plans submitted herewith.

RESPECTFULLY SUBMITTED this 30th day of April, 2012.

PETITIONER:

LENNAR MULTIFAMILY INVESTORS, LLC,
a Delaware limited liability company

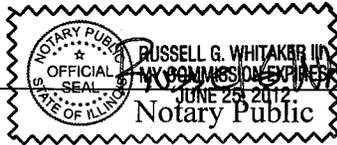


Rosanova & Whitaker, Ltd.
Attorneys for the Petitioner

State of Illinois)
) ss.
County of DuPage)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, do hereby certify that Vincent M. ROSANOVA, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that he signed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth.

Given under my hand and official seal this 30th day of April, 2012.

 Russell G. Whitaker III
Notary Public

**CITY OF NAPERVILLE
TRANSPORTATION, ENGINEERING AND DEVELOPMENT
BUSINESS GROUP
APPLICATION FOR DEVELOPMENT APPROVAL**

DEVELOPMENT NAME: The Oaks at Naperville Crossing

Date of Submission: February 3, 2012 – Resubmitted April 30, 2012

I. APPLICANT/PETITIONER:

Name: Lennar Multifamily Investors, LLC

Address: 201 S. Tyron, Suite 1050, Charlotte, NC 28202

Contact Person: Todd Farrell

Telephone Number: 704-749-5265

Relationship of Applicant to Subject Property: Contract Purchaser

II. OWNER OF THE PROPERTY:

Name: First National Bank of Brookfield

Address: 9136 Washington Ave., Brookfield, Illinois 60513

Phone: 708-485-2770

Is this development within the City limits?

- Yes.
 Under review by another governmental agency and requires review due to 1.5 mile jurisdictional requirements.
 No, requesting annexation.

Are there electors living on the property: N/A

III. ACTION REQUESTED:

<input checked="" type="checkbox"/>	Annexation Agreement Amendment	<input checked="" type="checkbox"/>	Rezoning (Exhibit 1
<input type="checkbox"/>	Conditional Use (Exhibit 3)	<input type="checkbox"/>	Site Plan Review
<input checked="" type="checkbox"/>	Preliminary PUD Plat (Exhibit 2)	<input type="checkbox"/>	Final PUD Plat
<input type="checkbox"/>	Major Change to a Conditional Use	<input type="checkbox"/>	Minor Change to a Conditional Use
<input checked="" type="checkbox"/>	Major Change to a Planned Unit Development (Exhibit 2)	<input type="checkbox"/>	Minor Change to a Planned Unit Development
<input checked="" type="checkbox"/>	Preliminary Plat of Subdivision	<input type="checkbox"/>	Final Plat of Subdivision
<input type="checkbox"/>	Subdivision Waiver	<input checked="" type="checkbox"/>	Zoning Variance(s) (Exhibit 5)

IV. APPLICANT’S/PETITIONER’S STAFF:

Attorney:	Rosanova & Whitaker, Ltd. Vince Rosanova	Telephone Number: 630-355-4600 Vince@rw-attorneys.com
Engineer:	Intech Consultants Ed Seifert	Telephone Number: 630-964-5656 seifert@intechconsultants.com
Landscape:	Hitchcock Design Group Geoff Roehll	Telephone Number: 630-961-1787 groehll@hitchcockdesigngroup.com
Architect:	BSB Design, Inc. Joe Safin	Telephone Number: 847-705-2200 jsafin@bsbdesign.com

V. PROJECT DATA:

1. Location: Lots 14 & 15 in Naperville Crossings, 95th St. & Route 59.
County: Will
Township: Wheatland
PIN#: 07-01-04-410-056; -057
2. General Description of the Site: The Subject Property consists of 24.91 acres, is unimproved and vacant.
3. Existing Zoning on the Site: B-2 PUD
4. Existing Land Use: Vacant and unimproved.
5. Existing Utility Service: Water, electric, gas and sewer are available.
6. Acreage of Site: Approximately 24.91 acres
7. List Controlling Ordinance and Agreements (zoning, annexation ordinances, SIA, site plans, preliminary/final PUD plats, etc.): Naperville Crossings Annexation Agreement & Amendments, Subdivision Plat and PUD Plan, Naperville Crossings PUD Ordinances and associated design guidelines and private Covenants, Conditions and Restrictions governing the development and use of property in Naperville Crossings.
8. Character of Surrounding Area:

	ZONING	JURISDICTION	EXISTING LAND USE	ADOPTED CITY PLAN
North	R-1A	Naperville	White Eagle G.C.	Golf Course
South	B-2 PUD	Naperville	Movie Theatre	Commercial
East	B-2 PUD	Naperville	Retail & Vacant	Commercial
West	R-1A	Naperville	White Eagle G.C.	Golf Course

VI. PROPOSED DEVELOPMENT:

1. Type of Development:

Residential Commercial Office
 Industrial Other

2. Proposed Zoning: R-3 PUD

3. Description of Proposal: Petitioner seeks to consolidate Lots 13 & 14 to construct and manage a 298 unit apartment community on the subject property.

4. Description of Building (Including number of buildings, façade materials, square feet of each building/use, maximum height):

The proposed development will consist of: a) thirteen 3-story buildings. The building styling will be an eclectic variety of materials including brick, cement board, accents and trims, and in some cases stone. The buildings will feature a three-color palette including masonry color, base siding color, and accent siding color combinations.

A clubhouse will be located in the front of the development and will match the character and quality of the apartment buildings.

5. General Land Use Data:

	Resid.	Comm.	Office	Indust.	R.O.W.	Park	School	Private	Other	Total
No. of Acres	24.91									24.91
% of Total	100%									100%

*Please explain:

7. Description of any Non-Residential, Commercial or Industrial portion of the Development: N/A

8. Variances from the Underlying zoning Regulations: (i.e. parking, setbacks, density, height/bulk, etc.):

- a. Parking (Title 6, Chapter 9.5): To reduce the required off-street loading requirement from 3 to 0. All internal streets are private with ample area for residents to move in or out.
- b. Detention Basin (Design Manual Section 2.5.4.5): To permit retaining walls to be located in the detention basins up to 7' in height.

- 9. Variances from the Subdivision Regulations: None
- 10. Variances from the Landscape Regulations: None
- 11. Conditional Use: None

VII. SCHOOL AND PARK DONATION REQUIREMENTS:

- 1. Required School Donation: Cash
- 2. Required Park Donation: Cash

VIII. PRIVATE FACILITIES

- 1. Private open space and recreational facilities include: Outdoor common areas and recreational facilities and a clubhouse facility with an outdoor pool.

Which will be maintained by: ___ The City of Naperville
 ___ Business
 X Other (Private Association)

- 2. Outlots and/or detention/retention facilities include (size, number and location): Detention is existing in a centrally located wet bottom basin per prior approved engineering plans.

Which will be maintained by: ___ The City of Naperville
 ___ Homeowners Association
 X Other (Private Association)

- 3. Detention, retention, open space/recreation and school uses within the development:

	Private – Homeowners Association (acres)*	Public – To be Dedicated (acres)	Other (acres)*	Total (acres)
Open Space*	10.77 Acres			
a. Park Site	(See Below)			
b. Common Areas*				
c. Private Facility				
Sub-total				

School Site				
Total	43%			

*Please Explain:

Total Open Space Allocation:

Community Club Area (excluded Building)	0.70 Ac.
Pocket Parks	0.60 Ac.
Perimeter Landscape Areas	2.74 Ac.
Interior Landscape Areas	1.95 Ac.
Detention Feature/Amenity (Central)	3.25 Ac.
Detention Feature/Amenity (SW)	1.53 Ac.

Detention Areas will be enhanced with seating/viewing areas, landscape plantings and hardscape materials.

Respectfully Submitted,
Rosanova & Whitaker, Ltd., Authorized Agent

By: *V.M.R.*
Vincent M. Rosanova

STATE OF ILLINOIS)
 COUNTY OF DUPAGE)
 CITY OF NAPERVILLE)

The forgoing petition was acknowledged before me by **Vincent M. Rosanova** on the ____ day of February, 2012.

By: *Rosanova & Whitaker*


Park Donation Work Sheet

Name of Subdivision _____

Park Donation = **Land** **Cash**
 5.0303 **\$1,627,805.08** = Land Donation x \$323,600.00

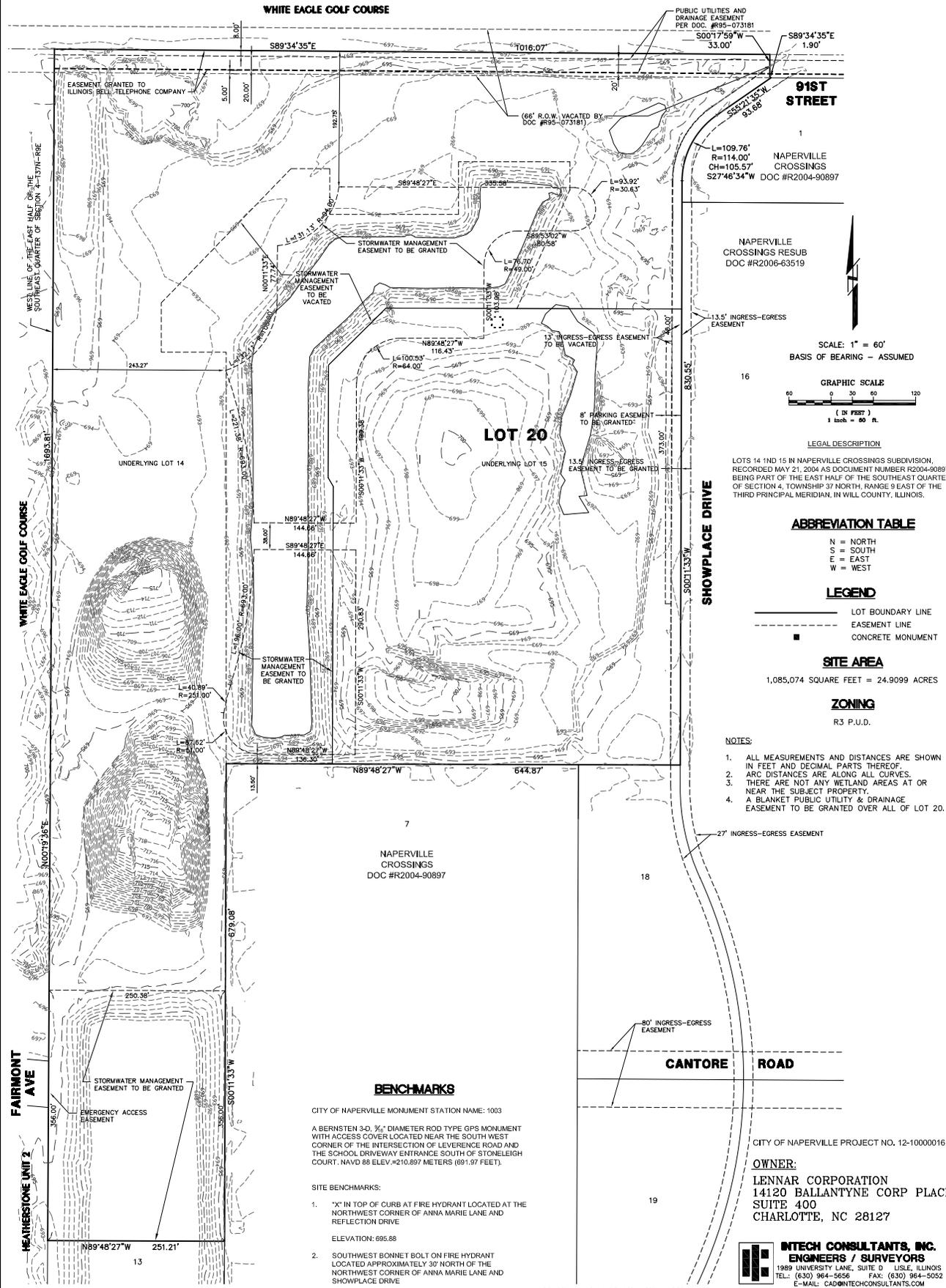
=Round((Total People Produced x 0.0086),4)

Type of Unit	Pre-School 0 - 4 Yrs	Elementary Grades K-5	Junior High Grades 6-8	High School Grades 9-12	Adults 18-up	Total per Unit
Detached						
Single-family						
2-bedroom	0.127	0.000	0.327	0.000	0.118	0.000
3-bedroom	0.244	0.000	0.440	0.000	0.177	0.000
4-bedroom	0.348	0.000	0.522	0.000	0.265	0.000
5-bedroom	0.333	0.000	0.533	0.000	0.279	0.000
Attached						
Single-Family						
1-Bedroom	0.072	0.000	0.091	0.000	0.080	0.000
2-Bedroom	0.157	0.000	0.178	0.000	0.113	0.000
3-Bedroom	0.217	0.000	0.358	0.000	0.198	0.000
Apartments						
Efficiency						
80 1-Bedroom	0.015	1.200	0.033	2.640	0.013	1.040
182 2-Bedroom	0.037	6.734	0.063	11.466	0.028	5.096
36 3-Bedroom	0.037	1.332	0.152	5.472	0.091	3.276
People Produced	9.266	19.578	9.412	9.488	537.296	584.924

LOTS 14 AND 15 IN NAPERVILLE CROSSINGS, PART OF THE EAST ½ OF THE SOUTHEAST ¼ OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897, IN WILL COUNTY, ILLINOIS.

PRELIMINARY PLAT OF SUBDIVISION THE OAKS AT NAPERVILLE CROSSINGS NAPERVILLE, ILLINOIS

OF
PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS



91ST STREET

NAPERVILLE CROSSINGS
CH=105.57'
S27°46'34"W DOC #R2004-90897

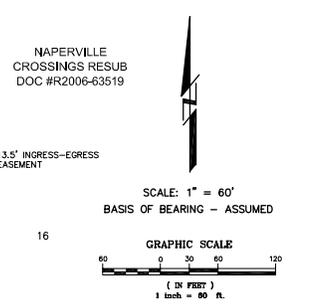
NAPERVILLE CROSSINGS RESUB
DOC #R2006-63519

13.5' INGRESS-EGRESS EASEMENT

1.5' INGRESS-EGRESS EASEMENT TO BE VACATED

8' PARKING EASEMENT TO BE GRANTED

13.5' INGRESS-EGRESS EASEMENT TO BE GRANTED



LEGAL DESCRIPTION

LOTS 14 AND 15 IN NAPERVILLE CROSSINGS SUBDIVISION, RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897, BEING PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

ABBREVIATION TABLE

N	=	NORTH
S	=	SOUTH
E	=	EAST
W	=	WEST

LEGEND

—	LOT BOUNDARY LINE
- - -	EASEMENT LINE
■	CONCRETE MONUMENT

SITE AREA

1,085,074 SQUARE FEET = 24.9099 ACRES

ZONING

R3 P.U.D.

- NOTES:**
1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 2. ARC DISTANCES ARE ALONG ALL CURVES.
 3. THERE ARE NOT ANY WETLAND AREAS AT OR NEAR THE SUBJECT PROPERTY.
 4. A BLANKET PUBLIC UTILITY & DRAINAGE EASEMENT TO BE GRANTED OVER ALL OF LOT 20.

BENCHMARKS

CITY OF NAPERVILLE MONUMENT STATION NAME: 1003

A BERNSTEIN 3-D, 3/4" DIAMETER ROD TYPE GPS MONUMENT WITH ACCESS COVER LOCATED NEAR THE SOUTH WEST CORNER OF THE INTERSECTION OF LEVERENCE ROAD AND THE SCHOOL DRIVEWAY ENTRANCE SOUTH OF STONELEIGH COURT, NAVD 88 ELEV. +210.897 METERS (691.97 FEET).

- SITE BENCHMARKS:**
1. "X" IN TOP OF CURB AT FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF ANNA MARIE LANE AND REFLECTION DRIVE
ELEVATION: 695.88
 2. SOUTHWEST BONNET BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 30' NORTH OF THE NORTHWEST CORNER OF ANNA MARIE LANE AND SHOWPLACE DRIVE

27' INGRESS-EGRESS EASEMENT

80' INGRESS-EGRESS EASEMENT

CANTORE ROAD

CITY OF NAPERVILLE PROJECT NO. 12-10000016

OWNER:
LENNAR CORPORATION
14120 BALLANTYNE CORP PLACE
SUITE 400
CHARLOTTE, NC 28127

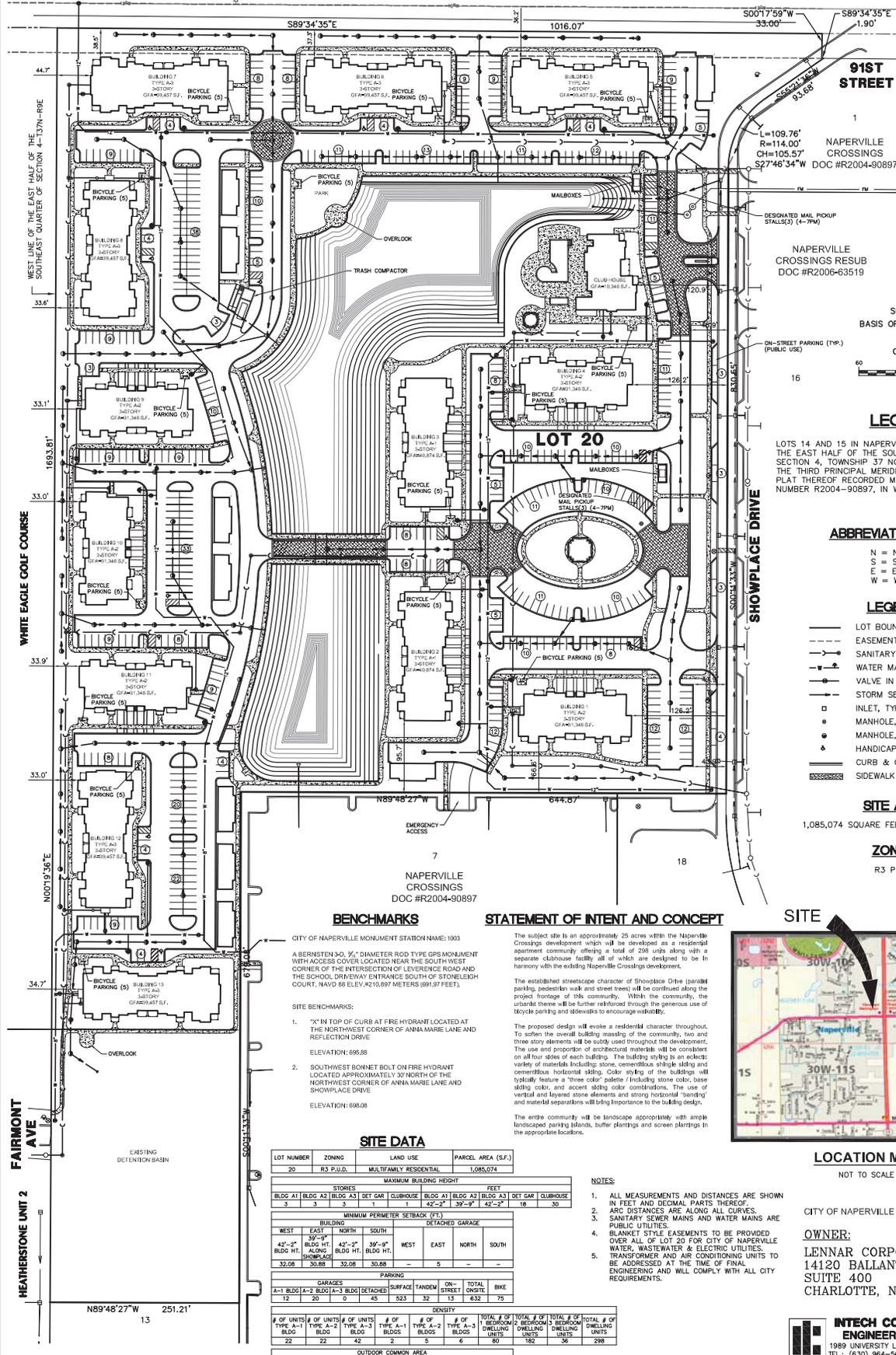
INTECH CONSULTANTS, INC.
ENGINEERS / SURVEYORS
1989 UNIVERSITY LANE, SUITE D LISLE, ILLINOIS
TEL: (630) 964-5656 FAX: (630) 964-5052
E-MAIL: CAD@INTECHCONSULTANTS.COM
ILLINOIS REGISTRATION No. 184-001040

PRELIMINARY PLAT OF SUBDIVISION - THE OAKS AT NAPERVILLE CROSSINGS

PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT THE OAKS AT NAPERVILLE CROSSINGS NAPERVILLE, ILLINOIS

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4,
TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, ILLINOIS

WHITE EAGLE GOLF COURSE



91ST STREET
NAPERVILLE CROSSINGS
DOC #R2004-90897

NAPERVILLE CROSSINGS RESUB
DOC #R2006-63519

SCALE: 1" = 60'
BASIS OF BEARING - ASSUMED

GRAPHIC SCALE
0 30 60 120
(IN FEET)
1 inch = 60 ft.

LEGAL

LOTS 14 AND 15 IN NAPERVILLE CROSSINGS, PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 2004 AS DOCUMENT NUMBER R2004-90897, IN WILL COUNTY, ILLINOIS.

ABBREVIATION TABLE

N = NORTH
S = SOUTH
E = EAST
W = WEST

LEGEND

- LOT BOUNDARY LINE
- EASEMENT LINE
- SANITARY SEWER WITH MANHOLE
- WATER MAIN & HYDRANT
- VALVE IN VAULT
- STORM SEWER
- INLET, TYPE A
- MANHOLE, TYPE A WITH CLOSED LID
- MANHOLE, TYPE A WITH OPEN LID
- △ HANDICAP PARKING SPACE
- CURB & GUTTER
- SIDEWALK

SITE AREA

1,085,074 SQUARE FEET = 24.9099 ACRES

ZONING

R3 P.U.D.

BENCHMARKS

- CITY OF NAPERVILLE MONUMENT STATION NAME: 1003
- A BERNSTEIN 30.1/2" DIAMETER ROD TYPE GPS MONUMENT WITH ACCESS COVER LOCATED NEAR THE SOUTH WEST CORNER OF THE INTERSECTION OF LEVERMORE ROAD AND THE SCHOOL DRIVE (DRIVE ENTRANCE SOUTH OF STONELEIGH COURT, NAVD 88 ELEV: 8210.897 METERS (8919.97 FEET).
- SITE BENCHMARKS:
- "X" IN TOP OF CURB AT FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF ANNA MARIE LANE AND REFLECTION DRIVE.
ELEVATION: 695.88
 - SOUTHWEST CORNER BOLT ON FIRE HYDRANT LOCATED APPROXIMATELY 30' NORTH OF THE NORTHWEST CORNER OF ANNA MARIE LANE AND SHOWPLACE DRIVE.
ELEVATION: 698.08

STATEMENT OF INTENT AND CONCEPT

The subject site is an approximately 25 acres within the Naperville Crossings development which will be developed as a residential apartment community offering a total of 298 units along with a separate clubhouse facility, all of which are designed to be in harmony with the existing Naperville Crossings development.

The established streetscape character of Showplace Drive (open lot parking, pedestrian walk and street trees) will be continued along the project frontage of this community. Within the community, the streetscape theme will be further reinforced through the generous use of bicycle parking and sidewalks to encourage walkability.

The proposed design will evoke a residential character throughout. To soften the overall building massing of the community, two and three story elements will be subtly used throughout the development. The use and proportion of architectural materials will be consistent on all four sides of each building. The building styling is an eclectic variety of materials including stone, cementitious shingle siding and cementitious horizontal siding. Color styling of the buildings will typically feature a "three color" palette including stone color, base siding color, and accent siding color combinations. The use of vertical and layered stone elements and strong horizontal "banding" and material separations will bring importance to the building design.

The entire community will be landscaped appropriately with simple landscaped parking islands, buffer plantings and screen plantings in the appropriate locations.

SITE DATA

LOT NUMBER	ZONING	LAND USE	PARCEL AREA (S.F.)
20	R3 P.U.D.	MULTIFAMILY RESIDENTIAL	1,085,074

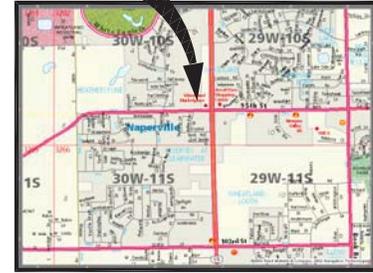
BLDG A1	BLDG A2	BLDG A3	DET GAR	BLDG A1	BLDG A2	BLDG A3	DET GAR	CLUBHOUSE
3	3	3	1	42'-2"	39'-9"	42'-2"	18	30

BUILDING		MINIMUM PERIMETER SETBACK (FEET)		DETACHED GARAGE			
WEST	EAST	NORTH	SOUTH	WEST	EAST	NORTH	SOUTH
42'-2"	39'-9"	42'-2"	39'-9"	5	5	5	5

GARAGES		PARKING		TOTAL	
A-1 BLDG	A-2 BLDG	A-3 BLDG	DETACHED	ON-STREET	ON-SITE
12	20	0	45	523	32

# OF UNITS		# OF UNITS		# OF UNITS		# OF UNITS		# OF UNITS	
TYPE A-1	TYPE A-2	TYPE A-3	TYPE A-4	TYPE A-5	TYPE A-6	TYPE A-7	TYPE A-8	TYPE A-9	TYPE A-10
22	22	42	2	5	6	80	182	36	298

SITE



LOCATION MAP

NOT TO SCALE

CITY OF NAPERVILLE PROJECT NO. 12-10000016

OWNER:
LENNAR CORPORATION
14120 BALLANTYNE CORP PLACE
SUITE 400
CHARLOTTE, NC 28127

INTECH CONSULTANTS, INC.
ENGINEERS / SURVEYORS
1989 UNIVERSITY LANE, SUITE D LISLE, ILLINOIS
TEL: (630) 964-5656 FAX: (630) 964-5052
E-MAIL: CAD@INTECHCONSULTANTS.COM
ILLINOIS REGISTRATION NO. 154-001040

THE OAKS AT NAPERVILLE CROSSINGS - PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT



180 N. Wacker Drive
Suite 003
Chicago, IL 60606
T 312.634.2100
F 312.634.2101
hitchcockdesigngroup.com

The Oaks at Naperville Crossings

Naperville, Illinois

Lennar Corporation
14120 Ballantyne Corporate Place, Suite 400
Charlotte, North Carolina, 28277

Preliminary PUD Landscape Plans Revised Per Site Plan Revisions April 25, 2012

Naperville Project # 12-10000016

Project Team

Landscape Architect
Hitchcock Design Group
221 West Jefferson Avenue
Naperville, Illinois 60540
T 630.961.1787
F 630.961.9925

Civil Engineer
Intech Consultants, Inc.
1989 University Lane, Suite D
Lisle, Illinois 60532
T 630.964.5656

Land Planner
BSB Design
3436 N. Kenrick, Suite 100
Arlington Heights, IL 60004
T 847.705.2200

General Notes

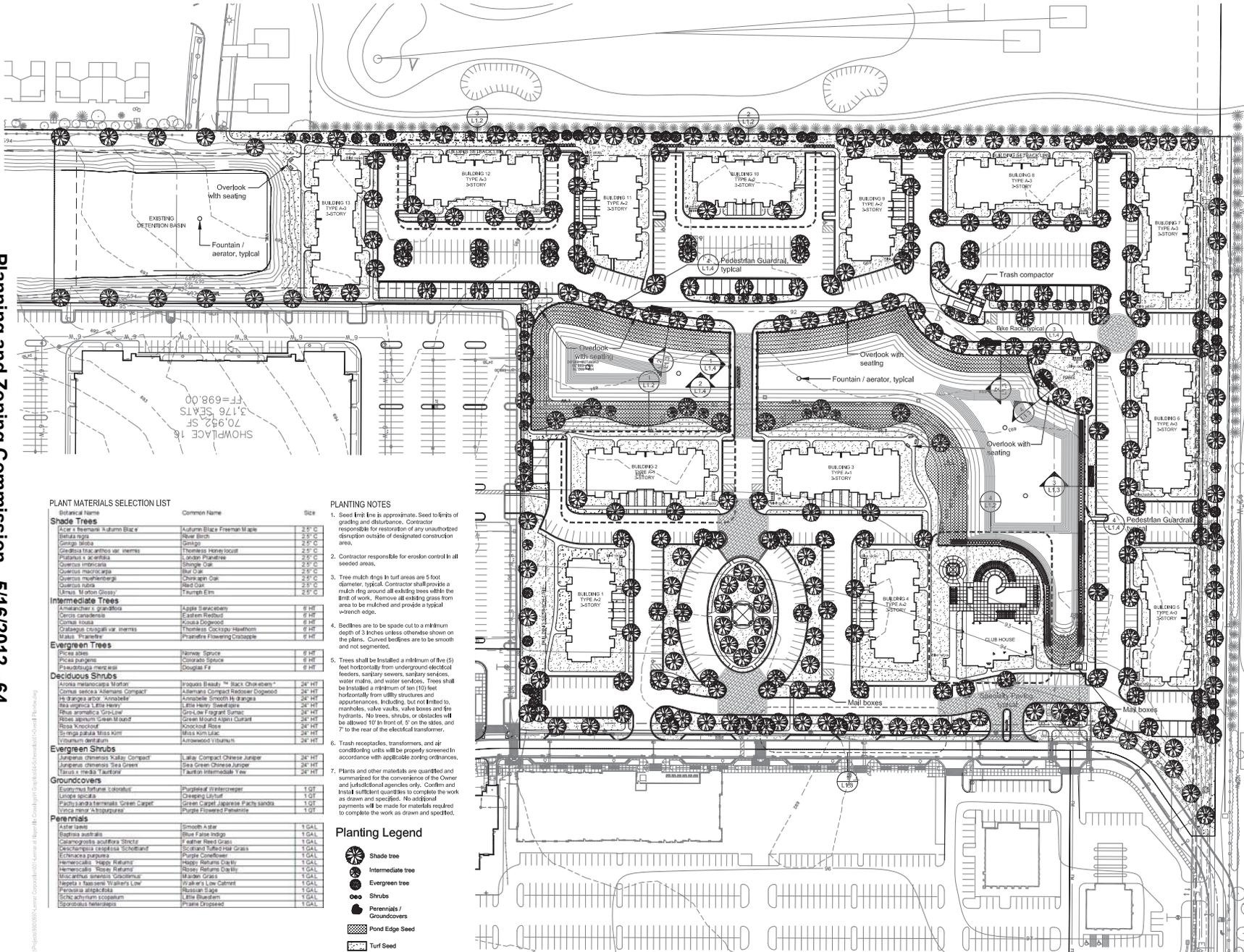
1. Basemap information obtained from plans prepared by Intech Consultants received April 19, 2012.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.

Sheet Index

L1.1	PUD Landscape Plan
L1.2	Plan Enlargements
L1.3	Plan Enlargements and Details
L1.4	Details

It's smart. It's free. It's the law.

Call before you dig.
800.892.0123



PLANT MATERIALS SELECTION LIST

Common Name	Size
Shade Trees	
Acer x Freemanii Freeman Maple	25' C
Amelanchier	25' C
Castanea sativa	25' C
Quercus macrocarpa	25' C
Quercus imbricaria	25' C
Quercus macrocarpa	25' C
Quercus rubra	25' C
Linnaea Michx. Glossy	25' C
Intermediate Trees	
Amelanchier x grandiflora	6' HT
Cornus canadensis	6' HT
Cornus lousia	6' HT
Chamaecyparis thuja 'minima'	6' HT
Malus 'Traveller'	6' HT
Evergreen Trees	
Picea canadensis	6' HT
Picea pungens	6' HT
Podocarpus neriifolia	6' HT
Deciduous Shrubs	
Hamamelis virginica	24' HT
Cornus sericea	24' HT
Hydrangea arborescens	24' HT
Ribes cynosbati	24' HT
Ribes aureum	24' HT
Rosa Knockout	24' HT
Strawberry Blush	24' HT
Evergreen Shrubs	24' HT
Jungfern chinesis 'Lily Compact'	24' HT
Juniperus chinensis 'Sea Green'	24' HT
Taxus x media 'Fastigiata'	24' HT
Groundcovers	
Epimedium pinnatifidum	1' GT
Liriodendron chinensis	1' GT
Pachysandra terminalis	1' GT
Viola blanda	1' GT
Perennials	
Aster sp.	1' GAL
Redtop	1' GAL
Calamagrostis canadensis	1' GAL
Scilla maritima	1' GAL
Hemerocallis 'Yellow Sun'	1' GAL
Hemerocallis 'Yellow Sun'	1' GAL
Hosta 'Blue Spire'	1' GAL

PLANTING NOTES

- Seed limit line is appropriate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction areas.
- Contractor responsible for erosion control in all seeded areas.
- Tree much rings in turf areas are 5 foot diameter, typical. Contractor shall provide a match ring around all existing trees within the limit of work. Remove all existing grass from area to be matched and provide a typical trench sevice.
- Bedlines are to be spaced out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
- Trees shall be installed a minimum of (5) feet horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valve vaults, valve boxes and fire hydrants. No trees, shrubs, or obstacles will be allowed 10' in front of 5' on the sides, and 7' to the rear of the electrical transformer.
- Trash receptacles, transformers, and air conditioning units will be properly screened in accordance with applicable zoning ordinances.
- Plants and other materials are quantified and submitted for the convenience of the Owner, and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.

Planting Legend



HITCHCOCK DESIGN GROUP
 221 W. Jefferson Avenue
 Naperville, IL 60540
 T 630.961.1787
 F 630.961.9925
 hitchcockdesigngroup.com

PREPARED FOR
Lennar Corporation
 14120 Ballantyne Corporate Place,
 Suite 400
 Charlotte, North Carolina 28277

PROJECT
The Oaks at Naperville Crossing

Page 64 - Agenda Item C.1.

CONSULT
 Civil En
 Intech Consultant
 1989 University Lane, S
 Little, IL
 T 630.964
 Land Pl
 BSB I
 3436 N. Kennicott, Sul
 Arlington Heights, IL
 T 847.705

NAPERVILLE PROJECT NUI 12-100

HOG PROJECT NUMBER 01-0997-201-01-04

ISSUED February 1, 2012

REVISIONS

No	Date	Issue
2012.03.13	Per City comments	
2012.04.25	Per site plan revision	

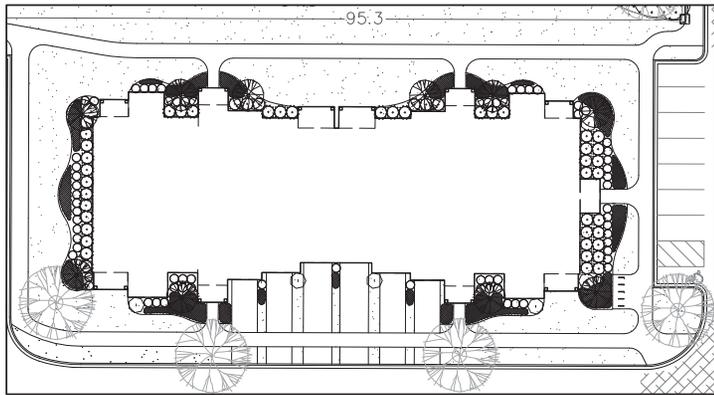
CHECKED BY GBR DRAWN BY TRR

SHEET TITLE
PUD Landscape Plan

SCALE IN FEET
 1" = 60'

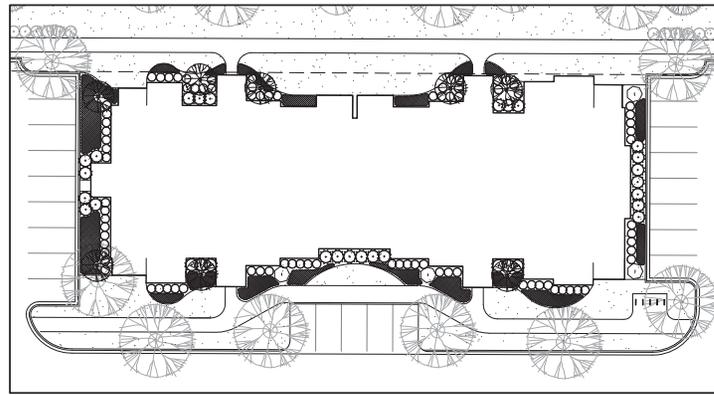
0' 30' 60' 180'

NORTH SHEET NUMBER
L1.1
 ©2012 Hitchcock Design Group



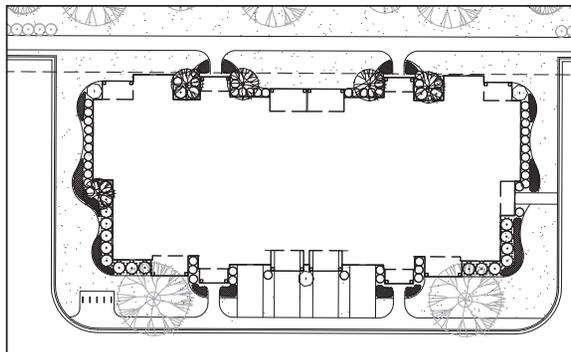
1 Building Type A1 - Prototypical Foundation Planting

Scale: 1" = 20'



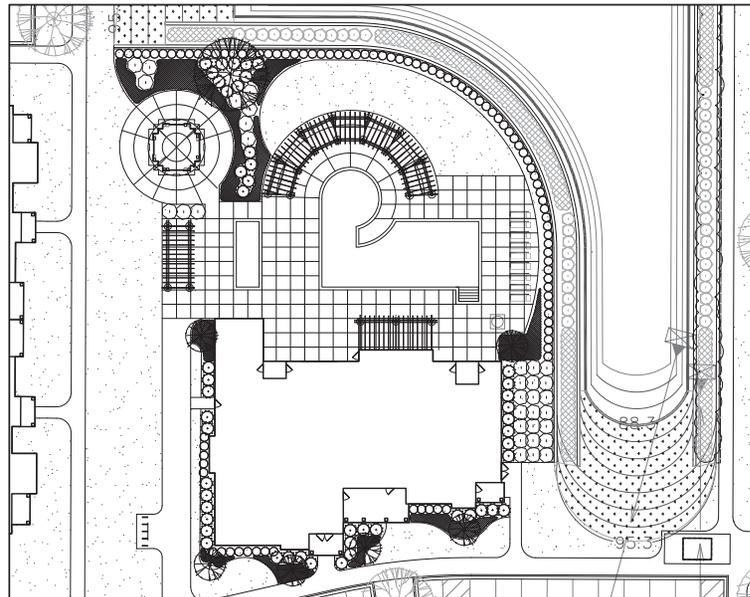
3 Building Type A-3 - Prototypical Foundation Planting

Scale: 1" = 20'



2 Building Type A-2 - Prototypical Foundation Planting

Scale: 1" = 20'



4 Club House Foundation Planting

Scale: 1" = 20'

PLANTING NOTES

- Seed limit line is approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disturbance outside of designated construction area.
- Contractor responsible for erosion control in all seeded areas.
- Tree mulch fringe in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
- Bedlines are to be spade out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
- Trees shall be installed a minimum of five (5) feet horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valves vaults, valve boxes and fire hydrants. No trees, shrubs, or obstacles will be allowed 10' in front of, 5' on the sides, and 7' to the rear of the electrical transformer.
- Trash receptacles, transformers, and air conditioning units will be properly screened in accordance with applicable zoning ordinances.
- Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.

Planting Legend

-  Shade tree
-  Intermediate tree
-  Evergreen tree
-  Shrubs
-  Perennials / Groundcovers

CHECKED BY: GBR DRAWN BY: TRR

SHEET TITLE
Plan Enlargements

SCALE IN FEET

NORTH SHEET NUMBER

L1.2
©2012 Hitchcock Design Group

HITCHCOCK DESIGN GROUP
INCORPORATED



221 W. Jefferson Avenue
Naperville, IL 60540
T 630.961.1787
F 630.961.9925
hitchcockdesigngroup.com

PREPARED FOR
Lennar Corporation
14120 Ballantyne Corporate Place,
Suite 400
Charlotte, North Carolina 28277

PROJECT
The Oaks at Naperville Crossing

CONSULTANT
Intech Consultant
1989 University Lane, S
Lisle, IL
T 630.964.1111

LAND PREPARE
BS&E
3436 N. Kennicott, S
Arlington Heights, IL
T 847.707.1111

NAPERVILLE PROJECT NUI
12-100
HDG PROJECT NUMBER
01-0997-201-01-04

ISSUED
February 1, 2012

No	Date	Issue
	2012.03.13	Per City comments
	2012.04.25	Per site plan revision

REVISIONS

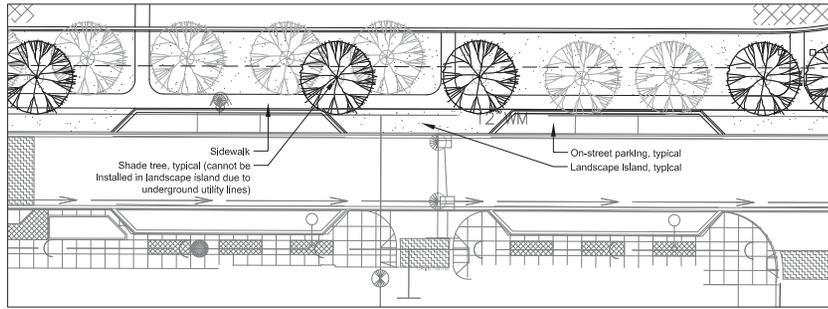
CHECKED BY: GBR DRAWN BY: TRR

SHEET TITLE
Plan Enlargements

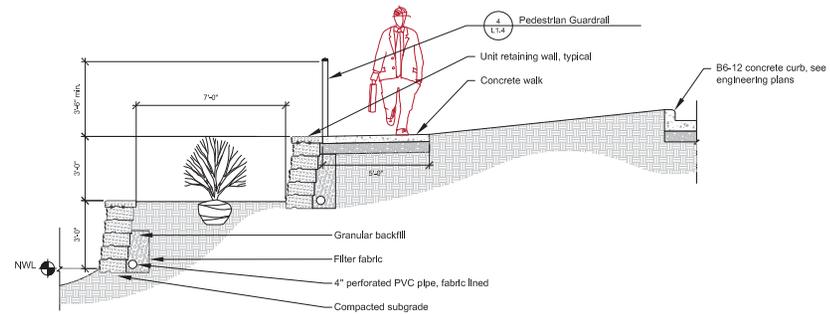
SCALE IN FEET

NORTH SHEET NUMBER

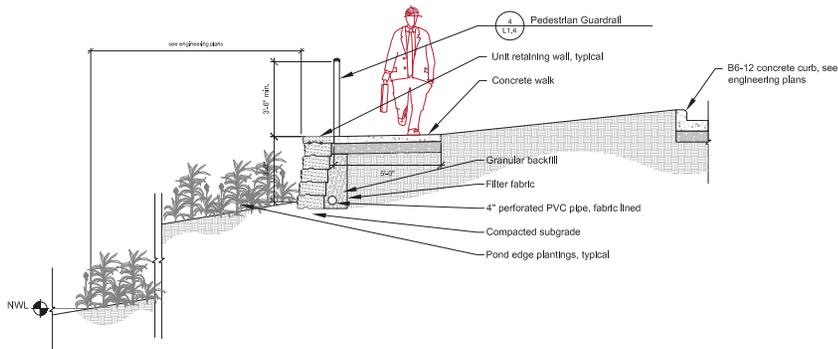
L1.2
©2012 Hitchcock Design Group



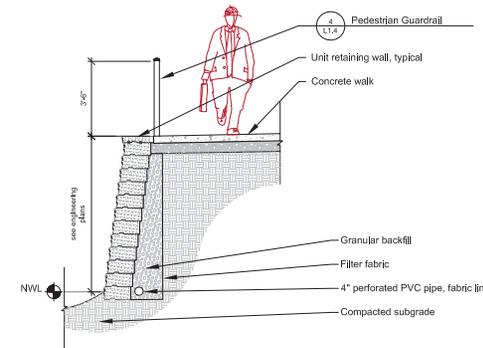
1 Showplace Drive - Prototypical Streetscape Treatment
Scale: 1" = 20'



3 Detention Pond Retaining Wall - Section 2
Scale: 3/8" = 1'-0"



2 Detention Pond Retaining Wall - Section 1
Scale: 3/8" = 1'-0"



4 Detention Pond Overlook Retaining Wall - Section
Scale: 3/8" = 1'-0"



221 W. Jefferson Avenue
Naperville, IL 60540
T 630.961.1787
F 630.961.9925
hitchcockdesigngroup.com

PREPARED FOR

Lennar Corporation

14120 Ballantyne Corporate Place,
Suite 400
Charlotte, North Carolina 28277

PROJECT

The Oaks at Naperville Crossing

CONSULT

Intech Engineering
1989 University Lane, S
Lisle, IL
T 630.964

Land Plan

BSB I
3436 N. Kennelcott, S
Arlington Heights, IL
T 847.705

Page 66 - Agenda Item C.1.

NAPERVILLE PROJECT NUI
12-100

HDG PROJECT NUMBER
01-0997-001-01-04

ISSUED

February 1, 2012

REVISIONS

No	Date	Issue
	2012.03.13	Per City comments
	2012.04.25	Per site plan revision

CHECKED BY: GBR DRAWN BY: TRR

SHEET TITLE
Plan Enlargements and Details

SCALE IN FEET



NORTH SHEET NUMBER

L1.3

©2012 Hitchcock Design Group

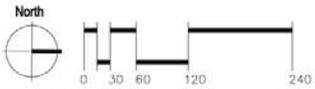
Planning and Zoning Commission - 5/16/2012 - 68



Sheet LP 1.1

Open Space Area
The Oaks at Naperville Crossings
 Naperville, Illinois

April 13, 2012
 © 2012 BSB Design, Inc.



LENNAR

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, and plan/finish changes, etc.)



Front Elevation

scale: 1/8" = 1'-0"

Minimum Building Masonry Percentage: 50%



Rear Elevation

scale: 1/8" = 1'-0"

bsbdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

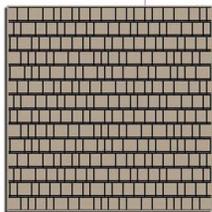


Front Elevation
scale: 1/8" = 1'-0"

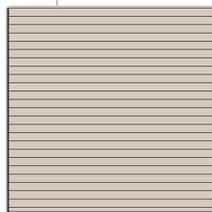
Minimum Building Masonry Percentage: 50%



Asphalt Shingles



Cementitious Shake Siding



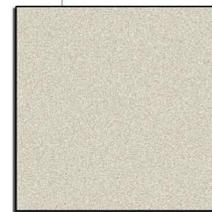
Cementitious Horizontal Siding



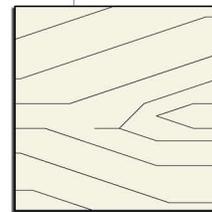
Masonry Veneer



Standing Seam Metal Roof



Cast Stone



Composite Trim



labbdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Sheet A1 1.0a
The Oaks at Naperville Crossings
Naperville, Illinois

04-23-2012
© 2012 BSB Design, Inc.





Left Elevation

scale: 1/8" = 1'-0"



Right Elevation

scale: 1/8" = 1'-0"

LENNAR

Building A1

The Oaks at Naperville Crossings

Naperville, Illinois

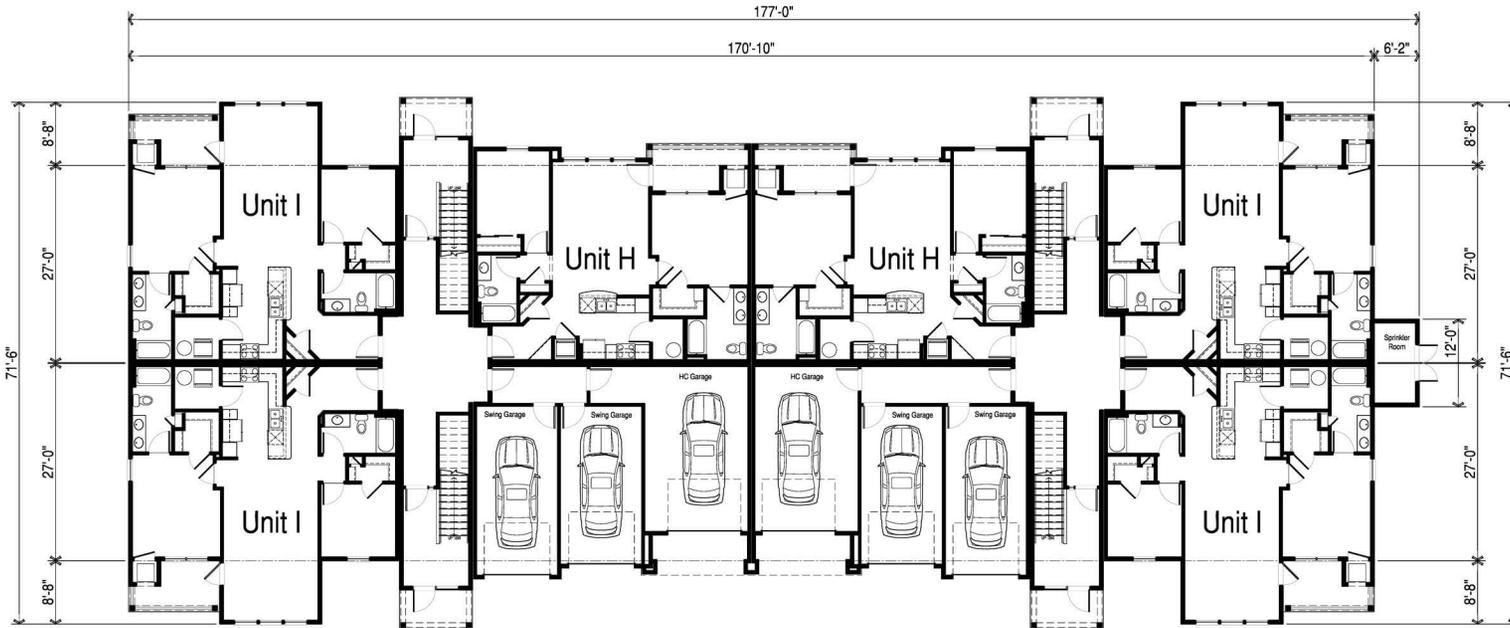
Sheet A1 2.0

04-23-2012
© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Main Floor Plan

scale: 1/8" = 1'-0"



Building A1

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A1 3.0

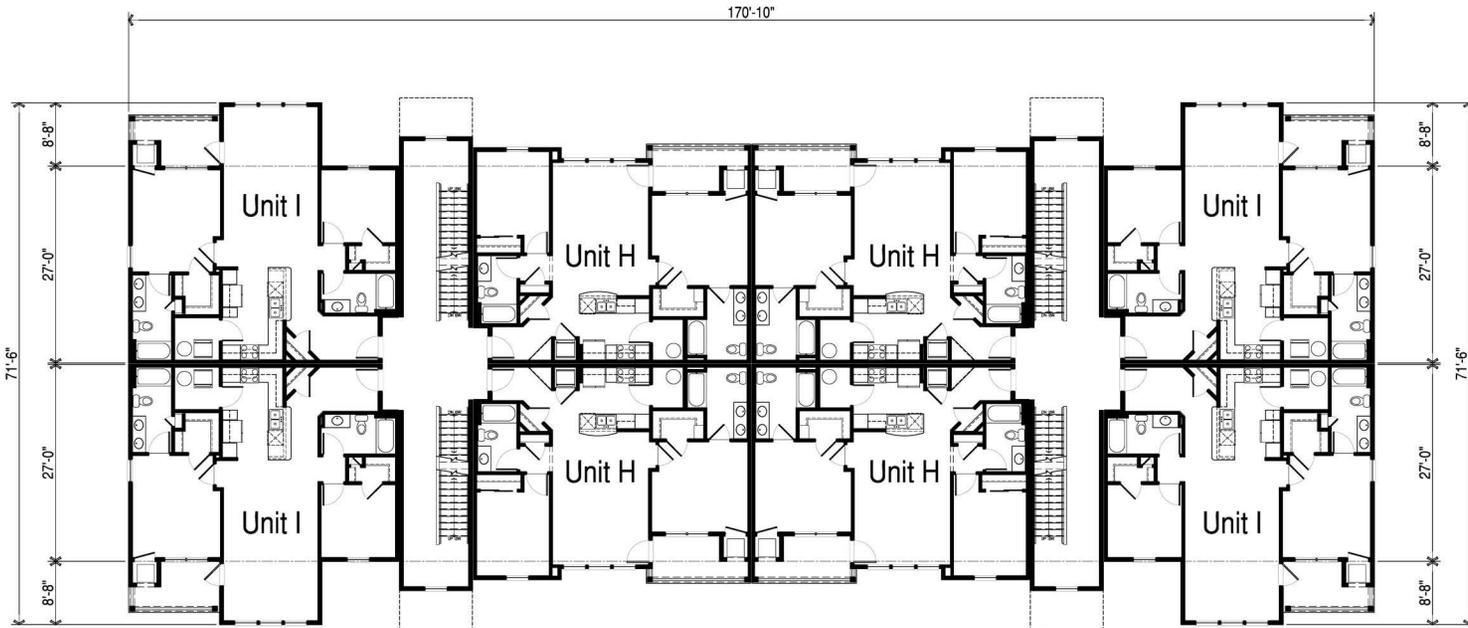
04-23-2012

© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



2nd Floor Plan

scale: 1/8" = 1'-0"



Building A1

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A1 4.0

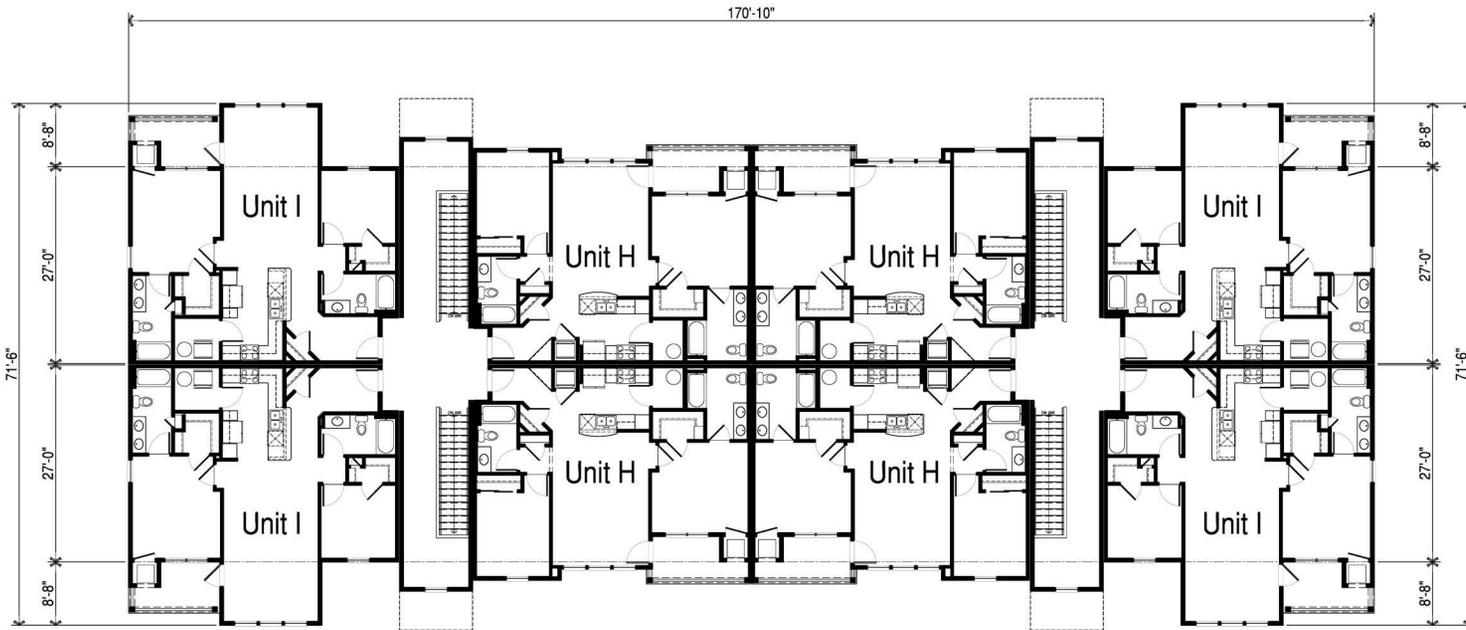
04-23-2012

© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



3rd Floor Plan

scale: 1/8" = 1'-0"



Building A1

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A1 5.0

04-23-2012

© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Minimum Building Masonry Percentage: 50%

Front Elevation

scale: 1/8" = 1'-0"



Rear Elevation

scale: 1/8" = 1'-0"

bsbdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Left Elevation

scale: 1/8" = 1'-0"



Right Elevation

scale: 1/8" = 1'-0"

Building A2

The Oaks at Naperville Crossings

Sheet A2 2.0
Naperville, Illinois

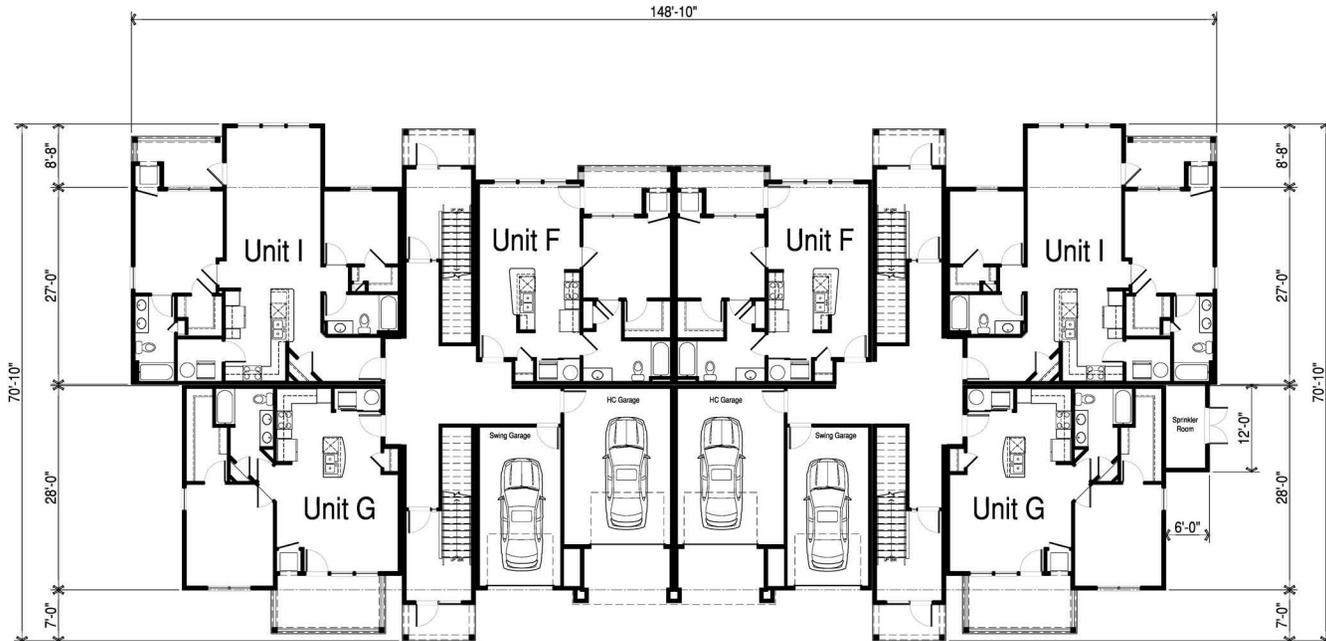
04-23-2012
© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)





Main Floor Plan

scale: 1/8" = 1'-0"



Building A2

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A2 3.0

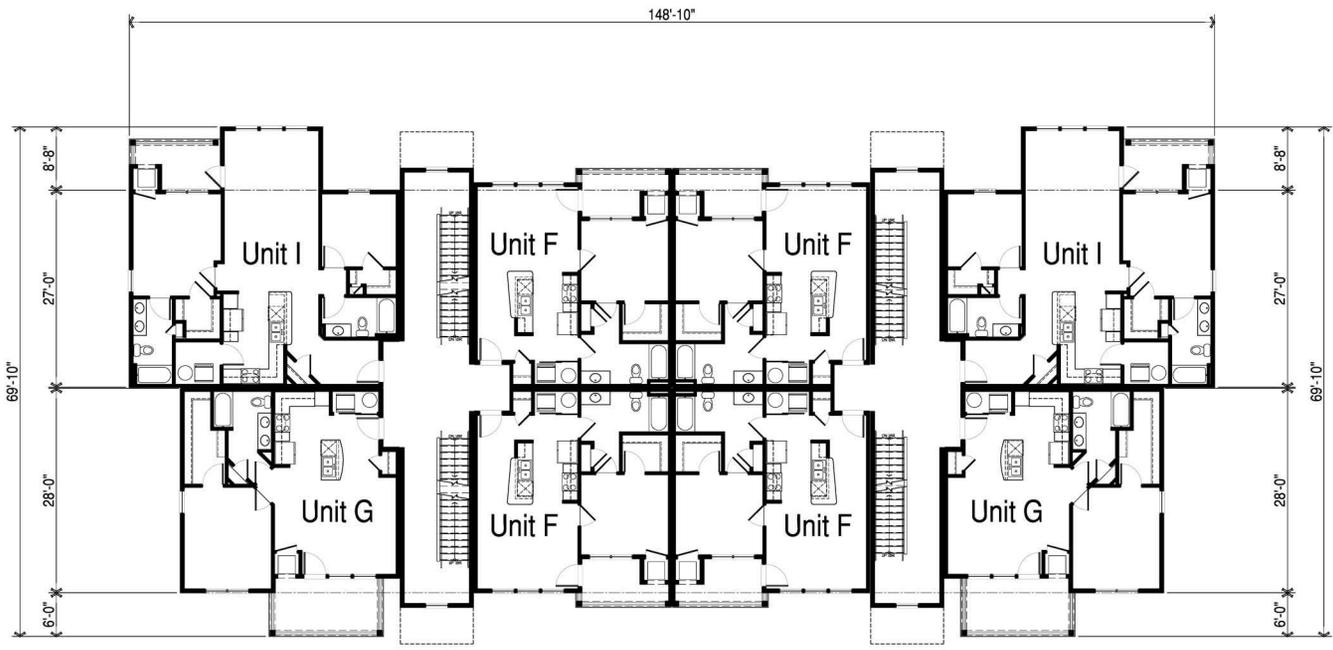
04-23-2012

© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



2nd Floor Plan

scale: 1/8" = 1'-0"



Building A2

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A2 4.0

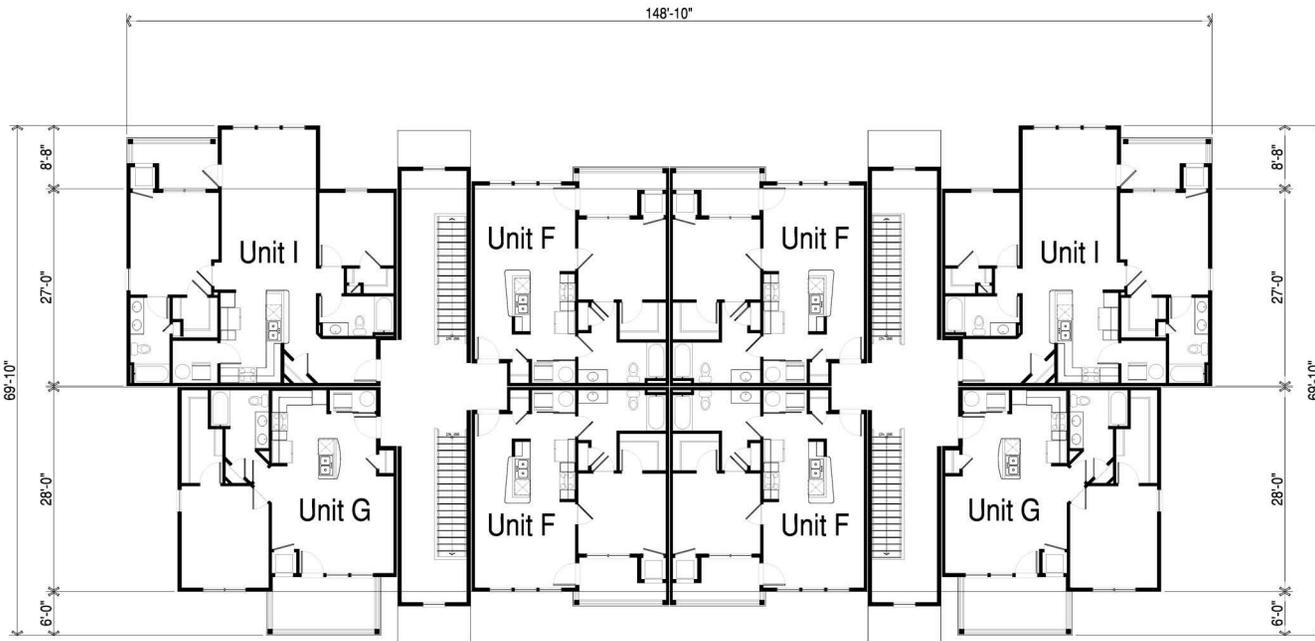
04-23-2012

© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



3rd Floor Plan

scale: 1/8" = 1'-0"

Building A2

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A2 5.0

bbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structure, and MEP design requirements, unit plan / floor plan changes, etc.)

04-23-2012

© 2012 BSB Design, Inc.





Minimum Building Masonry Percentage: 50%

Front Elevation

scale: 1/8" = 1'-0"



Rear Elevation

scale: 1/8" = 1'-0"

bsbdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Left Elevation

scale: 1/8" = 1'-0"



Right Elevation

scale: 1/8" = 1'-0"

Building A3

The Oaks at Naperville Crossings

Sheet A3 2.0
Naperville, Illinois

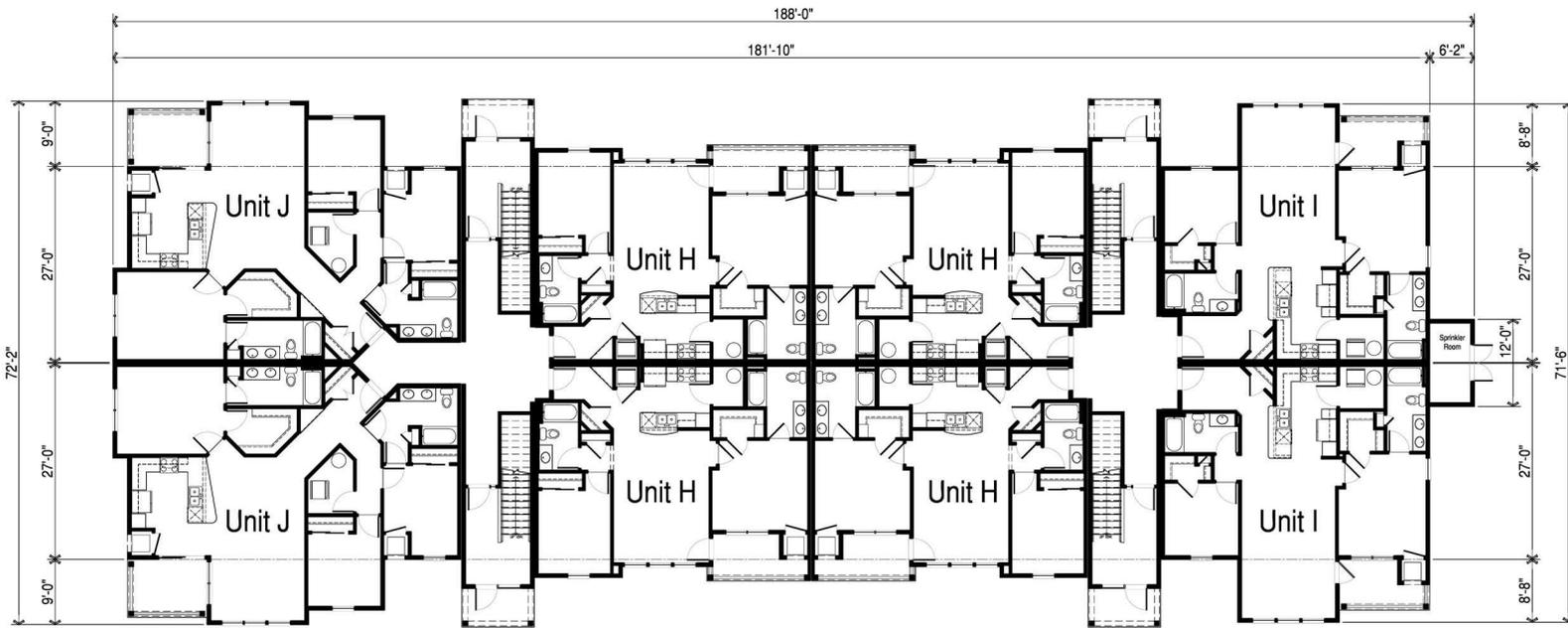
04-23-2012
© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)





Main Floor Plan

scale: 1/8" = 1'-0"



Building A3

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A3 3.0

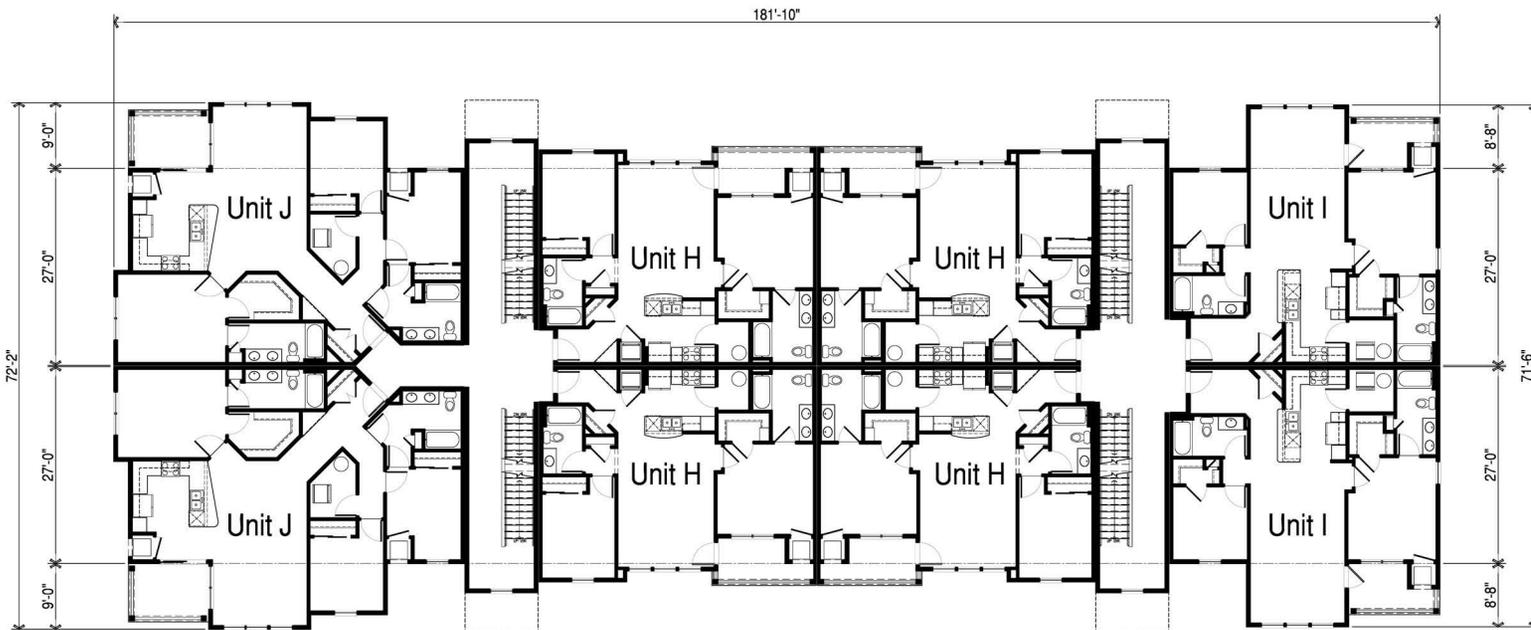
04-23-2012

© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



2nd Floor Plan

scale: 1/8" = 1'-0"



Building A3

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A3 4.0

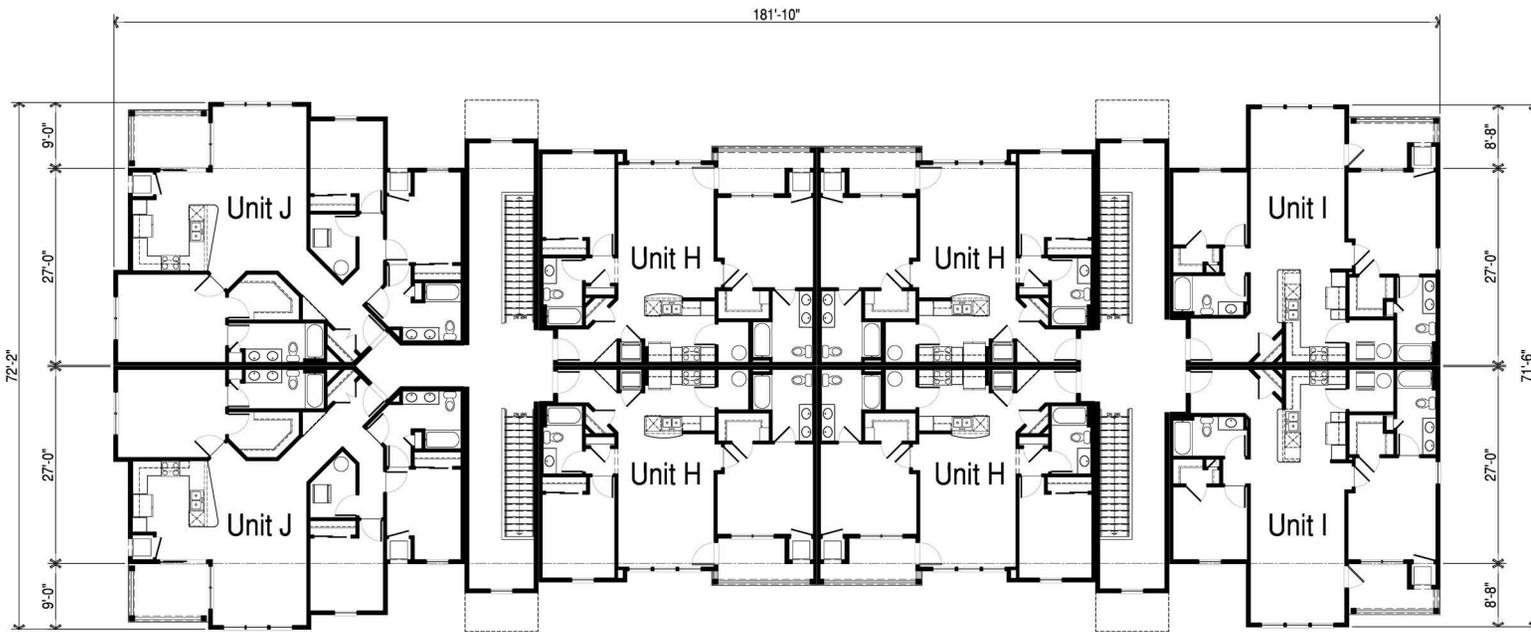
04-23-2012

© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



3rd Floor Plan

scale: 1/8" = 1'-0"



Building A3

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet A3 5.0

04-23-2012
© 2012 BSB Design, Inc.



bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Front Elevation

scale: 3/16" = 1'-0"

Minimum Building Masonry Percentage: 50%



Left Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

Minimum Building Masonry Percentage: 50%



Asphalt Shingles



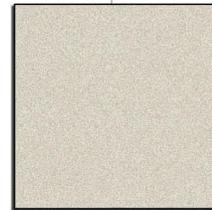
Cementitious Horizontal Siding



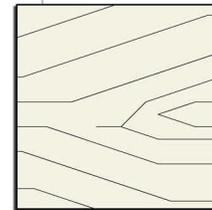
Cementitious Shake Siding



Stone Veneer



Cast Stone



Composite Trim



Sheet C 1.0a
The Oaks at Naperville Crossings
Naperville, Illinois

labbdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

04-23-2012
© 2012 BSB Design, Inc.



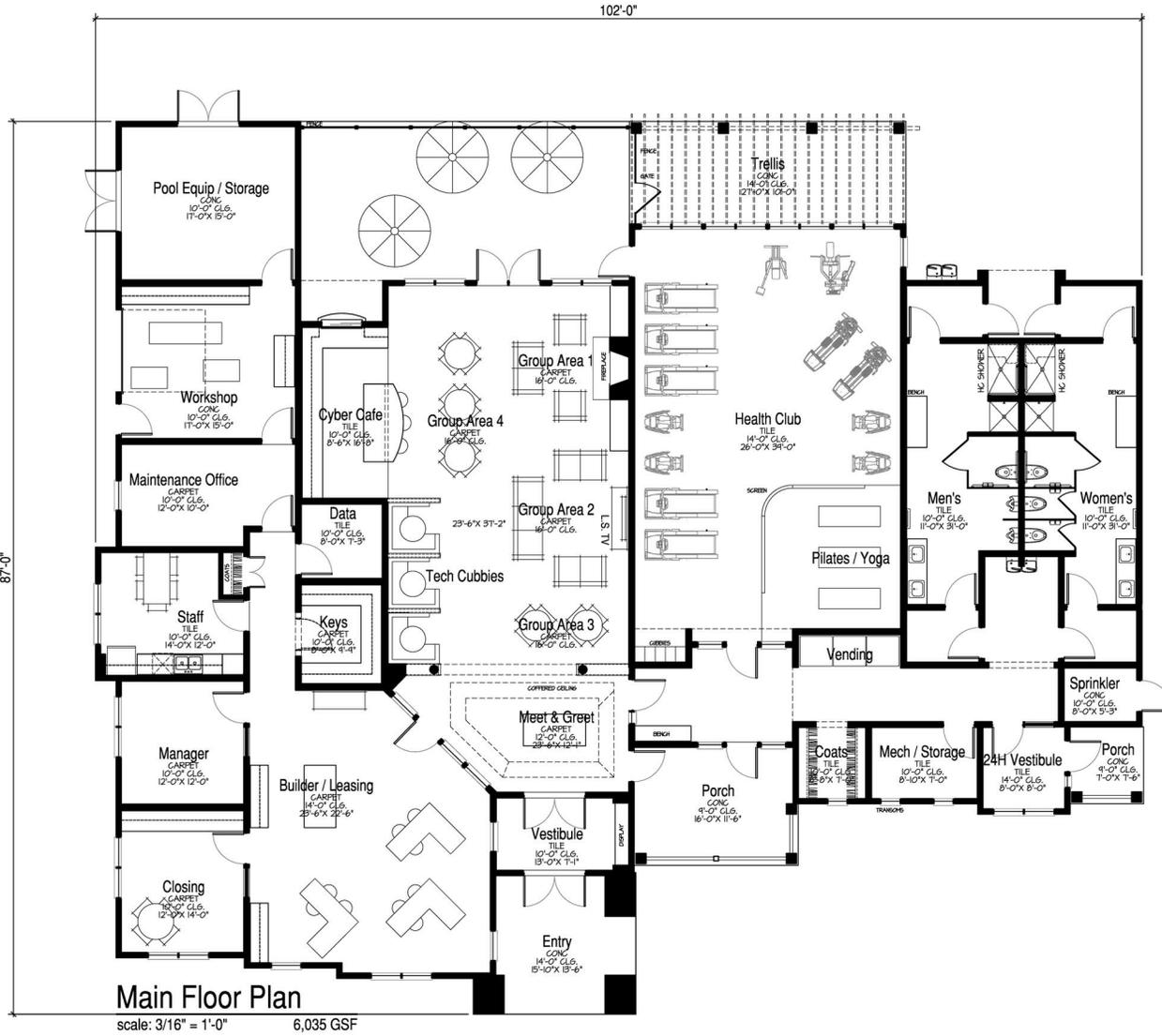


Rear Elevation
 scale: 3/16" = 1'-0"



Right Elevation
 scale: 3/16" = 1'-0"

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Community Clubhouse

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet C. 2.0



04-23-2012
© 2012 BSB Design, Inc.

babdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

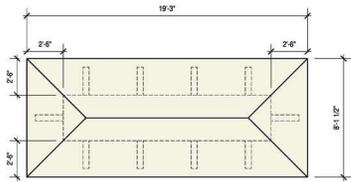


Front Elevation

scale: 1/4" = 1'-0"

Side Elevation

scale: 1/4" = 1'-0"



Plan View

scale: 1/4" = 1'-0"



Gazebo Elevation

scale: 1/4" = 1'-0"

Mail Box Kiosk/Gazebo

The Oaks at Naperville Crossings

Naperville, Illinois

Sheet S 1.0

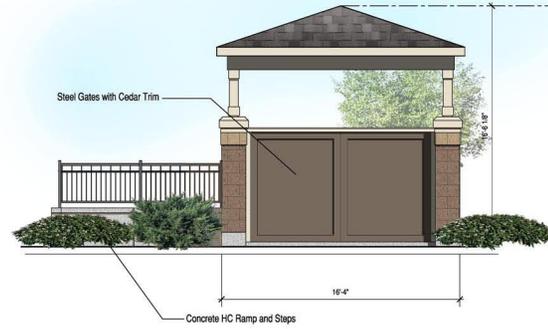
04-23-2012
© 2012 BSB Design, Inc.



bsbdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Front Elevation
scale: 1/4" = 1'-0"



Left Elevation
scale: 1/4" = 1'-0"



Rear Elevation
scale: 1/4" = 1'-0"



Right Elevation
scale: 1/4" = 1'-0"



babdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Front Elevation



Side Elevation



Rear Elevation

5 Bay Garage Elevations

Sheet S 3.0
The Oaks at Naperville Crossings
Naperville, Illinois

04-23-2012
© 2012 BSB Design, Inc.



ROSECROFT LANE

FAIRMONT AVENUE

Existing Detention

12
A-3

11
A-2

10
A-3

9
A-2

8
A-3

7
A-3

Building A-3
24 Units/ Building

Building A-2
22 Units/ Building
4 Garages/ Building

Building A-1
22 Units/ Building
6 Garages/ Building

Detention
H.W.L.=694.3
N.W.L.=688.3

Detention
H.W.L.=694.3
N.W.L.=688.3

Trash Compactor

Park

Detached Garages

2
A-1

3
A-1

6
A-3

1
A-2

4
A-2

5
A-3

Club

SHOWPLACE DRIVE

Gazebo

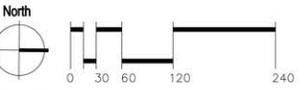
Monument Sign

Existing Retail

Existing Retail

Total Site Bedroom Count	Total # Units	Total Unit %
1 BR	80	26.8%
2 BR	182	61.1%
3 BR	36	12.1%
Total Units	298	100.0%
Site Area	24.91 Ac.	
Unit Density	3,641 SF/Unit	
Site Coverage	10.77 Ac (43.2%)	

	TOTAL
(A-1 Bldg.)	12
(A-2 Bldg.)	20
(A-3 Bldg.)	0
(Detached)	45
Total	77 (22:1 Ratio)
Subtotal	523
Subtotal Spaces	600 (2.00:1 Ratio)
Parking Spaces	32
Required Parking	632 (2.12:1 Ratio)
Minimum Parking	75 (60 Required)



LENNAR
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

SHEET LP 1.0

Conceptual Site Plan

The Oaks at Naperville Crossings

Naperville, Illinois

April 23, 2012
© 2012 BSB Design, Inc.



Robert E. Jeans
Director

Prudential Real Estate Investors
8 Campus Drive, 4th Floor, Parsippany NJ 07054
Tel 973 683-1735 Fax 973 734-1550
robert.jeans@prudential.com

February 9, 2012

The Honorable A. George Pradel, Mayor of Naperville and
Members of the Naperville City Council
City Council Office
400 S. Eagle Street
Naperville, Illinois 60540

***Re: Lennar Multifamily Investors, LLC's Petition for Entitlements
Related to Lots 14 & 15 in the Naperville Crossings Subdivision***

Dear Mayor Pradel and Members of the City Council:

It has recently come to my attention that Lennar is pursuing entitlements to construct an upscale apartment community consisting of 366 market rate apartments on Lots 14 and 15 in the Naperville Crossings Subdivision. I have reviewed the proposed site plan, architecture, and landscape plans and commend Lennar for proposing a quality residential product which will be a welcome addition to Naperville Crossings. As the Director of Prudential Real Estate Investors, which is the owner of the adjacent commercial properties located on Lots 2, 3, 5, and 6, I am exceedingly supportive of Lennar's proposal.

As I am sure you are aware, Naperville Crossings has had an active development history over the past seven years. Originally slated for a complimentary mix of commercial and residential development, Naperville Crossings has remained partially undeveloped and underperforming. A primary factor leading to the commercial vacancies is the fact that no residential development has occurred to support the existing retail. The introduction of the proposed residential component will certainly have a beneficial impact on the existing retail and potentially drive additional development on the vacant portions of Prudential's holdings. It is our belief that Lennar's proposed development and quality in site design and architecture will result in increased commercial activity and produce new revenue to the City of Naperville by enhancing both the City's property and retail sales tax base.

Sincerely,

A handwritten signature in blue ink, appearing to read "Robert Jeans", written over a white background.

Robert Jeans, Director
Prudential Real Estate Investors

Rosanova & Whitaker Ltd.
Attorneys at Law

23 W. Jefferson, Suite 200
Naperville, Illinois 60540

630-355-4600 office
630-352-3610 fax

www.rw-attorneys.com

March 13, 2012

Rick Trujillo, Project Manager
City of Naperville
400 South Eagle Street
Naperville, Illinois 60540

Re: *The Oaks at Naperville Crossings Development.*

Dear Mr. Trujillo,

The purpose of this letter is to summarize our development team's efforts to reach out to the surrounding property owners and other interested parties with regard to our proposed development, "The Oaks at Naperville Crossings" ("Development").

Over the past several months, our development team has met with White Eagle board member, Mike Riley on a few occasions to discuss the Development and have worked with the White Eagle Homeowners' Association which included our presentation of the Development at the White Eagle Homeowners' Association Annual meeting which was held on February 18, 2012. At the meeting, our entire team was involved with presenting and answering questions. Our attendance at the annual meeting provided us with the community's feedback, resulting in plan revisions for enhancement of the Development. Revised plans were subsequently provided to the Homeowners' Association for further review.

On March 9, 2012, our development team met with representative of the White Eagle Golf Course which led to Lennar's acceptance of an agreement to hold harmless the Golf Course for errant shots; for the Lennar to provide additional landscape treatments and buffering on Golf Course property; and for Lennar to maintain a strip of land owned by the Golf Course south of its property line at no charge to the Golf Course. In addition, I have met with the original developer of White Eagle, Paul Lehman for his insight and to obtain additional feedback.

We have also discussed the project with other property owners within the Naperville Crossings development. Prudential Investors, the most impacted commercial property owner in Naperville Crossings, has reviewed the plans and has sent a letter to the Mayor and Council supporting the Development. The existing movie theatre owner and tenant AMC Theatres are also aware of, and are in support of the Development. The owner and manager of Biaggi's Restaurant, have expressed their support and expectation that the Development will have a positive effect on their business as well as Naperville Crossings overall.

We have reached out to Tall Grass representatives, Doug Haddad, Jim Shehee, and Jim Frost with an offer to discuss the proposed Development and provide the development plans, and are waiting for a response.

We have also attended meetings with the Naperville Park District, School District #204 and each member of the City Council, prior to our submission of our plans to obtain feedback in order to properly address present and future concerns.

Should you have any recommendations to further our attempts to enhance community involvement in our proposed Development, we are all ears.

Very truly yours,

A handwritten signature in black ink, appearing to read "V. M. R." followed by a long horizontal flourish.

Vincent M. Rosanova



Naperville
Park District™

March 26, 2012

VIA E-MAIL

Mr. Rick Trujillo
Project Manger, TED
City of Naperville
400 S. Eagle Street
Naperville, IL 60566-7020

Re: **The Oaks at Naperville Crossings**
PC Case #12-1000016

Dear Rick,

The Park District reviewed the Preliminary Subdivision Plat and Preliminary PUD plat for The Oaks at Naperville Crossings and has no comments.

However, please make note the developer's attorney is working with the Park District's attorney to determine the validity of the developer's request for a cash donation reduction due to private amenities that would be provided on site. Following the discussion, the Park District will notify you of the updated amount required of the developer.

Feel free to contact me with any questions or if anything is needed further.

Thank you,

NAPERVILLE PARK DISTRICT

Aileen McEldowney
Planner

cc: Eric Shutes, Director of Planning
Derke Price, Legal Counsel

3307 Fairmont Ave.
Naperville, IL 60564

April 4, 2012

Naperville Planning and Zoning Commission
Council Chambers
400 S. Eagle Street
Naperville, IL

RE: Lennar's request rezoning of a section of Naperville Crossing

Naperville Planning and Zoning Commission:

Thank you for providing a forum to discuss our concerns.

We have lived in the Heatherstone subdivision at 3307 Fairmont Ave for 12 years. Therefore, we have been residents in our home before the construction of Naperville Crossing. We live behind the Showplace Theatre. We are here to request that you decline Lennar's rezoning request for Naperville Crossing for the following reasons.

1. Adding apartments with hundreds of residents would cause a significant safety issue for the community in the surrounding area. Since Naperville Crossing has been erected, we and our neighbors have contacted the Naperville police due to illegal and suspicious behavior countless times. Since the proposed apartments are being erected adjacent to the theatre and in area that is more remote, we believe that this will provide an ideal environment for greater illegal behavior.
2. The Naperville Crossing area is very congested now from traffic on Route 59 and 95th Street. The apartment residents will increase traffic, which includes school buses, resulting in yet more congestion. This negative travel experience can reduce the number of shoppers at the Naperville Crossing and be a cause of more traffic accidents.
3. Throughout the years, this area has not been maintained. We and our neighbors continue to contact the village regarding the lack maintenance including, excessive garbage, foul language and graffiti on the fence as well as the destruction of the fence. The fence referenced above delineates Naperville Crossing and the Heatherstone subdivision. With additional people living in apartments and additional traffic in this area, maintenance of the property and surrounding areas will be problematic.
4. We suggest rezoning this area as retail. Retail provides a more practical, cost effective use of the land. A big box retailer would attract significantly more shoppers to this area, enticing smaller retailers to the move into the unoccupied retail space in Naperville Crossing. The surrounding area could more easily be monitored by the police than a large apartment complex.

If, to our disappointment, the Naperville Planning and Zoning Commission approves Lennar's request rezoning of Naperville Crossing, we ask that you add provisions to ensure the area is attractively landscaped and maintained. We also ask that the path between the Heatherstone subdivision and Showplace be reconstructed as it dangerous to travel and extremely unsightly.

To illustrate these concerns, we have included photos of the area between Fairmont Avenue, behind the theatre as well the path between the theatre and Fairmont Ave. These photos were taken this past week on April 1, 2012. Some of the issues mentioned previously are illustrated by the photos as described below.

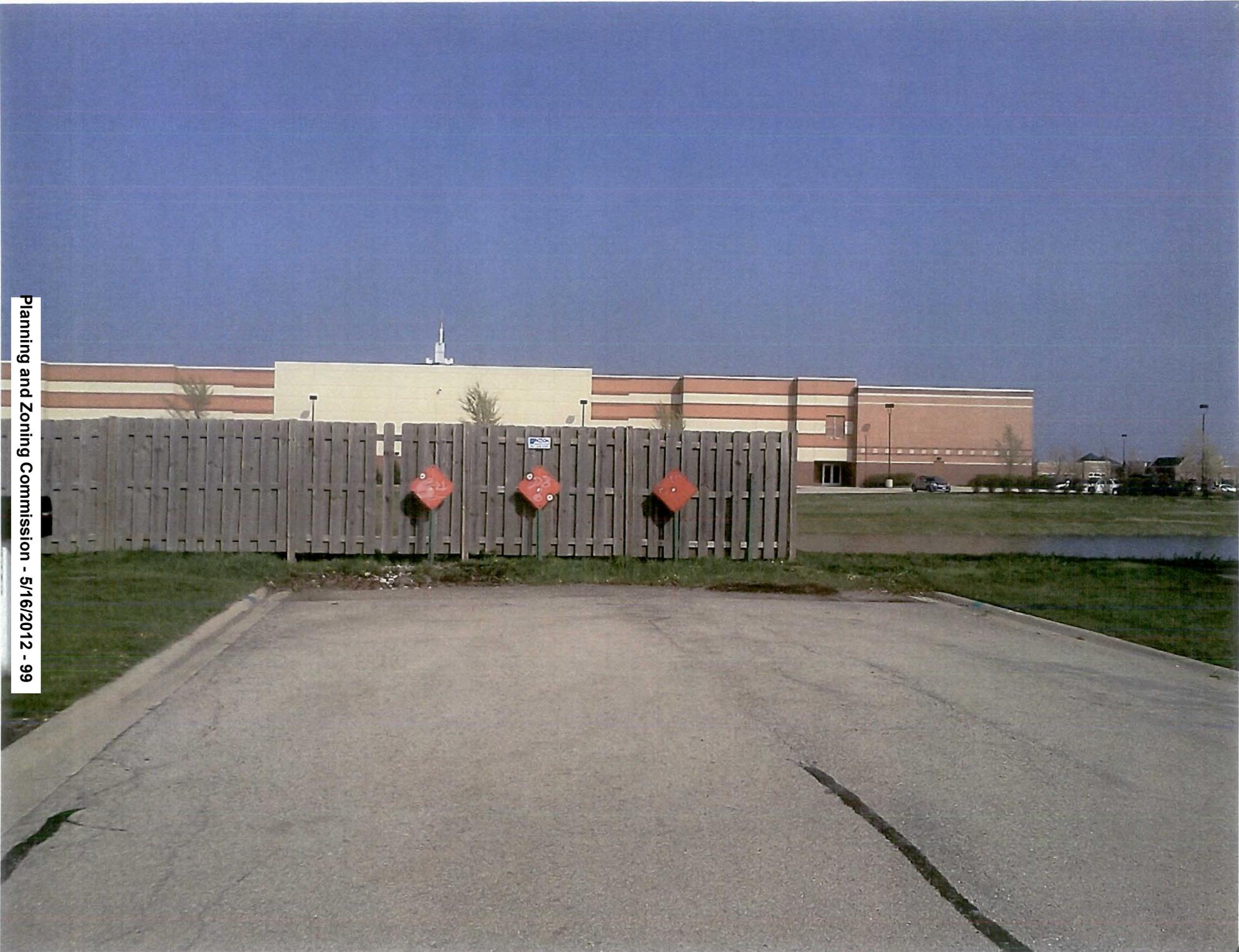
1. Graffiti painted on the red street signs on Fairmont Ave.
2. Graffiti and foul language painted on the fence.
3. An unsafe path between Fairmont Ave. and the theatre.
4. Garbage on the path.
5. Garbage in the retention pond, including a shopping cart.

Naperville is wonderful community to be a part of and we would like you to consider our request to decline Lennar's request rezoning of a section of the Naperville Crossing. We believe you are determining the future of the quality of life for all the residences in this area and the proposed apartments will have a significant negative impact. Thank you.

Sincerely,



Don Gulotta
Pat Gulotta
3307 Fairmont Ave.
Naperville, IL
630-904-7483
pgulotta@gmail.com









Planning and Zoning Commission - 5/16/2012 - 102







Planning and Zoning Commission - 5/16/2012 - 105



From:

Sent: Thursday, April 19, 2012 11:02 AM

To: Urban, Anastasia; Laff, Allison

Subject: The Oaks pushback

My name is Meg Phillips and I have been researching the zoning changes for The Oaks at Naperville Crossings. I was given your name in the hopes that you might be able to spread the word with your sub division regarding the next zoning meeting to be held on Weds May 16th. We are all planning on speaking to our extreme concern regarding this zoning change from senior living and condo's to a 366 unit apartment building. In recent days we have had numerous break ins, strange people driving through our neighborhoods etc. The general consensus from the people that have spoken with me about this is; they do not want their tax dollars spent on allowing people from the city to move to Naperville so that their children can go to Naperville schools on our tax dollars. Furthermore, they are concerned this will turn into more section 8 housing, more drug issues etc. I would appreciate it if you are in agreement, if you could pass the word for as many people as possible to attend the meeting on 5/16 at 7pm. I am hoping that as President of Tall Grass you will want to make a statement and oppose this zoning change. Please let me know. Thanks and regards, Meg Phillips -----Original Message----- From: Patty G [<mailto:pgustin239@msn.com>] Sent: Monday, April 16, 2012 12:52 PM To: Meg F. Phillips Subject: Contact Naperville Area Homeowner Confederation



Naperville

PLANNING AND ZONING COMMISSION AGENDA ITEM

PZC CASE: 12-1-037 **AGENDA DATE:** 5/16/2012
SUBJECT: Nascar Car Wash at Cantore Place
 Petitioner: 1093, LLC., 2121 Oneida Street, Suite 402, Joliet, IL 60435

LOCATION: Northwest corner of Cantore Road and Forgue Road, commonly known as Lot 5 in Cantore Place

Correspondence New Business Old Business Public Hearing

SYNOPSIS:

The petitioner requests approval of a conditional use for an automobile service station and car wash in the B2 (Community Shopping Center District), a major change to the Cantore Place Planned Unit Development (PUD), and Final PUD Plat in order to develop a car wash and lube facility, known as Nascar Carwash, on Lot 5 in Cantore Place.

PLANNING AND ZONING COMMISSION ACTION PREVIOUSLY TAKEN:

Date	Item No.	Action
N/A	N/A	N/A

ACTION REQUESTED/RECOMMENDED THIS MEETING:

Conduct the public hearing.

PREPARED BY: Ying Liu, AICP, Planning Services Team

EXISTING ZONING, LAND USE, AND LOCATION:

The subject property, known as Lot 5 in Cantore Place, is located at the northwest corner of Cantore Road and Forgue Road and consists of 1.23 acres. The property is zoned B2 and is part of the 26-acre Cantore Place PUD. The property is presently vacant.

The petitioner requests approval of a conditional use for an automobile service station and car wash in the B2 district, a major change to the Cantore Place PUD, and a final PUD plat in order to develop a car wash and lube facility (Nascar Car Wash) on the subject property. Ordinance 06-211 previously approved a similar request to allow a car wash and lube facility on the subject property. Subsequently, Ordinance 11-063 superseded Ordinance 06-211 and approved a major change to the PUD and a revised final PUD plat to allow development of a daycare facility on the property. The current request seeks to re-establish development details for a new car wash and lube facility on Lot 5.

RELATIONSHIP TO THE OFFICIAL PLAN OF THE CITY OF NAPERVILLE:

Nascar Car Wash at Cantore Place – PZC 12-1-037

May 16, 2012

Page 2 of 3

The 2002 Southwest Community Area Plan designates the future land use of this property for medium density residential use. The proposed use is inconsistent with the future land use designation, but it is consistent with the approved B2 zoning and PUD designation (2003).

PLANNING SERVICES TEAM REVIEW:

The petitioner proposes to construct a 5,488 square foot building, 14 parking spaces and 10 vacuum spaces on Lot 5 in Cantore Place. The building would include a car wash bay, a 510 square foot customer service area and a 1,292 square foot oil lube bay.

Parking

Based on the petitioner, customers visiting the car wash would drive their own vehicles through the car wash facilities including the automatic pay stations and car wash bay. No hand-drying or detailing services would be offered that would generate additional employee or customer parking associated with the car wash. Only customers visiting the oil lube services would need to park their vehicles on site. Therefore, staff applied the parking requirement for automobile service stations (i.e. 4.5 parking spaces per 1,000 square feet) to the oil service and customer service areas. As a result, a total of 8 parking spaces are required, which are met by the 14 parking stalls provided.

Final PUD Plat and Landscape Plan

The final PUD plat provides site layout details for the proposed Nascar Car Wash and is in full compliance with the setback requirements and drive-through standards set forth in Title 6, Zoning Regulations. The landscape plan proposes landscaping improvement for the site and is in full compliance with Section 5-10-3 (Landscaping and Screening) of the Municipal Code. Both the final PUD plat and the landscape plan are in harmony with the Southwest Community Area Commercial Design Guidelines and the provisions of Ordinance 03-166 approving Cantore Place PUD.

Building Elevations

The building will be primarily constructed of a brick façade. The design of the building is “four-sided” in nature, including the incorporation of roofline variation, stone knee wall, stone banding, prominent cornice and windows or brick pattern on all sides. The overall design, materials and colors of the proposed building are consistent with the intent of the PUD and approved commercial buildings in the development. Staff has reviewed the building elevations and finds that they are consistent with the Building Design Guidelines and the Southwest Community Area Design Guidelines as well as the architectural design considerations established through Ordinance 03-166 (see Attachment 7).

ACTION REQUESTED:

Conduct the public hearing.

ATTACHMENTS:

1. Nascar Car Wash at Cantore Place – Development Application – PZC 12-1-037
2. Nascar Car Wash at Cantore Place – Petition – PZC 12-1-037
3. Nascar Car Wash at Cantore Place – Legal Description – PZC 12-1-037
4. Nascar Car Wash at Cantore Place – Final PUD Plat – PZC 12-1-037

Nascar Car Wash at Cantore Place – PZC 12-1-037

May 16, 2012

Page 3 of 3

5. Nascar Car Wash at Cantore Place – Landscape Plan – PZC 12-1-037
6. Nascar Car Wash at Cantore Place – Building Elevations – PZC 12-1-037
7. Nascar Car Wash at Cantore Place – Architectural and landscape controls (Ordinance 03-166) – PZC 12-1-037

**CITY OF NAPERVILLE
TRANSPORTATION, ENGINEERING AND DEVELOPMENT
BUSINESS GROUP
APPLICATION FOR DEVELOPMENT APPROVAL**

DEVELOPMENT NAME:

Date of Submission: March 12, 2012

I. APPLICANT/PETITIONER:

Name: 1903, LLC

Address: 2121 Oneida Street, Suite 402, Joliet, Illinois 60435

Telephone Number: (630) 742-2851

Contact Person: Steve Timmer

Relationship of Applicant to Subject Property: Contract Purchaser/Developer

II. OWNER OF THE PROPERTY:

Name: Red Brick Developers, Ltd.

Address: 4 N 426 Knoll Creek Drive, St. Charles, Illinois 60175

III. ACTION REQUESTED:

- | | |
|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Conditional Use | <input type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Preliminary PUD Plat | <input checked="" type="checkbox"/> Final PUD Plat |
| <input type="checkbox"/> Major Change to a Conditional Use | <input type="checkbox"/> Minor Change to a Conditional Use |
| <input checked="" type="checkbox"/> Major Change to a Planned Unit Development | <input type="checkbox"/> Minor Change to a Planned Unit Development |
| <input type="checkbox"/> Preliminary Plat of Subdivision | <input type="checkbox"/> Final Plat of Subdivision |
| <input type="checkbox"/> Subdivision Waivers | <input type="checkbox"/> Zoning Variance |

IV. APPLICANT'S/PETITIONER'S STAFF:

Attorney: Dommermuth, Brestal, Cobine & West, Ltd. Telephone No.:630/355-5800
Address: 123 Water Street
Naperville, Illinois 60540

Fax Number: 630-355-5976 E-Mail: kcw@dbcw.com

Engineer: JCK Engineers and Builders Telephone No.: 815/530-7413

Address: 450 West First Street
Braidwood, Illinois 60408

Fax Number: E-Mail: jckengbldrs@yahoo.com

Architect: Buchar, Mitchell, Bajt Architects, Inc. Telephone No: 815/741-8229
Address: 722 Essington Road, Suite D
Joliet, Illinois 60435

Fax Number: 815/741-8709 E-Mail: tbajt@buchar.com

V. PROJECT DATA:

1. Location: 2783 Forgue Drive --
Northwest corner of Forgue Drive and Cantore Road
2. County: ___ DuPage x Will
3. General Description of the Site: Vacant
4. Existing Zoning on the Site: B2 PUD
5. Acreage of Site: 1.23 acres

6. Character of Surrounding Area:

	ZONING	JURISDICTION	EXISTING LAND USE	ADOPTED CITY PLAN
North	B2 PUD	City of Naperville	Commercial Shopping Center	Mixed Use Commercial/Retail/ Office
South	B2 PUD	City of Naperville	Commercial Shopping Center	Mixed Use Commercial/Retail/ Office
East	B2 PUD	City of Naperville	Commercial Shopping Center	Mixed Use Commercial/Retail/ Office
West	B2 PUD	City of Naperville	Commercial Shopping Center	Mixed Use Commercial/Retail/ Office

7. List Controlling Ordinances, Agreements and Plats:

- A. Ordinance 94-179 Authorizing execution of an Annexation Agreement for the Property
- B. Ordinance No. 94-180 Annexing the Property
- C. Ordinance No. 94-181 Zoning the Property
- D. Ordinance No. 03-165 Amending the Zoning Ordinance for Cantore Place
- E. Ordinance No. 03-166 Approving the Preliminary/Final Plat of Subdivision and Preliminary PUD Plat for Cantore Place
- F. Ordinance No. 06-211 Granting a Major Change to the Conditional Use for a Planned Unit Development, a Conditional Use for an Automotive Service Station and Car Wash and a Final Planned Unit Development Plat
- G. Ordinance No. 11-063 Approving a Major Change to the PUD and a Conditional Use for a Day Care Center

8. Is this property within the City limits?

Yes

No, requesting annexation

Under review by another governmental agency and requires review due to 1 ½ mile jurisdictional requirements

9. Permanent Parcel Number: 01-03-307-103-0000

10. For annexation petition, are there electors living on the property:

Yes

No

VI. PROPOSED DEVELOPMENT:

1. Type of Development:

Residential Commercial Office

Industrial Other:

2. Proposed Zoning: B2 PUD

3. Description of Proposal: The Applicant is requesting a Major Change to the Cantore Place PUD and for a Conditional Use so as to allow for an automobile service (quick lube) station and car wash on Lot 5 of Cantore Place PUD.

4. General Land Use Data:

	Resid.	Comm.	Office	Indst.	R.O.W.	Park	School	Private	Other	Total
No. of Acres		1.23 acres								1.23 acres
% of Total		100%								100 %

*Please explain:

5. Development Densities:

	Number of Units	Gross Acres	Gross Density	Modified Gross Acres	Modified Gross Density	Minimum Lot Size	Maximum Lot Size	Average Lot Size
Single-Family								
Townhouse								
Duplex								
Apartment								
Comm.	1	1.23 acres						
Office								
Industrial								

- Gross Acres = land designated for land use type including right-of-way
- Gross Density = number of units divided by gross acres
- Modified Gross Acres = residential acreage including internal right-of-way, detention facilities, school and park dedications and open space
- Modified Gross Density = number of units divided by modified gross acres

6. Community Facilities within the Development:

School Site: Not applicable

Open Space: Not applicable

- a. Park Site (to be conveyed to a governmental entity):
- b. Common Areas: (to be conveyed to a property owners association):
- c. Private Facility (to be conveyed to _____):

Total:

7. Description of any Non-Residential, Commercial or Industrial portion of the Development: Commercial Center

8. Description of Stormwater Management Facilities: Stormwater management will be located on Lot 12
9. Deviations from the Zoning Regulations: None
10. Deviations from the Subdivision Regulations: None
11. Deviations from the Landscaping Regulations: None

VII. SCHOOL AND PARK DONATION REQUIREMENTS:

1. Required School Donation: Not Applicable
Land:
Cash:
How Satisfied:
2. Required Park Donation: Not Applicable
Land:
Cash:
How Satisfied:

NASCAR CAR WASH

STATE OF ILLINOIS)
)
COUNTIES OF DUPAGE & WILL)
)
CITY OF NAPERVILLE)

PETITION TO GRANT A MAJOR CHANGE TO THE PLANNED
UNIT DEVELOPMENT AND A CONDITIONAL USE FOR LOT 5
OF CANTORE PLACE PLANNED UNIT DEVELOPMENT

The undersigned Petitioner, 1903, LLC, being the contract purchaser of the real property legally described in **Exhibit A** and depicted on **Exhibit B**, which exhibits being attached hereto and made a part hereof (hereinafter referred to as the "Subject Property") respectfully petitions the City of Naperville to grant (a) a Major Change to the Cantore Place Planned Unit Development for the Subject Property pursuant to Section 6-4-6 of the Zoning Regulations of the Naperville Municipal Code, (b) a Conditional Use for an automobile service (quick lube) station and car wash pursuant to Section 6-7B-3 of the Zoning Regulations of the Naperville Municipal Code, and (c) any requisite zoning and/or subdivision deviations and/or variances associated with the requested Major Change to the Planned Unit Development and Conditional Use.

In support of this Petition, the Petitioner represents to the City of Naperville as follows:

1. That the Petitioner, 1903, LLC, 2121 Oneida Street, Suite 402, Joliet, Illinois 60435, is the contract purchaser and developer of the Subject Property.
2. That the owner of the Subject Property is Red Brick Developers, Ltd., 4 N 426 Knoll Creek Drive, St. Charles, Illinois 60175.
3. That the Subject Property consists of approximately 1.23 acres and is located at the northwest corner of Forgue Drive and Cantore Road, and is within the corporate boundaries

of the City of Naperville.

4. That the Subject Property is zoned B2 (Community Shopping Center District) with a Conditional Use for a Planned Unit Development pursuant to City of Naperville Ordinance Nos. 94-181 and 03-165.

5. That the Subject Property is vacant.

6. That the existing land uses surrounding the Subject Property are as follows:

North: Commercial Shopping Center

South: Commercial Shopping Center

East: Commercial Shopping Center

West: Commercial Shopping Center.

7. That the Petitioner proposes to construct an automobile service (quick lube) station and car wash on the Subject Property as depicted on the Site Plan which is attached hereto as **Exhibit B**.

8. That the Petitioner requests that the Subject Property be granted a Major Change to the Planned Unit Development as designated in Naperville Ordinance Nos. 94-181 and 03-165.

9. That the requested Major Change to the Planned Unit Development would allow for the development of the Subject Property as described above.

10. That granting the requested Major Change to the Cantore Place Planned Unit Development is appropriate, pursuant to Section 6-4-7 of the Zoning Ordinance, based on the following factors:

a. The design of the planned unit development presents an innovative and creative approach to the development of land and living environments.

The proposed development of the Subject Property maintains the overall character of the Cantore Place Planned Unit Development and will comply with its design guidelines.

- b. *The planned unit development meets the requirements and standards of the planned unit development regulations.*

The proposed Major Change to the Planned Unit Development meets the requirements and standards of the planned unit development regulations.

- c. *The physical design of the planned unit development efficiently utilizes the land and adequately provides for transportation and public facilities while preserving the natural features of the site.*

The proposed change to the Planned Unit Development will not affect the previously approved physical design of the overall development.

- d. *Open space, common open space and recreational facilities are provided.*

The amount and type of open space is not being reduced by the Major Change to the Planned Unit Development.

- e. *The modifications in design standards from the subdivision control regulations and the waivers in bulk regulations from the zoning regulations fulfill the intent of those regulations.*

The Petitioner is not seeking additional subdivision or zoning modifications.

- f. *The planned unit development is compatible with the adjacent properties and nearby land uses.*

The Subject Property is part of a commercial development which is located within the Route 59 commercial corridor. This area has a variety of commercial uses which serve the entire Naperville/Aurora area. The proposed automobile service (quick lube) station and car wash is consistent with the existing and proposed uses along Route 59.

- g. *The planned unit development fulfills the objectives of the comprehensive plan and planning policies of the city.*

The Southwest Area Community Plan recommends that the Subject Property be developed with commercial uses and in accordance with design guidelines. The Cantore Place Planned Unit Development incorporated design guidelines to which this proposed use will adhere. Furthermore, the proposed use is consistent with Southwest Area Community Plan and therefore the proposed modification fulfills the objective of the City's Comprehensive Plan.

11. That granting the requested Conditional Use for an automobile service (quick lube) station and car wash is appropriate, pursuant to Section 6-3-8 of the Zoning Ordinance, based on the following factors:

- a. *The establishment, maintenance or operation of the conditional use will not be detrimental to, or endanger the public health, safety and general welfare.*

The Subject Property is part of the Cantore Place Planned Unit Development which is a commercial development located along the Route 59 commercial corridor. This proposed use is consistent with and compatible with surrounding land uses. Because conditions will be placed on the Subject Property through the planned unit development, the development of the Subject Property will not be detrimental to nor endanger the public health, safety and general welfare.

- b. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate area for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The proposed Conditional Use for an automobile service (quick lube) station and car wash is consistent with and compatible with surrounding commercial land uses. This development will provide goods and services to the public and will promote customer use of the entire commercial center. The quick lube station/car wash will not negatively impact Cantore Place nor will it have a negative effect on the use and enjoyment of the development as a whole. This proposed development will not be injurious to the use and enjoyment of other commercial properties in the area nor will it diminish or impair property values within the neighborhood.

- c. *The establishment of the conditional use will not impede the normal and orderly development and improvement of the adjacent property for uses permitted in the district.*

The Subject Property is surrounded by properties which are already developed or which have development proposals which have already been approved by the City as part of the Cantore Place Planned Unit Development. Because of the conditions placed on a planned unit development, this Conditional Use will not impede the normal and orderly improvement of adjacent properties.

WHEREFORE, the Petitioner respectfully requests:

1. That a Major Change to the Planned Unit Development for the Subject Property, legally described in **Exhibit A**, be granted pursuant to Section 6-4-6 of the Zoning Regulations of the Naperville Municipal Code.

151758/1

2. That a Conditional Use for the Subject Property for an automobile service (quick lube) station and car wash, as depicted on **Exhibit B**, be granted pursuant to Section 6-7B-3 of the Zoning Regulations of the Naperville Municipal Code.

3. That any requisite zoning and/or subdivision deviations and/or variances associated with the requested Major Change to the Planned Unit Development and Conditional Use be granted.

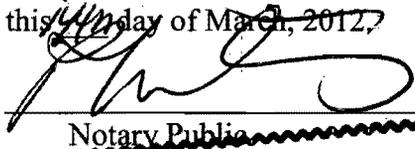
4. That such other action be taken as is appropriate in the premises.

RESPECTFULLY SUBMITTED this 14th day of March, 2012.

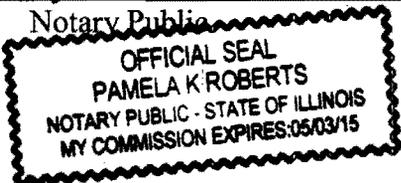
PETITIONER:
GB&S CAR WASH PROPERTIES, LLC

By: Kathleen C. West
Dommermuth, Brestal, Cobine and West, Ltd.,
Its Attorney

SUBSCRIBED and SWORN to before me
this 14th day of March, 2012,



Notary Public

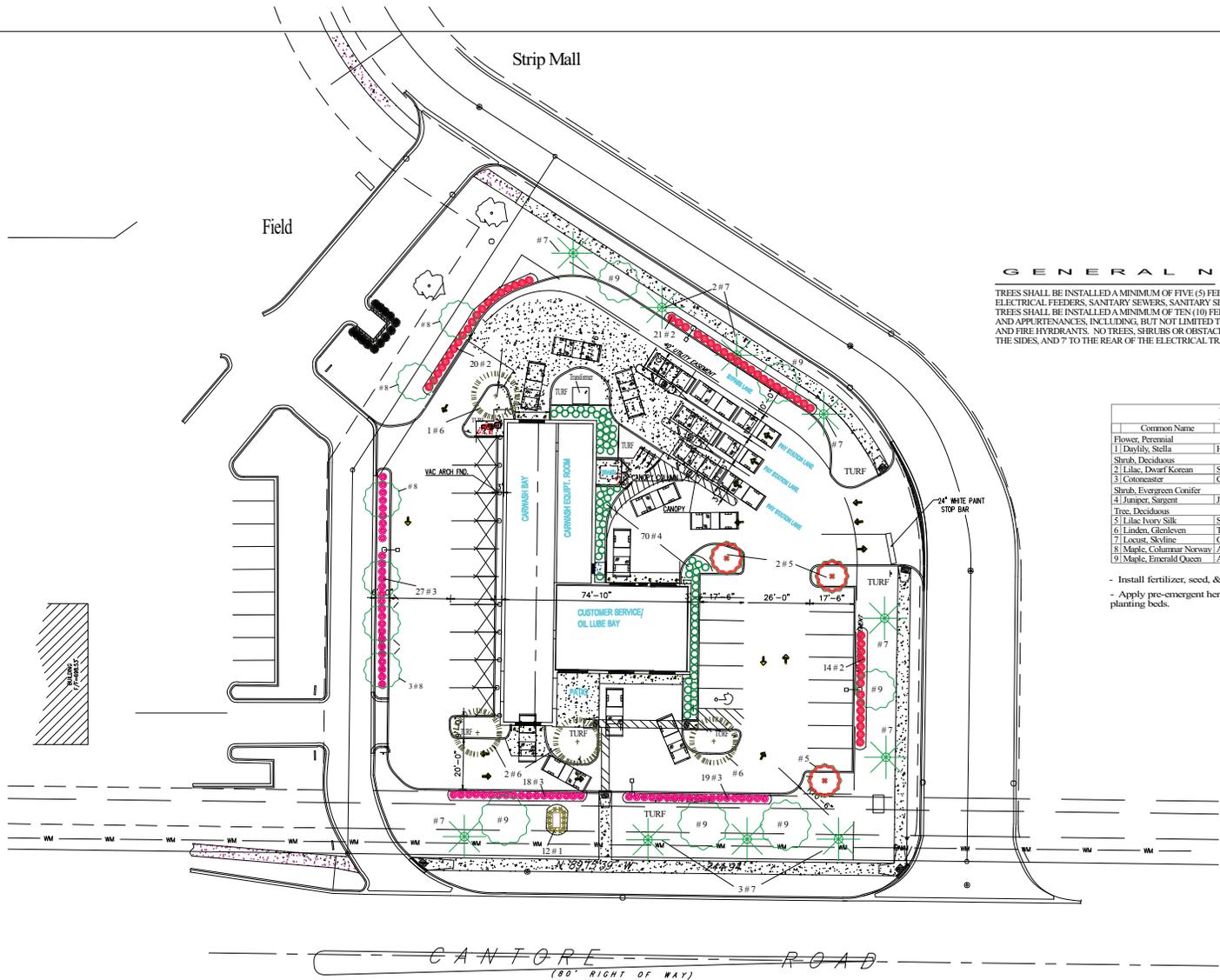


Prepared by:
Kathleen C. West
Dommermuth, Brestal, Cobine and West, Ltd.
123 Water Street
Post Office Box 565
Naperville, Illinois 60566-0565

LEGAL DESCRIPTION

LOT 5 IN CANTORE PLACE BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED ON DECEMBER 17, 2004 AS DOCUMENT NO. R04-227291 IN WILL COUNTY, ILLINOIS.

Permanent Tax Index Number: 01-03-307-130-0000




NORTH
 SCALE: 1" = 20'

GENERAL NOTES

TREES SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS. NO TREES, SHRUBS OR OBSTACLES WILL BE ALLOWED 10' IN FRONT OF, 5' ON THE SIDES, AND 7' TO THE REAR OF THE ELECTRICAL TRANSFORMER.

Legend			
Common Name	Botanical Name	Size	Qty
Flower, Perennial			
1 Davilly, Stella	Hemerocallis hybrid	1 Gal.	12
Shrub, Deciduous			
2 Lilac, Dwarf Korean	Syringa patula Korean	24"	55
3 Cotoneaster	Cotoneaster apiculatus	24"	64
Shrub, Evergreen Conifer			
4 Juniper, Sargent	Juniperus chinensis var. sargent	3 Gal.	70
Tree, Deciduous			
5 Lilac, Ivory Silk	Syringa reticulata 'Ivory Silk'	2 1/2"	3
6 Linden, Glenleven	Tilia cordata 'Glenleven'	2 1/2"	4
7 Locust, Skyline	Gleditsia triacanthos 'Skyline'	2 1/2"	10
8 Maple, Columnar Norway	Acer platanoides 'Fastigata'	2 1/2"	6
9 Maple, Emerald Queen	Acer platanoides 'Emerald Queen'	2 1/2"	6

- Install fertilizer, seed, & excelsior blanket over all lawn areas.
- Apply pre-emergent herbicide & install hardwood mulch into all planting beds.

PAT'S LANDSCAPING <small>69 3237TH PLACE STEGER, ILLINOIS 60475</small>	NASCAR CARWASH <small>NEX OF CANTORE STREET & IL RT 59 NAPERVILLE, ILLINOIS 60564</small>	LANDSCAPE PLAN	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2" style="text-align: center;">REVISIONS</th> </tr> <tr> <td style="font-size: 8px;">DRAWN BY : MJC</td> <td style="font-size: 8px;">DATE : APRIL 18, 2012</td> </tr> <tr> <td style="font-size: 8px;">DATE : MARCH 18, 2012</td> <td style="font-size: 8px;">DATE : MAY 08, 2012</td> </tr> <tr> <td style="font-size: 8px;">SCALE : AS SHOWN</td> <td style="font-size: 8px;">PROJECT # : 11-10000037</td> </tr> </table>	REVISIONS		DRAWN BY : MJC	DATE : APRIL 18, 2012	DATE : MARCH 18, 2012	DATE : MAY 08, 2012	SCALE : AS SHOWN	PROJECT # : 11-10000037
REVISIONS											
DRAWN BY : MJC	DATE : APRIL 18, 2012										
DATE : MARCH 18, 2012	DATE : MAY 08, 2012										
SCALE : AS SHOWN	PROJECT # : 11-10000037										
			L - 1								



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



NASCAR CAR WASH

Cantore Place Lot 5
Naperville, Illinois

Buchar | Mitchell | Bajt
Architects, Inc.

722 Essington Road, Suite D
Joliet, Illinois 60435

815/741-8229
Fax 815/741-8709

Participating Consultants:

Project Name:
CONSTRUCTION DOCUMENTS

NASCAR CAR WASH

FOR
STEVE TIMMER
CANTORE PLACE LOT 5
NAPERVILLE, ILLINOIS

Architect's Certification:

STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and seal to the best of my knowledge and belief to the extent of contractual obligation, they are in compliance with the Environmental Services Act (410 ILCS 25) and the Illinois Accessibility Code (71 ILCS Code 405).

Firm #: 184-09031
Expires: 04/26/2013
License: 01-02129
Expires: 11/30/2012

The following drawings have been prepared under my direct supervision:

Drawing Title:
BUILDING ELEVATIONS
CANOPY ELEVATIONS
TRASH ENCLOSURE DETAIL

Issue/ Revision:
No. Date Description

No.	Date	Description
01	04/20/2012	NAPERVILLE REVIEW

Project No.: 210667-3 Date: 03-10-2012
Drawn By: TB Checked By: TB

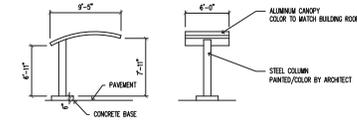
A5-1

© 2012 BUCHAR, MITCHELL, BAJT ARCHITECTS, INC.

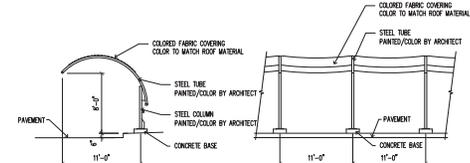
COLOR LEGEND/CONSISTENT WITH DEVELOPMENT REQUIREMENTS

- BRICK VENER COLOR/MEDIUM ROSEPOPT #77 NORMAN TYPE SMOOTH
- STONE BAND NATURAL GREY
- PREFINISHED ROOF PANEL COLOR/ARCADIA GREEN
- PREFINISHED METAL FLASHING COLOR/ARCADIA GREEN
- PREFINISHED GUTTER AND DOWNSPOUT COLOR/ARCADIA GREEN
- ANODIZED ALUMINUM FRAMES COLOR/CLEAR ANODIZED

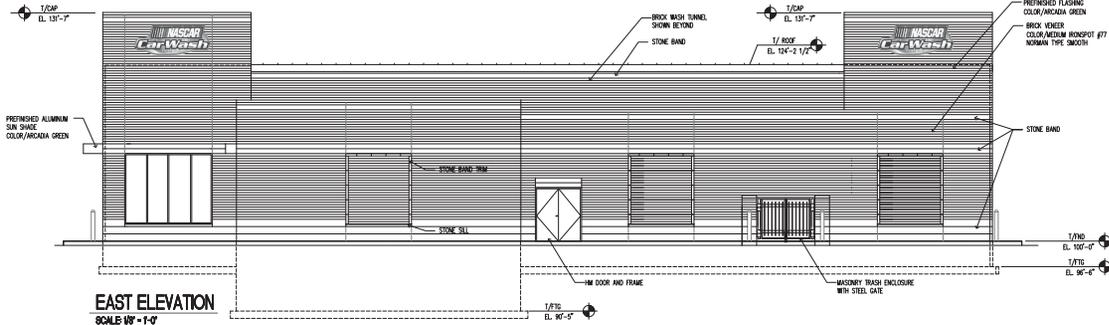
NOTE: ANY ROOFTOP MECHANICAL EQUIPMENT INCLUDING ALL PIPES AND VENTS SHALL BE SCREENED TO THE FULL HEIGHT OF THE UNITS IN THE FORM OF A PARAVENT WALL.



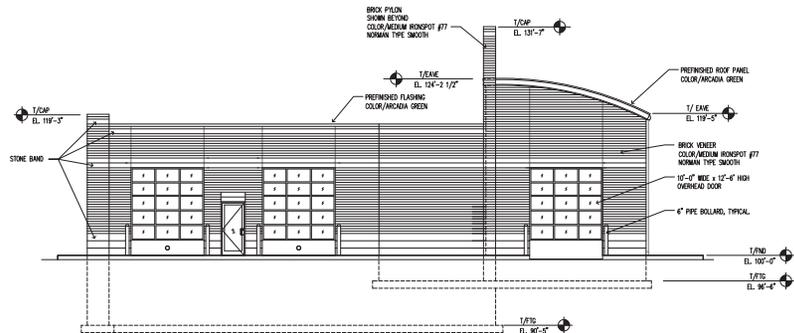
PAY STATION CANOPY
SCALE 1/4" = 1'-0"



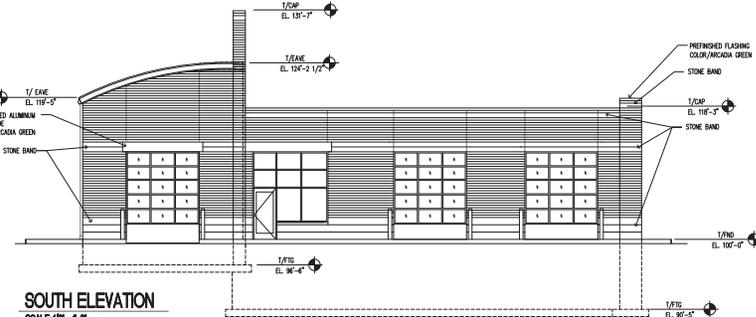
VACUUM CANOPY
SCALE 1/4" = 1'-0"



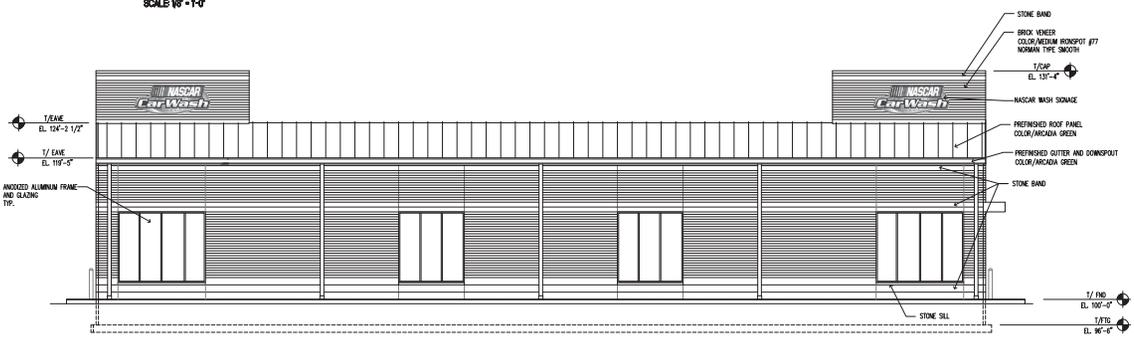
EAST ELEVATION
SCALE 1/4" = 1'-0"



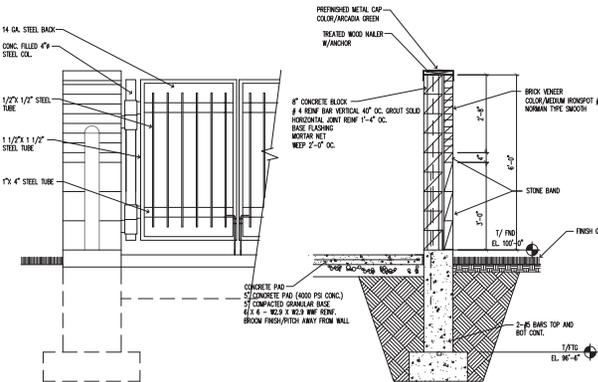
NORTH ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"



TRASH ENCLOSURE GATE/WALL
SCALE 1/2" = 1'-0"

Norwood-O'Hare Realty Group, Inc.

200 W. Devon Avenue, Suite 6
Bensenville, Illinois 60106
(630) 694-1000
Fax (630) 694-1002

12004-227292

September 24, 2002

Naperville Plan Commission
City Of Naperville
P.O. Box 3020
Naperville, IL 60566

RE. Architectural And Landscape Controls
26.25 Acres
NEC Route 59 And Cantore Drive
Naperville, Illinois

Dear Members of the Plan Commission:

On behalf of the owner of the above referenced location, Mr. Joseph Cantore and Timberwood Development Inc., the following guidelines are being submitted for your review regarding the proposed architectural and landscape controls for the development. The 26.25 acre parcel will be subdivided into twelve individual lots ranging in size from 1.02 to 7 12 acres as depicted on the attached sketch. As each lot is developed, site plan approval will be obtained from the City of Naperville. The intent of development for this project is to continue the look and atmosphere that currently exists at the development which preceded this project, namely the Jewel Food Store and LaSalle Bank located immediately south of the subject site. Current ownership of the subject site played an integral role in the sale and development of the Jewel/LaSalle site.

Within the 26.25 acre development a 2.67 acre stormwater management facility will be constructed for the benefit of all lots. This stormwater management facility will be engineered and designed not only as a needed flood control element. The area is engineered to serve as an outdoor area for the occupants and visitors to the development. Pedestrian and/or bicycle traffic will benefit from the interconnected series of pathways traversing through the development and the proposed gazebo near the stormwater area. The development of each lot will be encouraged to enhance the connectivity to the pathways.

Architectural controls governing the colors of the buildings, style of architecture, type and color of masonry, roof material and style, and related architectural features will be required for all development of the lots. Each individual development will be required to utilize a combination of dark amber face brick and block, tan and white masonry or stucco accents on the facades, and shingled accents to present an architectural feature that does not scream "commercial building with flat tar roof."

EXHIBIT "D"

R2004-227292

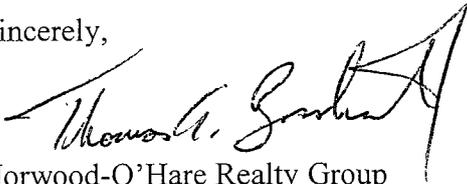
Naperville Plan Commission
September 24, 2002
Page Two

Lots #1 through #11 will be commercial structures built consistent with the style and standards needed for each commercial user. In Addition, lots #5 through #11 will have the structures designed to present more than one orientation. Timberwood Development Inc , as well as any possible future owners of any of the lots, will incorporate similar materials and design to present an aesthetically unified scheme for the exterior colors, finishes, and architectural style in keeping with the overall Jewel/LaSalle development.

Landscaping standards established by the Landscape Plan will remain consistent with each lot and along the entire length of any perimeter property line. Each commercial building will be required to meet the intent of this requirement as a condition of site plan approval.

Should you have any further questions or concerns, please advise.

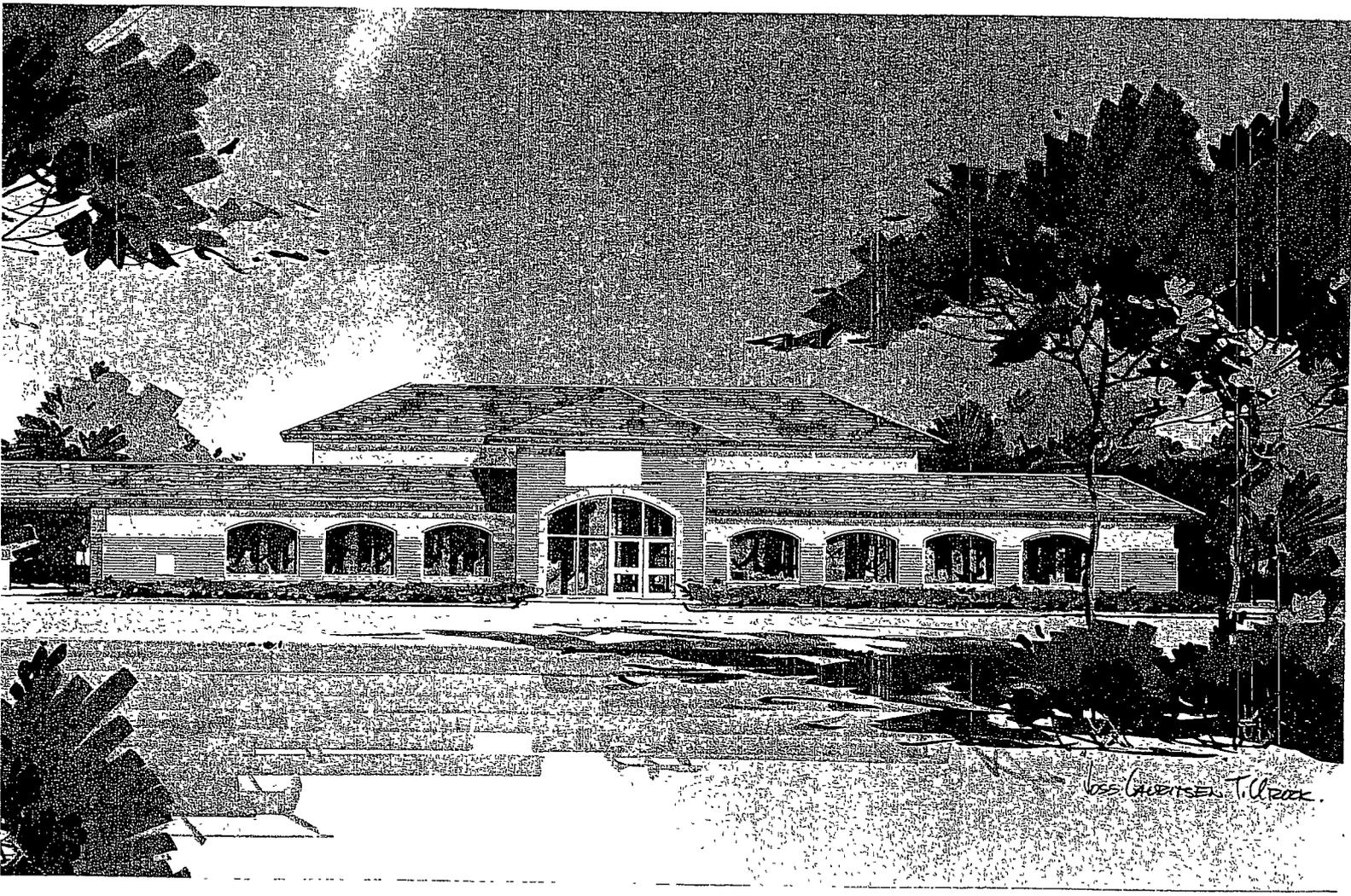
Sincerely,



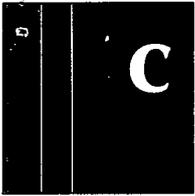
Norwood-O'Hare Realty Group
Thomas A. Bosshart
Vice President

C: Ms. Kathy West
Mr. Joseph Cantore

R2004-227292



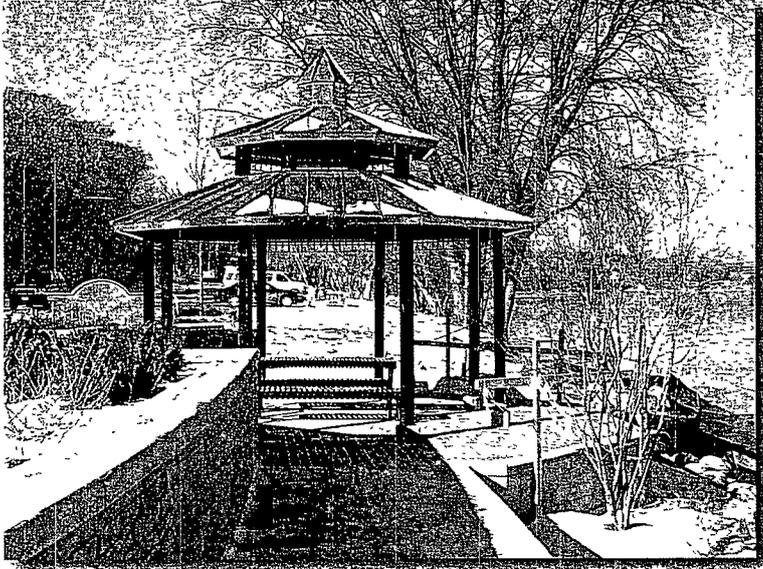
SMITH & STEPHENS ARCHITECTS, INC.
17W601 14TH STREET, OAKBROOK TERRACE, ILLINOIS



cantore place

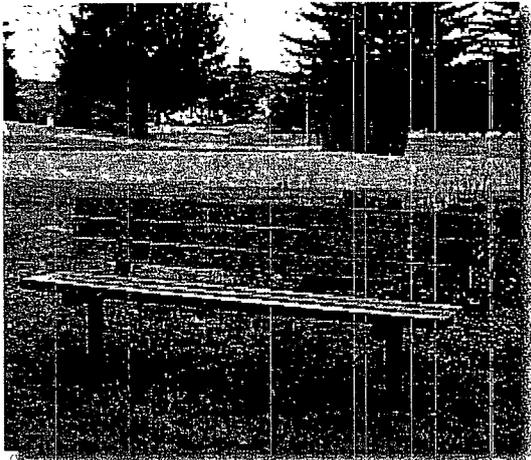
site furnishings

R2004-227292



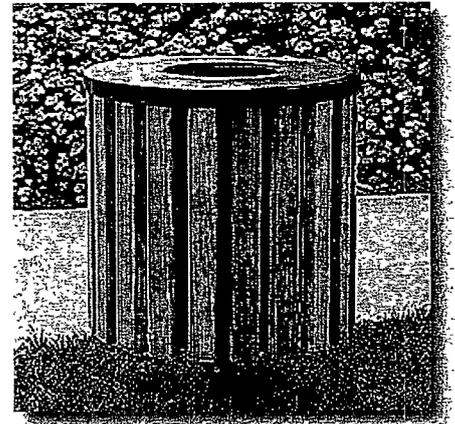
Gazebo

Poligon Park Architecture
GOC16
Columns: 16'-0" (4.9 m)
Roof: 19'-0" (5.8 m)
Area: 255 SF (23.7 sm)
Color - Black



Bench

DuMor Site Furnishings
Bench 79
79-60D 6' Long
Douglas Fir



Trash Receptacle

DuMor Site Furnishings
Receptacle 41
41-22D-22 Gal.
Douglas Fir

prepared for
Cantore
Construction

prepared by

Hitchcock
Design Group
Creating Better Places™

in association with:
CEMCON, Ltd.

September 24,
2 0 0 2
01.0544.001
0 1 . 0 4
Copyright © 2002
All drawings should be
considered as preliminary
and subject to change



Naperville

PLANNING AND ZONING COMMISSION AGENDA ITEM

PC CASE: 12-1-057 **AGENDA DATE:** 5/16/2012
SUBJECT: Northwest Water Tower – Rezoning to I (Industrial), a Preliminary/Final Plat of Subdivision; a conditional use for a Public Assembly Use in accordance with the provisions of Section 6-2-29 of the Municipal Code; and related variances.
Petitioner: City of Naperville Department of Public Utilities, Water and Wastewater

LOCATION: 2820 W. Diehl Road

Correspondence New Business Old Business Public Hearing

SYNOPSIS:

The petitioner requests rezoning to I (Industrial) upon annexation; a preliminary/final plat of subdivision; a conditional use for a Public Assembly Use in accordance with the provisions of Section 6-2-29 of the Municipal Code; a variance to Section 6-8C-7 (Yard Requirements) to reduce the required setback along Diehl Road; and a variance to Section 6-8C-5 (Area Requirements) to reduce the minimum area in the I district to allow for the annexation of an existing water tower located at 2820 W. Diehl Road into the City of Naperville’s corporate limits.

ACTION REQUESTED/RECOMMENDED THIS MEETING:

Conduct the public hearing.

PREPARED BY: Allison Laff, AICP, Planning Team Operations Manager

EXISTING ZONING, LAND USE, AND LOCATION:

The subject property includes 0.344 acres located on the south side of Diehl Road, east of the EJ&E Railroad, with an address of 2820 W. Diehl Road. The subject property is currently zoned I-2 (General Industrial) in DuPage County. The site is currently improved with a City of Naperville 300,000 gallon elevated water storage tank used to supply potable water to the community.

RELATIONSHIP TO OFFICIAL PLAN OF THE CITY OF NAPERVILLE:

The Northwest Sector Plan designates the future land use of the subject property as “Manufacturing/Transportation”. The proposed I (Industrial) zoning of the subject property is consistent with this future land use designation.

Northwest Water Tower (PZC 12-1-057)

May 16, 2012

Page 2 of 2

PLANNING SERVICES TEAM REVIEW:

Rezoning & Subdivision

The petitioner is seeking rezoning to I (Industrial) upon annexation. The property is contiguous to the City of Naperville on the north side of Diehl Road and is therefore eligible for annexation. The requested I zoning is consistent with the recommended future land use of the subject property, as well as existing City zoning in the area.

The proposed Preliminary/Final Subdivision Plat for the Northwest Water Tower will establish the subject property as a legal lot of record. The petitioner will be dedicating 30.40' – 32' of right-of-way along the northern property line for Diehl Road. The resulting lot will be 11,881 square feet in size and will comply with the minimum lot width requirements in the I district.

Conditional Use

The petitioner is seeking approval of a conditional use in accordance with Section 6-2-29 (Public Assembly Uses) to allow for a civic building/use at the subject property. Public Assembly Uses are defined as noncommercial uses which are operated on a not for profit basis. Section 6-2-29 is intended to create greater opportunities for the location of public assembly uses in appropriate locations. Given the necessary utility function provided by the water tower, staff is supportive of the requested conditional use for a public assembly use at the subject property.

Variances

Per Section 6-8C-5 (Area Requirements), the minimum area of any I zoned lot is ½ acre (21,780 square feet). After dedication of additional right-of-way for Diehl Road, the subject property will be 11,181 square feet in size. Accordingly, a variance to reduce the minimum I lot size is required. Staff supports the requested variance given the property's existing configuration and use.

A variance to Section 6-8C-7 (Yard Requirements) is additionally required to reduce the required 20' setback along Diehl Road. Upon dedication of an additional 30.40' – 32' of right-of-way along the northern property line for Diehl Road, the base of the water tower will be setback 18.79' from Diehl Road (the elevated portion of the tank (bowl) will be 6.94' from Diehl Road). Staff supports the requested variance given that the setback reduction is a direct result of the Diehl Road dedication. Upon approval of the setback reduction, the tower will remain in the same place as it sits today.

ATTACHMENTS:

1. Northwest Water Tower – Application – PZC 12-1-057
2. Northwest Water Tower – Preliminary/Final Subdivision Plat – PZC 12-1-057
3. Northwest Water Tower – Setback Details – PZC 12-1-057

**CITY OF NAPERVILLE
T.E.D. BUSINESS GROUP
PETITION FOR DEVELOPMENT APPROVAL**

Development Name (should be consistent with plat): Northwest Water Tower

Development Address: 2820 W. Diehl Road

P.I.N. Number (s): 07-05-405-007

Date of Submission: March 27, 2012

I. APPLICANT:

James E. Holzapfel, P.E., Director, Water and Wastewater Utilities, City of Naperville

Name

Corporation

400 S. Eagle Street

Street

Naperville,

City

IL

State

60540

Zip Code

603-305-5320

Telephone Number

James E. Holzapfel, P.E.,

Primary Contact Person

Director

Relationship to Applicant

603-305-5320

Telephone Number

630-420-6744

Fax Number

Holzapfelj@naperville.il.us

E-Mail Address

II. OWNER OF THE PROPERTY:

City of Naperville, Department of Public Utilities, Water and Wastewater

Name

400 S Eagle Street, Naperville, IL 60540

Address

630-305-5320

Telephone Number

III. APPLICANT'S/PETITIONER'S STAFF:

Attorney: Margo Ely, City Attorney

Telephone Number: 630-420-4171

Email Address: Elym@naperville.il.us

Fax Number: _____

Address: 400 S Eagle Street, Naperville, IL 60540

630-305-5320

Engineer: Roake and Associates, Inc

Telephone Number: 630-355-3232

If public notice is required, the petitioner shall be required to submit a signed affidavit to the Project Manager assigned to the case at least seven (7) days prior to the scheduled public hearing date attesting that all applicable public notification requirements have been satisfied.

IV. ACTION REQUESTED (Check applicable boxes and complete corresponding Exhibits):

- | | |
|---|---|
| <input checked="" type="checkbox"/> Annexation (see Section V below) | <input type="checkbox"/> Subdivision Waiver / Deviation to Platted Setback Line
(Complete Exhibit 4) |
| <input type="checkbox"/> Rezoning from _____ To _____
(Complete Exhibit 1) | <input type="checkbox"/> Zoning Variance
(Complete Exhibit 5) |
| <input type="checkbox"/> Preliminary PUD Plat
(Complete Exhibit 2) | <input type="checkbox"/> Final PUD Plat
(Complete Exhibit 2) |
| <input type="checkbox"/> Major Change to a Planned Unit Development
(Complete Exhibit 2) | <input type="checkbox"/> Minor Change to a Planned Unit Development
(Complete Exhibit 2) |
| <input type="checkbox"/> Preliminary Plat of Subdivision | <input type="checkbox"/> PUD Deviation (Zoning or Subdivision) |
| <input checked="" type="checkbox"/> Conditional Use
(Complete Exhibit 3) | <input checked="" type="checkbox"/> Final Plat of Subdivision |
| <input type="checkbox"/> Minor Change to a Conditional Use
(Complete Exhibit 3) | <input type="checkbox"/> Major Change to a Conditional Use
(Complete Exhibit 3) |
| <input type="checkbox"/> Site Plan Review | <input type="checkbox"/> Landscape Variance
(Complete Exhibit 6) |
| <input type="checkbox"/> Sign Variance
(Complete Exhibit 5) | <input type="checkbox"/> Plat of Easement / Vacation / Dedication
(circle all that apply) |

V. ANNEXATION

Is this development within the City limits?

- Yes.
 Under review by another governmental agency and requires review due to 1.5 mile jurisdictional requirements.
- No, *requesting annexation*
 Are there electors living on the property:
 Yes No
 If yes, did they sign the Petition for Annexation? Yes No

VI. SITE DATA

- General description of site conditions (Including existing site improvements, i.e., buildings, parking, landscaping, etc.)

The property is currently used in the supply of potable water to the community. Existing structures consist of a 300,000 gallon elevated water storage tank (hydropillar)

2. Existing Utility Services (water, sewer, electricity): No water or sewer service (Water Utility only to operate the elevated water storage tank, ComEd Electric.
 3. Existing zoning on the site: I-2 General Industrial
 4. Acreage & Square Footage of the site: 0.344 Acres, 15,000 Square Feet
 6. List Controlling Ordinances and agreements (zoning, annexation ordinances, SIA, site plans, preliminary/final PUD plats, etc.):
-
-

VII. PROPOSED DEVELOPMENT:

1. Type of Development (check all that apply):

XXXX Residential _____ Commercial _____ Office
_____ Industrial _____ Other: _____

2. Proposed Zoning: Residential with Conditional Use for Municipal Utilities

Description of Proposal: (Including proposed land use, type of use, hours of operation, number of parking spaces, and all Exhibits mandated by the request (see Page 2, Section IV for Exhibit information)– attach additional pages if necessary):

Unmanned elevated steel water storage tank. The storage tank is monitored through remote radio/internet communications. Staff will visit the site daily (averaging 1 to 2 vehicles per day).

3. Description of Building (Including number of buildings, square footage of each building and use, maximum height, façade materials):

Elevated, water storage tank (300,000 gallons), 31 feet in diameter, 133 feet in height. The waterspheriod style tank was initially constructed by Chicago Bridge and Iron in 1974.

4. Describe all requested Variances / Deviations from the underlying zoning regulations (i.e. parking, setbacks, density, height/bulk etc.) **NOTE:** Complete this section as well as **Exhibit 5** – attach additional pages if necessary:

Due to right of way dedications the upper and lower elements of the tank are now located within the building setback line.

5. Describe all requested waivers from the Subdivision Regulations: (i.e. R.O.W., widths, easements, etc.) **NOTE:** Complete this section as well as **Exhibit 4** – attach additional pages if necessary:

Right of way dedication requirements, school and park land/cash requirements; and landscaping requirements

6. Deviations from the Landscaping Regulations **NOTE:** Complete this section as well as **Exhibit 6** – attach additional pages if necessary:

7. General Land Use Data:

	Residntl.	Comrcl.	Office	Indst.	R.O.W.	Park	School	Private	Other*	Total
No. of Acres										
% of Total										

*Please explain:

8. Development Densities:

	Number of Units	Gross Acres	Gross Density	Modified Gross Acres	Modified Gross Density	Building square footage	Minimum Lot Size	Maximum Lot Size	Average Lot Size
Single-Family						NA			
Twohome						NA			
Duplex						NA			
Apartment						NA			
Comrcl.			NA	NA	NA				
Office			NA	NA	NA				
Industrial			NA	NA	NA				

Gross Acres = land designated for land use type including right-of-way
 Gross Density = number of units divided by gross acres
 Modified Gross Acres = residential acreage including internal right-of-way, detention facilities,

Modified Gross Density = $\frac{\text{school/park dedications and open space areas.}}{\text{number of units divided by modified gross acres.}}$

VIII. SCHOOL AND PARK DONATION REQUIREMENTS (calculation tables must be attached):

1. Required School Donation of _____ acres will be met by a _____

2. Required Park Donation of _____ acres will be met by a _____

IX. PRIVATE FACILITIES

1. Private open space and recreational facilities include:

Which will be maintained by: XXXX The City of Naperville
 _____ Homeowners Association
 _____ Other (_____)

2. Outlots and/or detention/retention facilities include (size, number and location)

Which will be maintained by: XXX The City of Naperville
 _____ Homeowners Association
 _____ Other (_____)

3. Detention, retention, open space/recreation and school uses within the development:

	Private -- Homeowners Association (acres)*	Public --To be Dedicated (acres)	Other (acres)*	Total (acres)
Open Space*				
a. Park Site				
b. Common Areas*				
c. Private Facility*				
Sub-total				
School Site				
Total				

*Please Explain:

Note: Please provide a brief explanation of the type of private facility, common area, open space or other acreage included in the development (Private facilities would include facilities such as clubhouses or private swim clubs. Other could include detention/facilities or outlots for landscape buffers, subdivision identification signage or similar purposes.)

Respectfully Submitted,

[Enter Name of Petitioner(s) or Authorized Agent]

By: _____

*James E. Holzappel, P.E., Director,
Water and Wastewater Utilities
City of Naperville*

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
CITY OF NAPERVILLE)

The foregoing petition was acknowledged before me by [Type in Name of Notary] on the _____ day of _____, 200__ A.D.

By: _____

Pamela LaFeber, City Clerk

LLC PETITIONERS

LLC petitioners are required to produce the articles of organization that are on file with the Illinois Secretary of State's Office. If an LLC is manager-managed, this petitioner may be executed by the manager identified within the articles of organization. If an LLC is member-managed, this petition must be executed by each member of the LLC

EFFECTIVE PERIOD OF APPLICATION

Please note that applications for development approval are only valid for a period of two years from the date of application submission and that all cases will be closed by the City without further notice to the applicant after the two year period has expired.

EXHIBIT 1

Standards for Granting a Map Amendment (Rezoning) Section 6-3-7:2

(Please use a separate sheet of paper to respond to the criteria listed below)

The commission shall not recommend nor shall the city council grant an amendment to alter the zoning district boundary lines unless it shall make findings based upon the evidence presented to it in each specific case that:

1. The amendment promotes the public health, safety, comfort, convenience and general welfare and complies with the policies and official land use plan and other official plans of the city; and
2. The trend of development in the area of the subject property is consistent with the requested amendment; and
3. The requested zoning classification permits uses which are more suitable than the uses permitted under the existing zoning classification; and
4. The property cannot yield a reasonable return if permitted to be used only under the conditions allowed under the existing zoning classification; and
5. The subject property has not been utilized under the existing zoning classification for a substantial period of time; and
6. The amendment, if granted, will not alter the essential character of the neighborhood and will not be a substantial detriment to adjacent property.

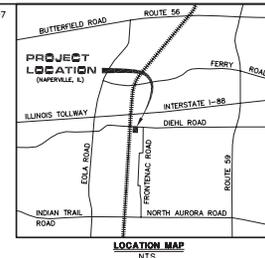
EXHIBIT 1

PRELIMINARY/FINAL PLAT OF SUBDIVISION OF NORTHWEST WATER TOWER

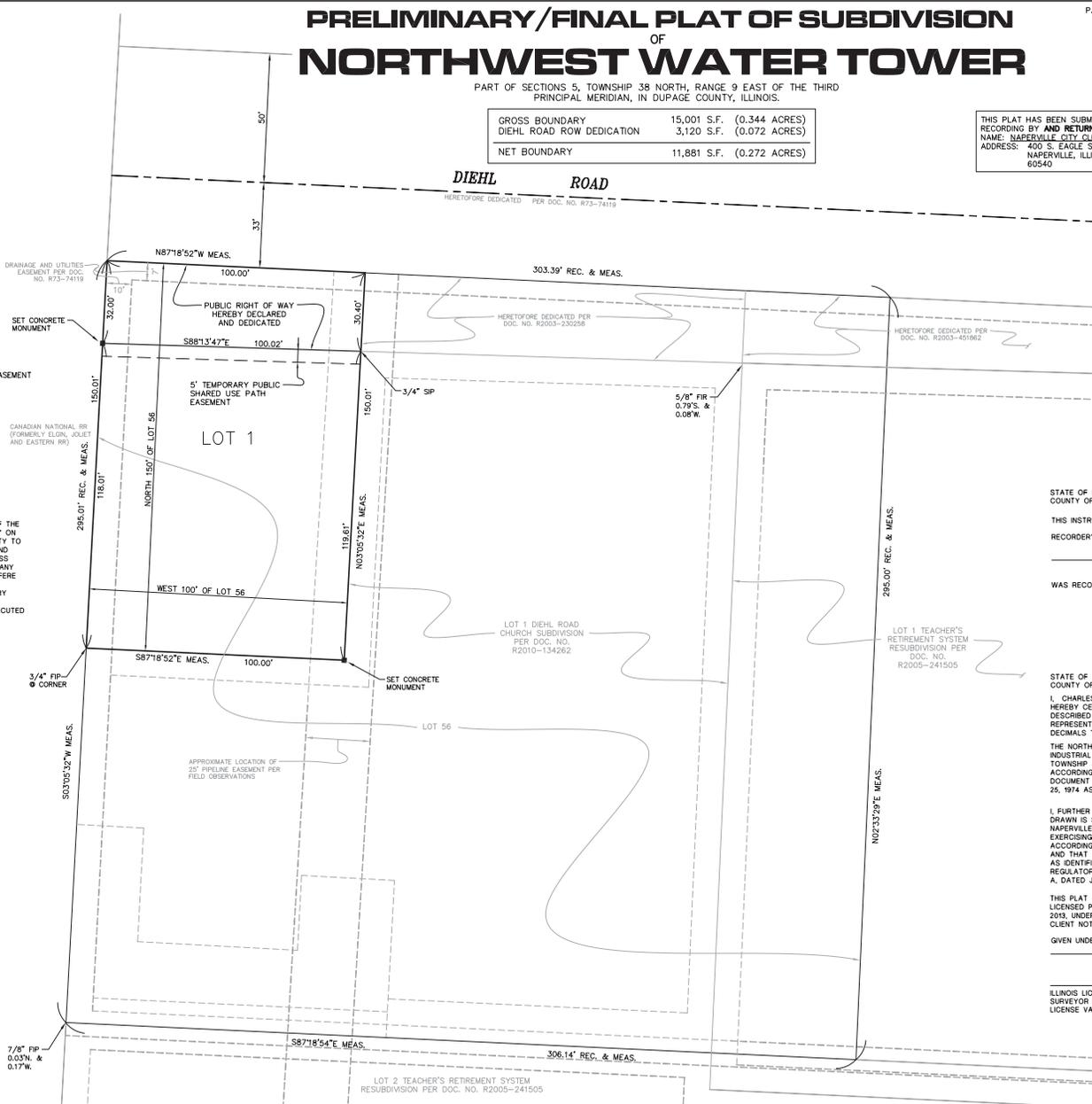
PART OF SECTIONS 5, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD
PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

GROSS BOUNDARY	15,001 S.F. (0.344 ACRES)
DIEHL ROAD ROW DEDICATION	3,120 S.F. (0.072 ACRES)
NET BOUNDARY	11,881 S.F. (0.272 ACRES)

THIS PLAT HAS BEEN SUBMITTED FOR
RECORDING BY AND RETURN TO:
NAME: NAPERVILLE CITY CLERK
ADDRESS: 400 S. EAGLE STREET
NAPERVILLE, ILLINOIS
60540



P.I.N. 07-05-405-007



LEGEND

- SUBDIVISION BOUNDARY
- EXISTING LOT LINE
- CENTER LINE
- EASEMENT LINE
- PUBLIC UTILITIES & DRAINAGE EASEMENT
- REC. MEAS.
- MEAS.
- FOUND IRON PIPE
- FIP
- FOUND IRON ROD
- FIR
- SET IRON PIPE
- SIP

PUBLIC SHARED PATH EASEMENT PROVISIONS

A TEMPORARY PUBLIC SHARED USE PATH EASEMENT IS HEREBY DECLARED BY, RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ILLINOIS, ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "TEMPORARY PUBLIC SHARED USE PATH EASEMENT" ON THIS PLAT FOR THE TEMPORARY RIGHT, PRIVILEGE AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE A PUBLIC SHARED USE PATH FOR PUBLIC ACCESS, INGRESS AND EGRESS. THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SHARED USE PATH. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS. THE TEMPORARY PUBLIC SHARED USE PATH EASEMENT, INCLUDING ALL RIGHTS AND PRIVILEGES OF SHALL EXPIRE TWENTY YEARS (20) FROM THE EXECUTED DATE OF THIS DOCUMENT.

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)
THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE
RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE _____ DAY OF
_____, A.D. 20____ AT _____ O'CLOCK _____ AND
WAS RECORDED IN BOOK _____ OF PLATS ON PAGE _____

RECORDER OF DEEDS

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)
I, CHARLES A. HULSE, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR,
HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING
DESCRIBED PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT
REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND
DECIMALS THEREOF.
THE NORTH 150 FEET OF THE WEST 100 FEET OF LOT 56 IN COUNTRY LAKES
INDUSTRIAL PARK UNIT ONE, A SUBDIVISION IN SECTIONS 4, 5, 8, 9 AND 17,
TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN,
ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 5, 1973 AS
DOCUMENT R73-7449 AND CERTIFICATE OF CORRECTION RECORDED
FEBRUARY 25, 1974 AS DOCUMENT R74-0852, IN DUPAGE COUNTY, ILLINOIS.
I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON
DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF
NAPERVILLE, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS
EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS
ACCORDING TO 65 ICS 5/11-12-8, AS HERETOFORE AND HEREAFTER AMENDED
AND THAT SAID SUBDIVISION IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA
AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON
REGULATORY FLOOD MAP DUPAGE COUNTY, ILLINOIS, MAP NUMBER 17043C036
A, DATED JULY 7, 2010.
THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS
LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30,
2013, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE
CLIENT NOTED HEREON.
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF
_____, A.D. 20____



ROAKE AND ASSOCIATES, INC.
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS
1084 QUINCY AVENUE, SUITE 100A - NAPERVILLE, ILLINOIS 60540
TEL (630) 366-9232 • FAX (630) 366-3287



PREPARED FOR:
CITY OF NAPERVILLE
DEPARTMENT OF PUBLIC UTILITIES
400 SOUTH EAGLE STREET
NAPERVILLE, ILLINOIS 60540
TEL (630) 420-6131
FAX (630) 420-6744

NO.		DATE		DESCRIPTION	
1	06/14/11	REVISED PER CITY REVIEW	(5/27/2011)		

CITY PROJECT NO. # 11-10000000

NORTHWEST WATER TOWER

PRELIMINARY/FINAL PLAT OF SUBDIVISION

DRN./CKD. BY: MAJ/CAH	FILE: 35461PS	F.L.D. BK./PG.: 235/49	SHEET NO. 1 OF 2
SCALE: 1"=20'	DATE: 04/11/11	JOB NO.: 354.061	

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) SS

THE CITY OF NAPERVILLE, DU PAGE AND WILL COUNTIES, ILLINOIS, A MUNICIPAL CORPORATION OF THE STATE OF ILLINOIS, HEREBY CERTIFIES THAT IT IS THE OWNER OF THE LAND DESCRIBED AND SHOWN HEREON AND THAT AS SUCH OWNER HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED FOR THE USES AND PURPOSES THEREIN SET FORTH AS ALLOWED AND PROVIDED BY STATUTES AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

APPROVED BY THE CITY OF NAPERVILLE MAYOR AND CITY COUNCIL AT A MEETING HELD THE _____ DAY OF _____, A.D., 20____.

IN WITNESS WHEREOF CITY OF NAPERVILLE HAS CAUSED THIS CERTIFICATE TO BE EXECUTED BY ITS DULY AUTHORIZED OFFICERS AND ITS CORPORATE SEAL TO BE AFFIXED THIS _____ DAY OF _____, A.D., 20____.

OWNER, CITY OF NAPERVILLE

BY: _____
 DOUGLAS A. KRIEGER
 TITLE: CITY MANAGER

ATTEST: _____
 PAM LA FEBER, PHD
 TITLE: CITY CLERK

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT DOUGLAS A. KRIEGER, CITY MANAGER AND PAM LA FEBER, PHD, CITY CLERK, OF THE CITY OF NAPERVILLE, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH CITY MANAGER AND CITY CLERK, RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID MUNICIPAL CORPORATION AS OWNER, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND SAID CITY CLERK DID ALSO THEN AND THERE ACKNOWLEDGE THAT HE/SHE, AS CUSTODIAN OF THE CORPORATE SEAL OF SAID CORPORATION, DID AFFIX SAID SEAL OF SAID CORPORATION TO SAID INSTRUMENT AS HIS/HER FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, AS OWNER, AS AFORESAID, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 20____.

(SEAL)

 NOTARY PUBLIC

DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) SS

I, _____, COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS _____ DAY OF _____, A.D., 20____.

 COUNTY CLERK

SCHOOL DISTRICT BOUNDARY STATEMENT

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) SS

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

1. THAT THE CITY OF NAPERVILLE, WILL AND DUPAGE COUNTIES, ILLINOIS, IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE CITY COUNCIL FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE; AND
2. TO THE BEST OF THE OWNERS KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH THE TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS: INDIAN PRAIRIE SCHOOL DISTRICT 204
 780 SHORELINE DRIVE
 AURORA, IL 60504

OWNER NAME: THE CITY OF NAPERVILLE, WILL AND DUPAGE COUNTIES, ILLINOIS.

BY: _____ ATTEST: _____
 DOUGLAS A. KRIEGER PAM LA FEBER, PHD
 CITY MANAGER CITY CLERK

SUBSCRIBED AND SWORN BEFORE ME THIS ____ DAY OF _____, A.D., 20____.

 NOTARY PUBLIC

CITY TREASURER'S CERTIFICATE

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) SS

I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENT THEREOF, THAT HAVE NOT BEEN APPORTIONED AGAINST ANY OF THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED AT NAPERVILLE, ILLINOIS, THIS _____ DAY OF _____, A.D., 20____.

 CITY TREASURER/DIRECTOR, FINANCE DEPARTMENT

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) SS

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD THE _____ DAY OF _____, A.D., 20____.

BY: _____ ATTEST: _____
 MAYOR CITY CLERK

SURFACE WATER STATEMENT

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, A.D., 20____.

 SIGNATURE
 ILLINOIS REGISTERED
 PROFESSIONAL ENGINEER

 STATE REGISTRATION NUMBER

 REGISTRATION EXPIRATION DATE

OWNER NAME: THE CITY OF NAPERVILLE, WILL AND DUPAGE COUNTIES, ILLINOIS.

BY: _____ ATTEST: _____
 DOUGLAS A. KRIEGER PAM LA FEBER, PHD
 CITY MANAGER CITY CLERK



ROAKE AND ASSOCIATES, INC.
 CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS
 1084 QUINCY AVENUE, SUITE 100A - NAPERVILLE, ILLINOIS 60540
 TEL (630) 366-9232 • FAX (630) 366-3287



PREPARED FOR:
CITY OF NAPERVILLE
 DEPARTMENT OF PUBLIC UTILITIES
 400 SOUTH EAGLE STREET
 NAPERVILLE, ILLINOIS 60540
 TEL (630) 420-6131
 FAX (630) 420-6744

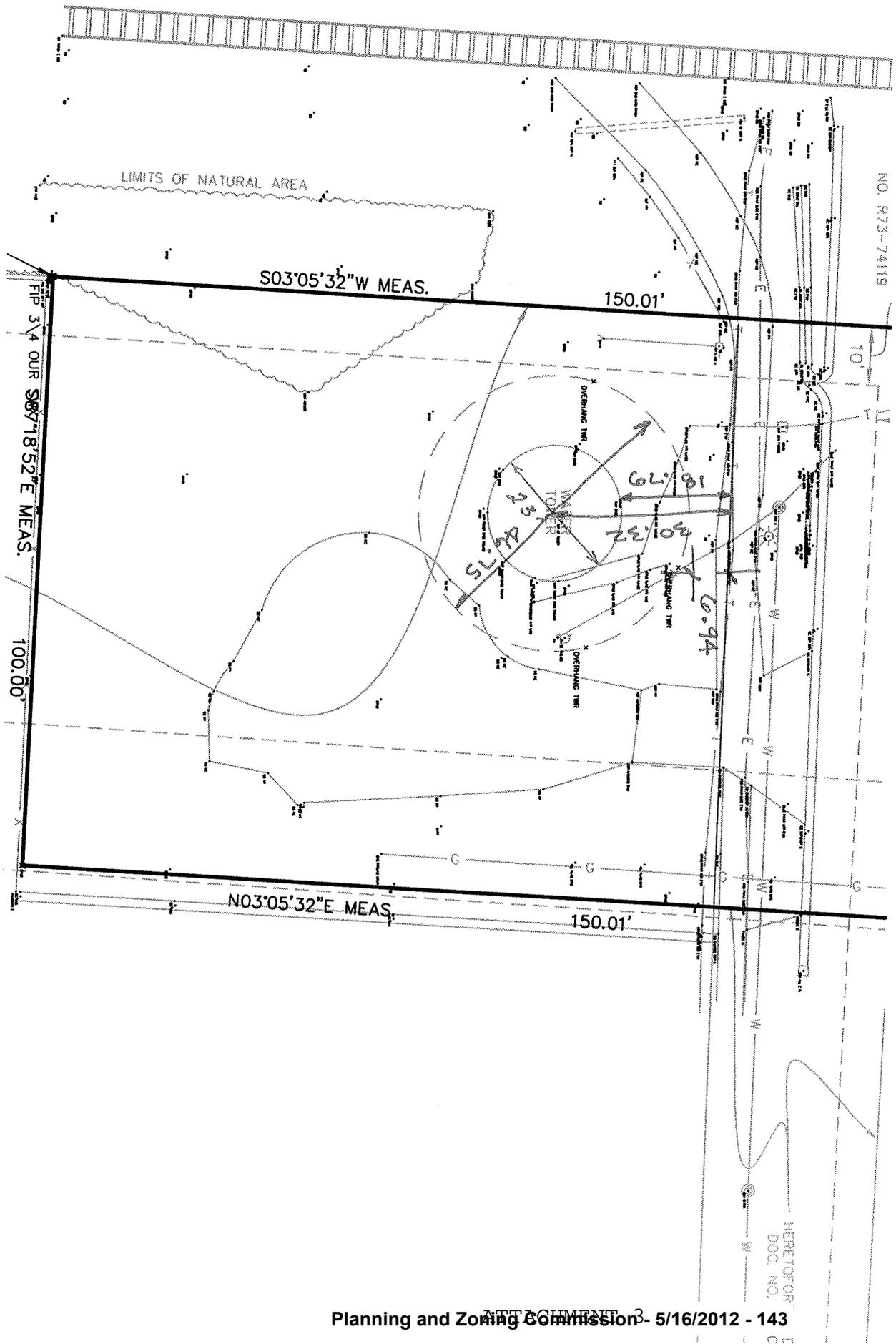
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	06/14/11	REVISED PER CITY REVIEW (5/27/2011)			

CITY PROJECT NO. # 11-10000000

NORTHWEST WATER TOWER

PRELIMINARY/FINAL PLAT OF SUBDIVISION

DRN./C/D. BY: MAJ/CAH	FILE: 35461PS	F.L.D. BK./PG.: 235/49	SHEET NO.
SCALE: 1"=20'	DATE: 04/11/11	JOB NO.: 354,061	2 OF 2



NO. R73-74119